

3288 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

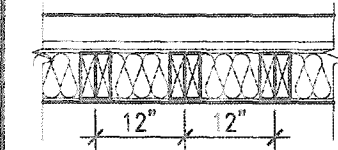
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x8" STUD WALL NAIL TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

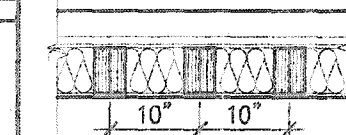


NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 16'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

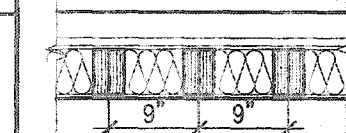


NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 5/4" SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

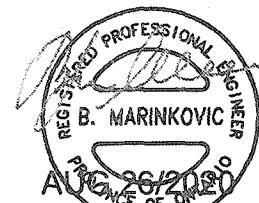
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.87 (R22)	6" R22 BATT
Walls Above Grade	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Edge of Below Grade Slab <600mm below grade	0.28	
Minimum RSI (R) value	0.49	
Windows & Sliding glass Doors	96% Min.	NATURAL GAS
Maximum U-value	0.8	NATURAL GAS
Skylights	75%	-
Maximum U-value	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	
Space Heating Equipment		
Minimum AFUE		
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		

ci- Denotes Continuous Insulation without framing interruption.

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UNINSULATED OPENINGS (PER OBC, SB-12, 3.1.1(7))			
MOUNTAINASH 5, ELEV. 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	782 S.F.	120.00 S.F.	15.35 %
LEFT SIDE	1513 S.F.	93.289 S.F.	6.17 %
RIGHT SIDE	1440 S.F.	56.667 S.F.	3.94 %
REAR	1130 S.F.	245.361 S.F.	21.71 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4865.00 S.F.	515.32 S.F.	10.58 %
TOTAL SQ. M.	451.97 S.M.	47.87 S.M.	10.58 %

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	1469 SF
SECOND FLOOR AREA	1872 SF
TOTAL FLOOR AREA	3341 SF (310.39 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	3341 SF (310.39 m2)
GROUND FLOOR COVERAGE	1476 SF
GARAGE COVERAGE/AREA	391 SF
PORCH COVERAGE/AREA	85 SF
COVERAGE W/ PORCH	1561 SF (145.02 m2)
COVERAGE W/O PORCH	1867 SF (173.45 m2)

CITY OF HAMILTON Building Division

Permit No. 199360

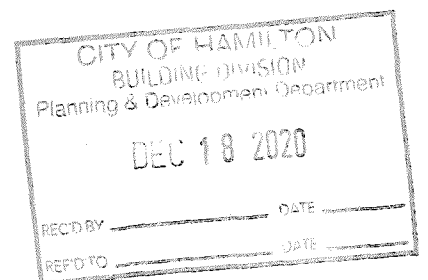
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

Jim Jan 10/21

FOR THE CITY OF HAMILTON



MOUNTAINASH 5-015 COMPLIANCE PACKAGE 'A1'

9					
8					
7					
6					
5					
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG 20/20	GW		
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
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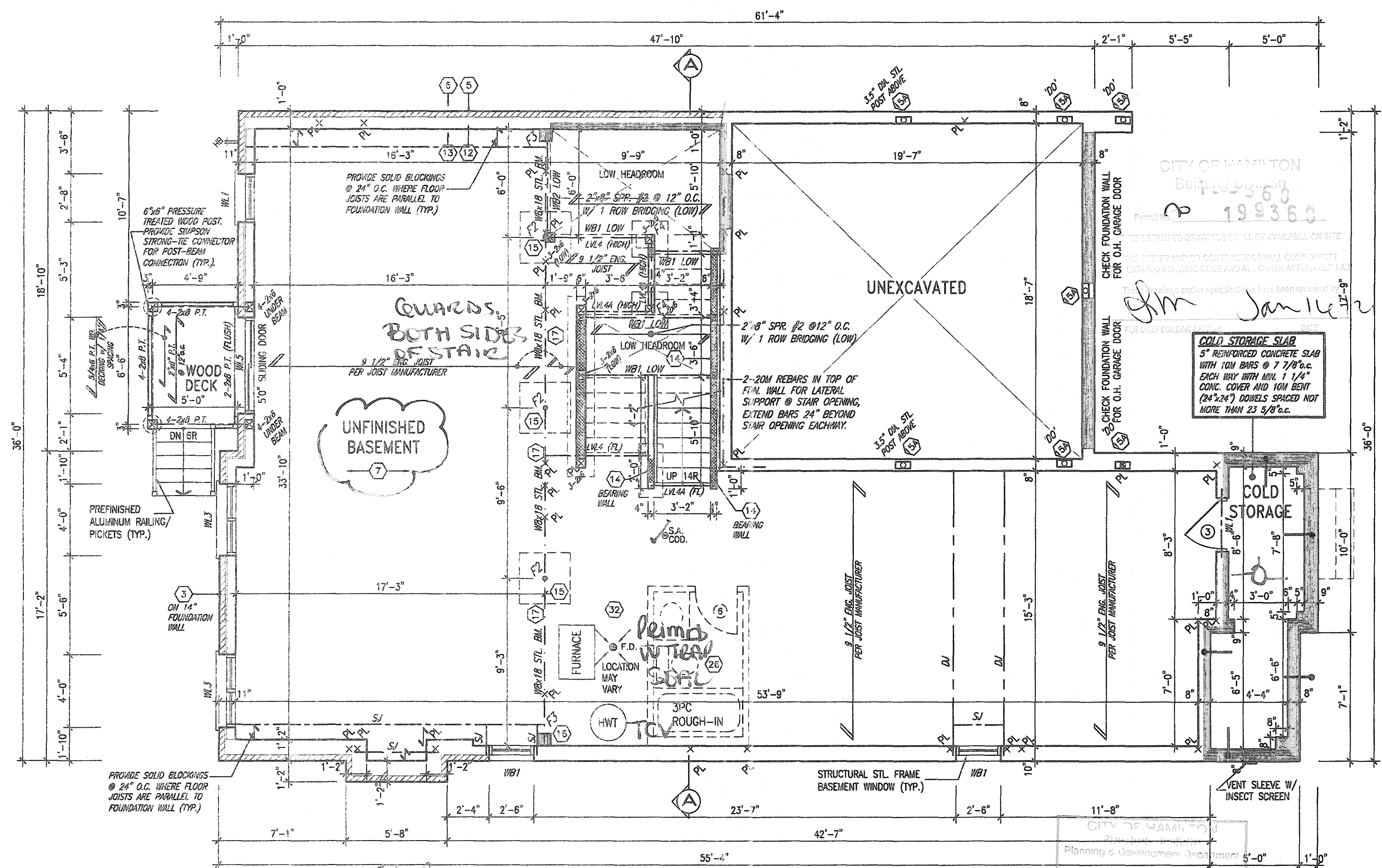
project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON	project no.	19014
date	JANUARY 2020	checked by	3/16" = 1'-0"	GENERAL NOTES & CHARTS	19014-MOUNTAINASH-5-015
CL					

AO

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3288 SF.



BASEMENT FLOOR PLAN '3'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 18, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
AUG 26/2020
PROFESSIONAL ENGINEER
PROFESSIONAL ENGINEER
PROFESSIONAL ENGINEER

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no.	description	date	by
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 28/20	GW
3	ISSUED FOR PERMIT.	APR. 13/20	GW
4	CUSTOM DINGS PER PURCHASER REQUEST.	AUG. 20/20	GW

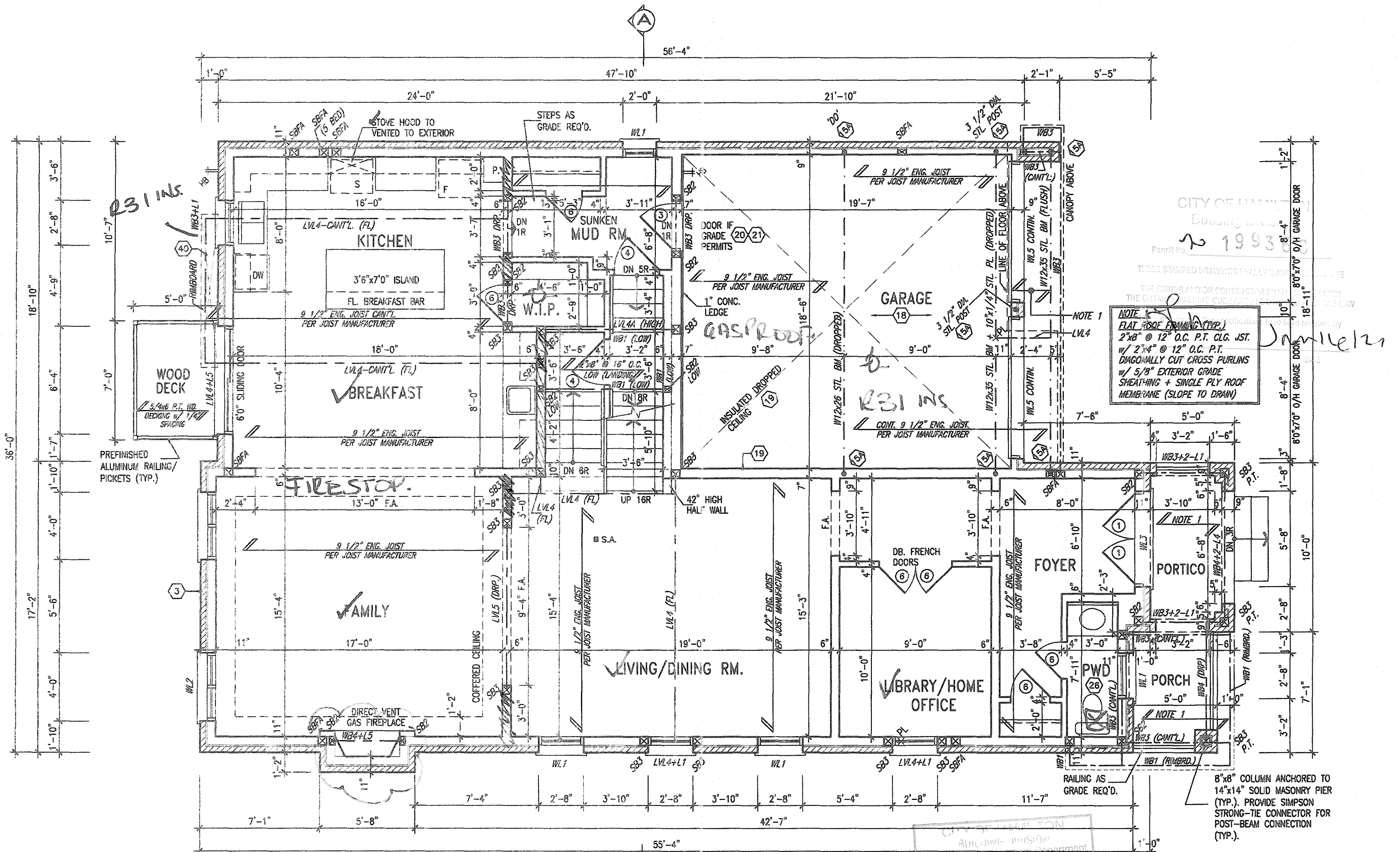
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BON
42658
more registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

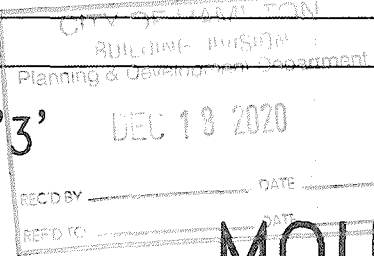
Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
drawn by
CL
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-5-015
drawing no.
A2b

MOUNTAINASH 5-015
13.5m
project no.
19014
drawing no.
A2b

3288 SF.



GROUND FLOOR PLAN '3'



MOUNTAINASH 5-015
COMPLIANCE PACKAGE 'A1'

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

no.	description	date	by
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 23/20	GW
2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 26/20	GW
3	ISSUED FOR PERMIT.	APR. 13/20	GW
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG. 20/20	GW

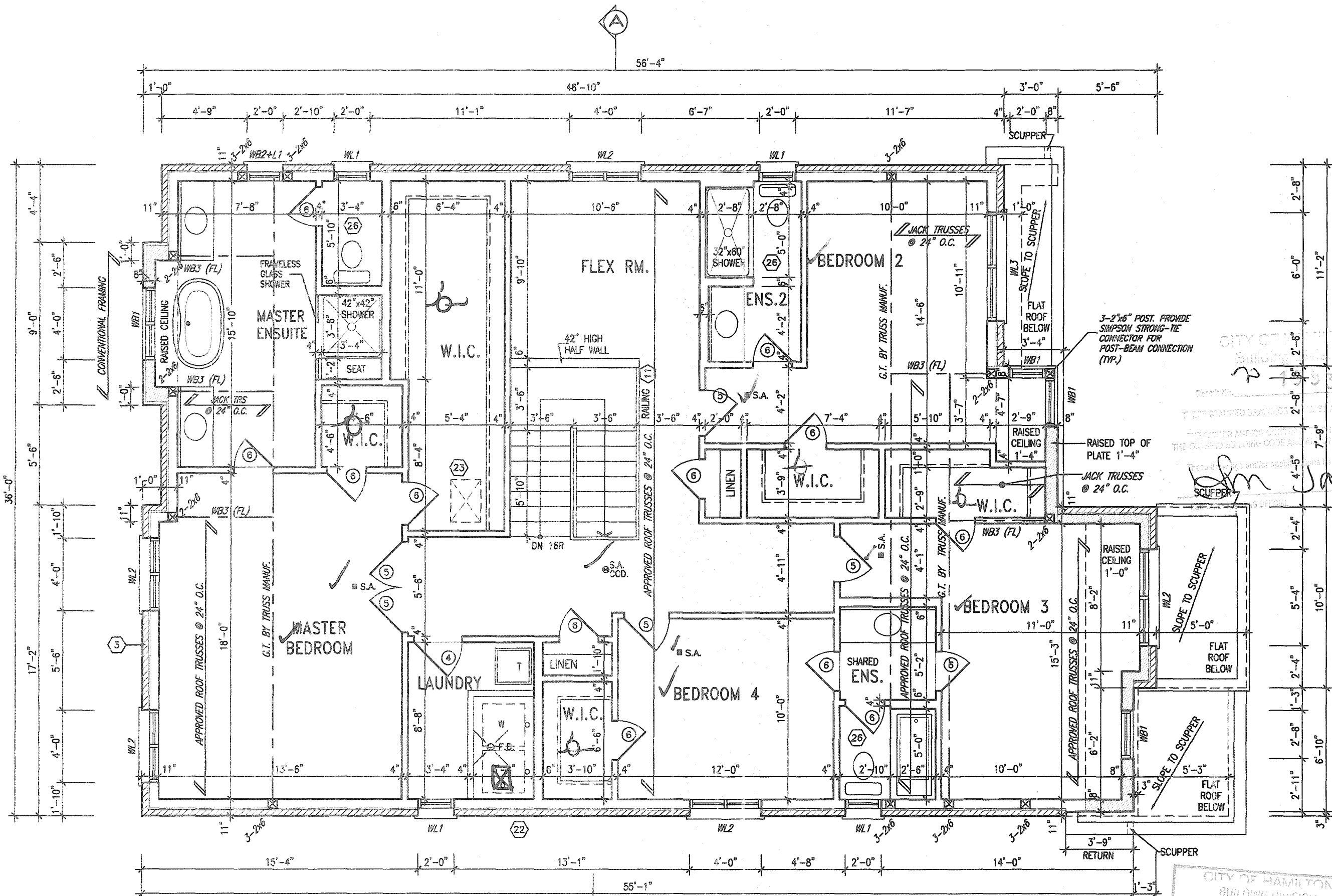
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
name
signature
BOB
42658
registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by 3/16" = 1'-0"	drawing no. A3b
GROUND FLOOR PLAN - ELEV. 3		
19014-MOUNTAINASH-5-015		

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SECOND FLOOR PLAN '3'

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER: 3.8.3.13.(2)(g). BATHTUB: 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. CB-NOTE-2020-04

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 18, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

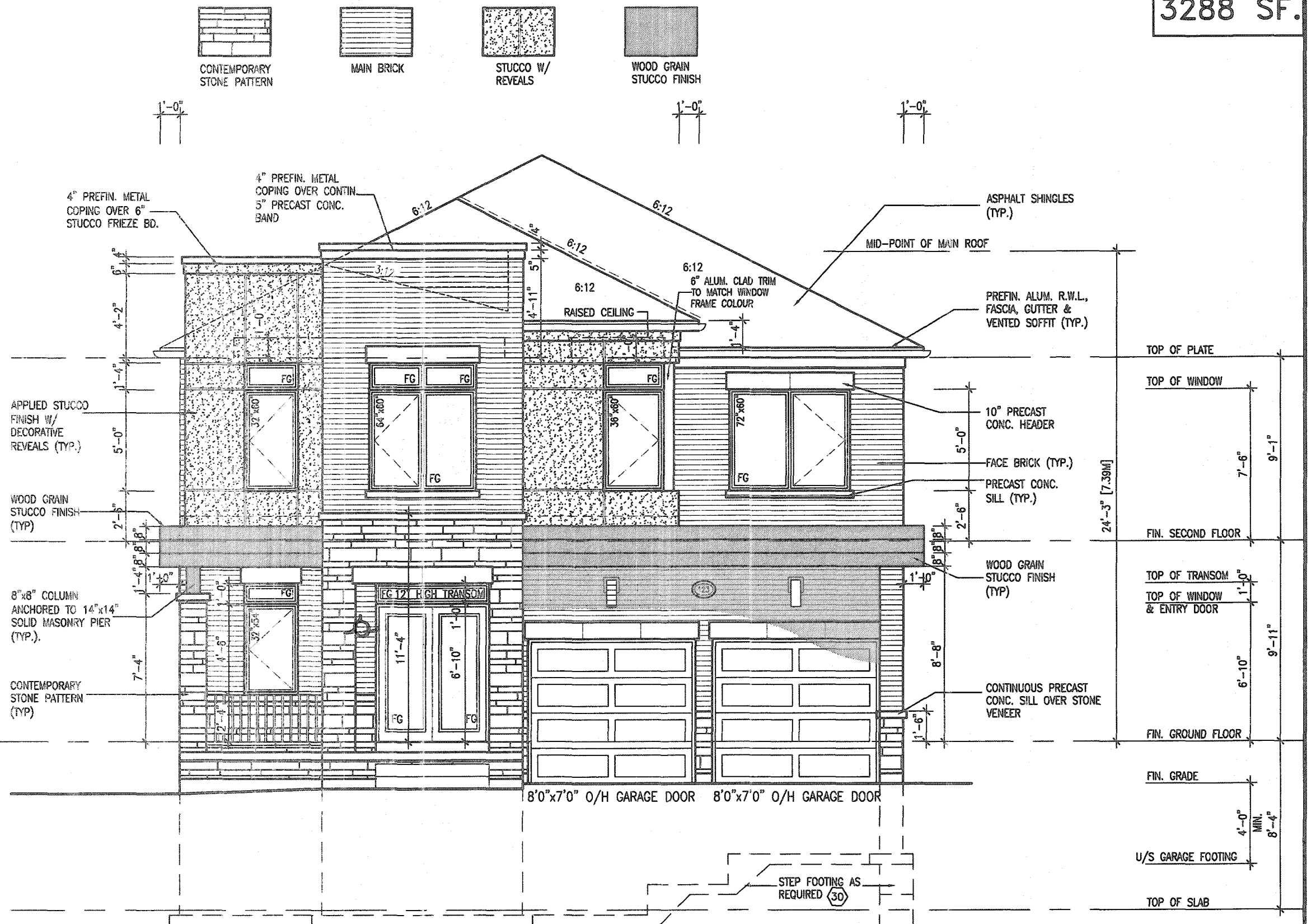
no.	description	date	by
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 23/20	GW
2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 25/20	GW
3	ISSUED FOR PERMIT.	APR. 13/20	GW
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG. 23/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCIN
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
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MOUNTAINASH 5-015 COMPLIANCE PACKAGE 'A1'		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
drawn by CL		drawing no. A4b	
checked by 3/16" = 1'-0"		SECOND FLOOR PLAN - ELEV. 3	
scale 3/16" = 1'-0"		19014-MOUNTAINASH-5-015	

INSIDE PORTICO
ELEVATION '3'



FRONT ELEVATION '3'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					qualification information	
7					Richard Vink	2448
6					signature	BC
5					name	4265
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG 20/20	GW		VAS Design Inc.	
3	ISSUED FOR PERMIT.	APR 13/20	GW			
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by			

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Building Division
Permit No. 199360
NOT STAMPED OVER 15 MINUTES AVAILABLE SINCE
IT CANNOT BE USED TO OBTAIN A PERMIT. COMPANY MUST
THE HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS
The information and/or specifications have been reviewed by
dm Jan 16/2
FOR CITY BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020
RECEIVED: DATE
RECEIVED: DATE

MOUNTAINASH 5-015
COMPLIANCE PACKAGE 'A1'

VA3

DESIGN

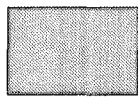
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
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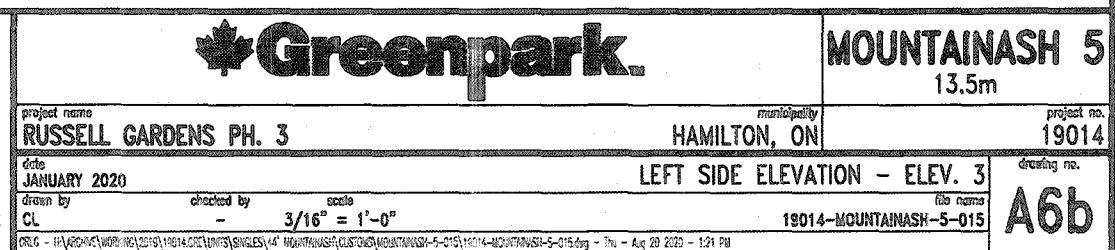
MOUNTAINASH 5
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON	19014
date	front elevation - elev. 3	drawing no.
JANUARY 2020		A5b
drawn by	checked by	scale
CL	-	3/16" = 1'-0"
file name 19014-MOUNTAINASH-S-015		

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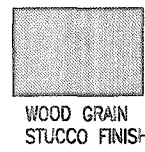
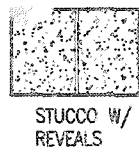
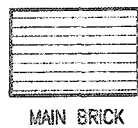
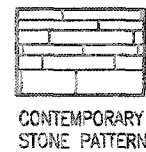


WOOD GRAIN
STUCCO FINISH



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3288 SF.

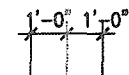
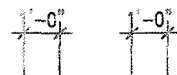


CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH



6" ALUM. CLAD TRIM
TO MATCH WINDOW
FRAME COLOUR

4" PREFIN. METAL
COPING w/ DRIP
EDGE

10" PRECAST
CONC. HEADER

CONTEMPORARY
STONE PATTERN
(TYP)

U/S GARAGE
FOOTING

STEP FOOTING AS
REQUIRED (30)

RIGHT SIDE ELEVATION '3'

ASPHALT SHINGLES
(TYP.)

4" PREFIN. METAL
COPING OVER 6"
STUCCO FRIEZE BD.

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

APPLIED STUCCO FINISH
W/ DECORATIVE REVEALS
(TYP.)

FIN. SECOND FLOOR

42" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

FIN. GROUND FLOOR

36" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

TOP OF SLAB

FIN. GRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: JUL 28, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a further endorsement or responsibility.

ALLOWABLE GLAZED OPENINGS
WALL AREA = 1284.27 SQ. FT.
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 19.90 SQ. FT.
GLAZING PROVIDED = 6.38 SQ. FT. (GLASS AREA ONLY)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020
RECD BY: DATE: DATE:

MOUNTAINASH 5-015
COMPLIANCE PACKAGE 'A1'

9			
8			
7			
6			
5			
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG 20/20	GW
3	ISSUED FOR PERMIT	APR 13/20	GW
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
qualification information
Richard Vink 24488
name
signature
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON

MOUNTAINASH 5
13.5m

project no.
19014

date
JANUARY 2020

RIGHT SIDE ELEVATION - ELEV. 3

drawn by
CL

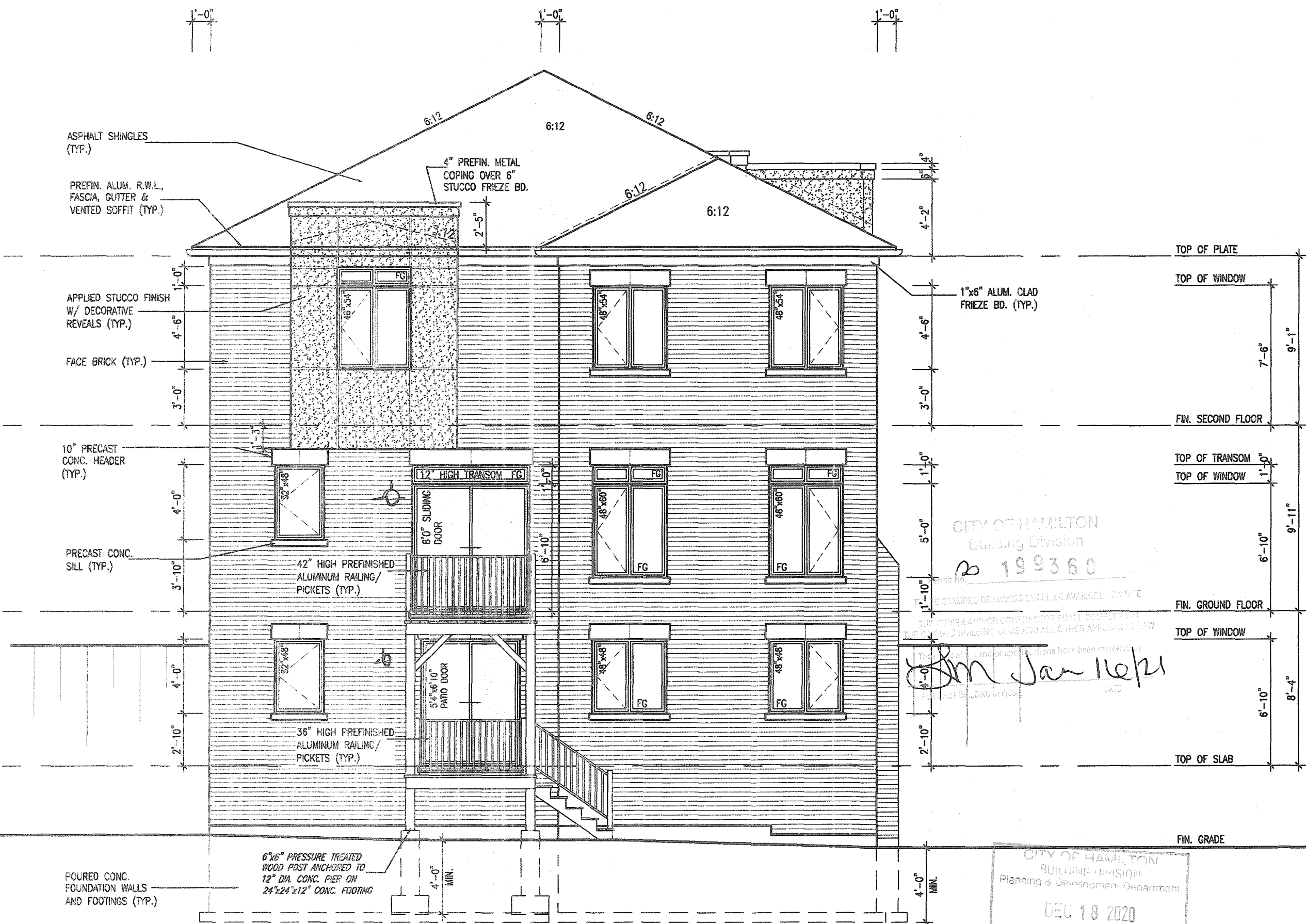
checked by
3/16" = 1'-0"

file name
19014-MOUNTAINASH-5-015

drawing no.
A7b

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3288 SF.



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This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

UPGRADED REAR ELEVATION '3'

MOUNTAINASH 5-015
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020
RECEIVED BY _____ DATE _____
REFD TO _____ DATE _____

9			
8			
7			
6			
5			
4	CUSTOM OWGS PER PURCHASER REQUEST.	AUG 20/20	GW
3	ISSUED FOR PERMIT.	APR 13/20	GW
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 25/20	GW
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by

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**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

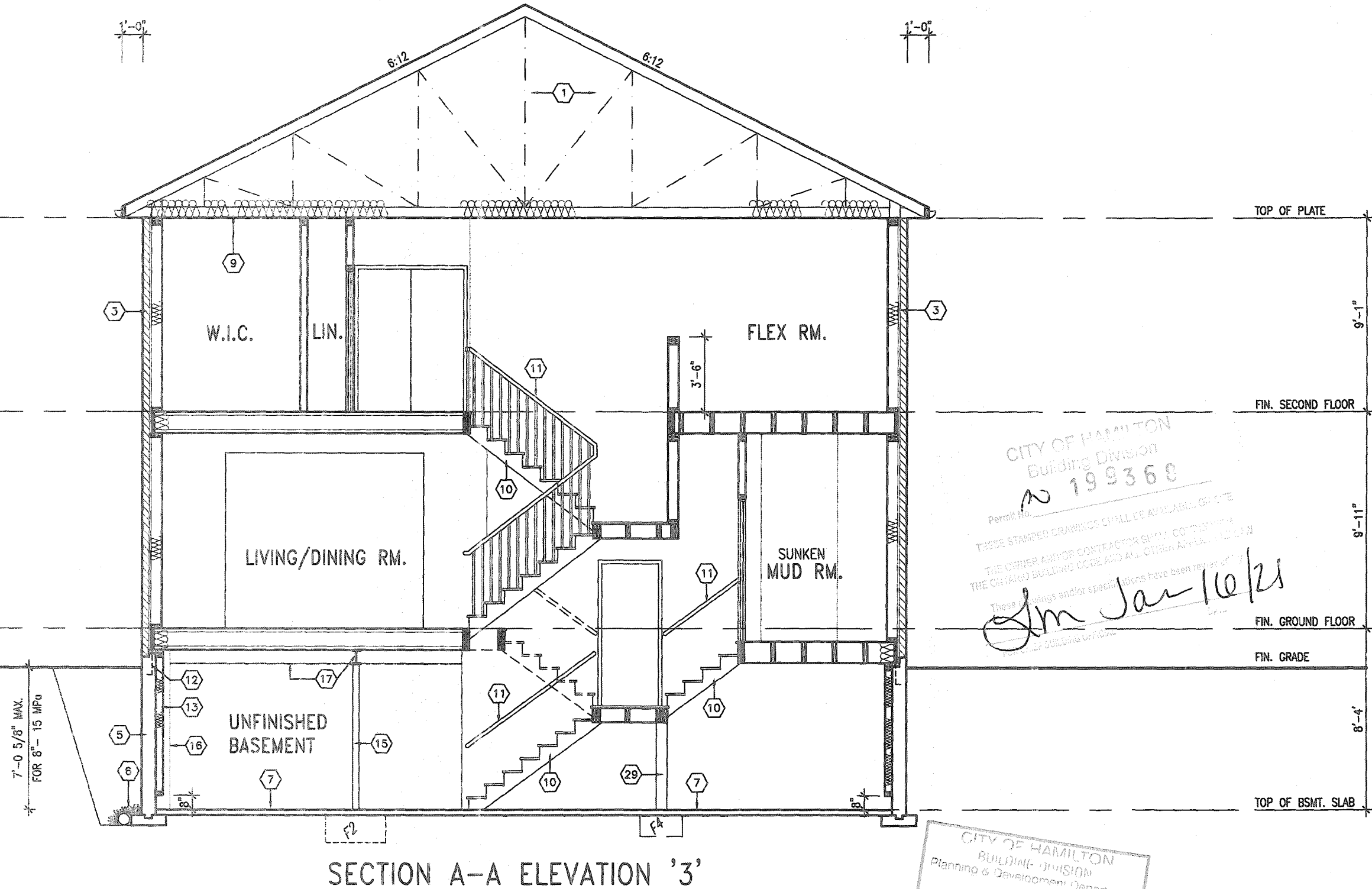
Greenpark.

MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3	city HAMILTON, ON	municipality	project no. 19014
date JANUARY 2020		drawing no.	
drawn by GW		A8b	
checked by -	scales 3/16" = 1'-0"	file name 19014-MOUNTAINASH-S-015	
REAR ELEV. 3 - WOB/WOD CONDITION REGS - HAMBURG WOOD #A-Z 2018 19014 CONSULTANTS DOWNSHA44 MOUNTAINASH COUNCILORS MOUNTAINASH-S-015 REGS - Thu - Aug 20 2020 - 12:1 PM			

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3288 SF.



CITY OF HAMILTON
Building Division
Permit No. **N 199368**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
for the Building Division

Jim Jan 16/21

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020
RECD BY: _____ DATE: _____
REFD TO: _____ DATE: _____

MOUNTAINASH 5-015

COMPLIANCE PACKAGE 'A1'

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STRUDET INC.
FOR STRUCTURE ONLY

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9				
8				
7				
6				
5				
4	CUSTOM DWGS PER PURCHASER REQUEST.	AUG 20/20	GW	
3	ISSUED FOR PERMIT.	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 23/20	GW	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

qualification information
Richard Vink 24488
name
signature
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
CL

checked by
-

scale
3/16" = 1'-0"

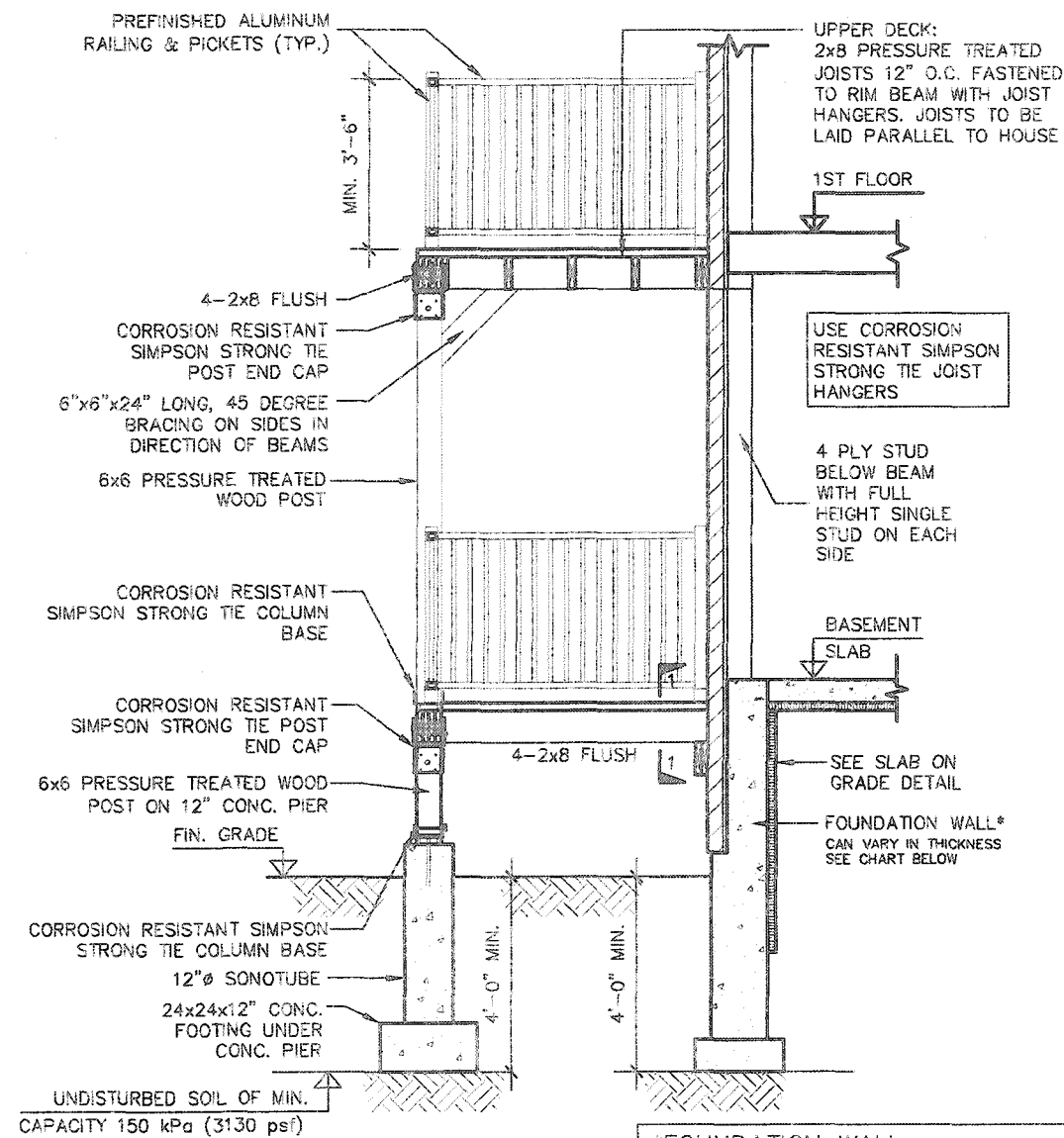
SECTION A-A - ELEV. 3

file name
18014-MOUNTAINASH-5-015

MOUNTAINASH 5
13.5m

project no.
19014

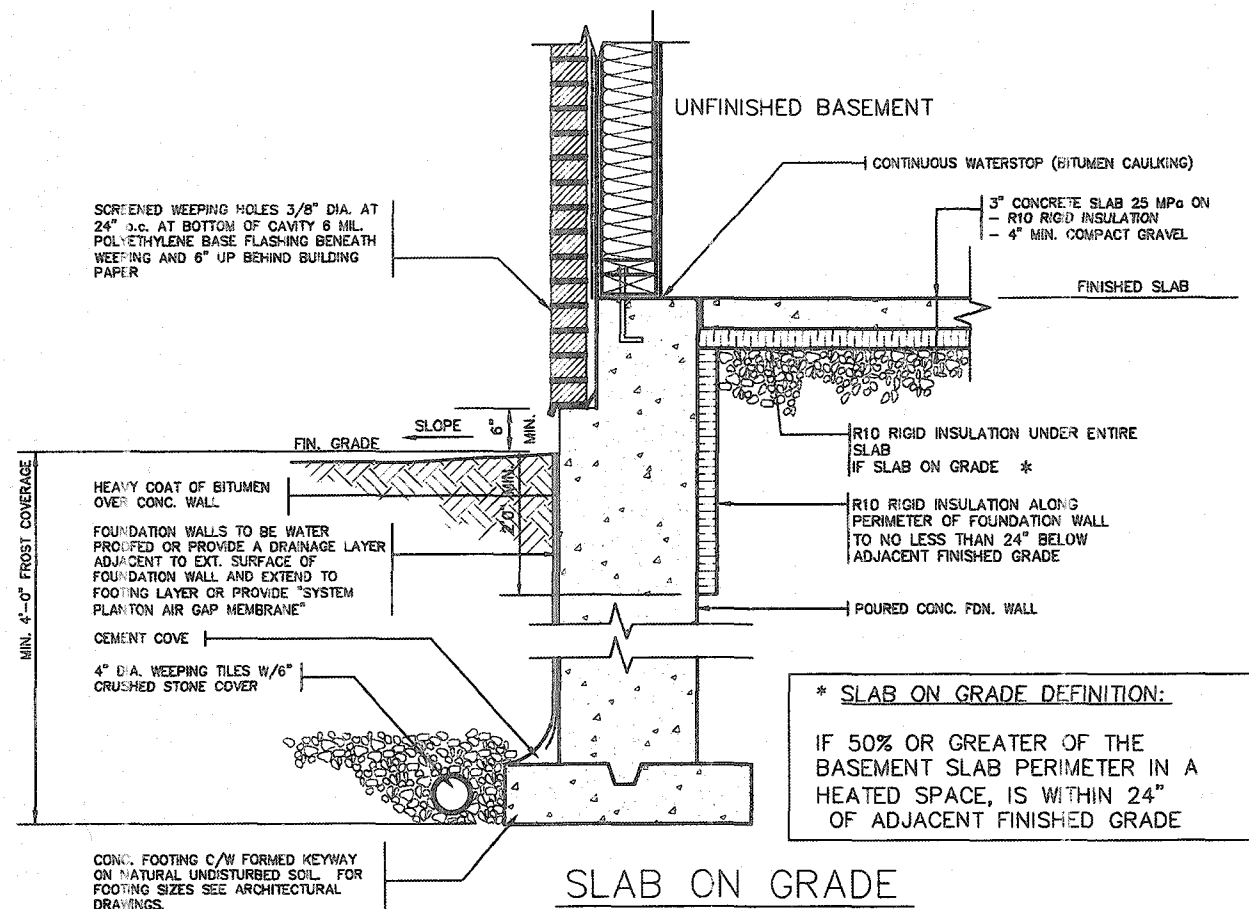
drawing no.
A9b



SECTION A-A

REFER TO UNIT DRAWINGS FOR ADDITIONAL INFORMATION.

- *FOUNDATION WALL:**
- 4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL.
 - 3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL.
 - 2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL.
- (AS PER O.B.C. 9.15.4.2)



SLAB ON GRADE

CITY OF HAMILTON
Building Division

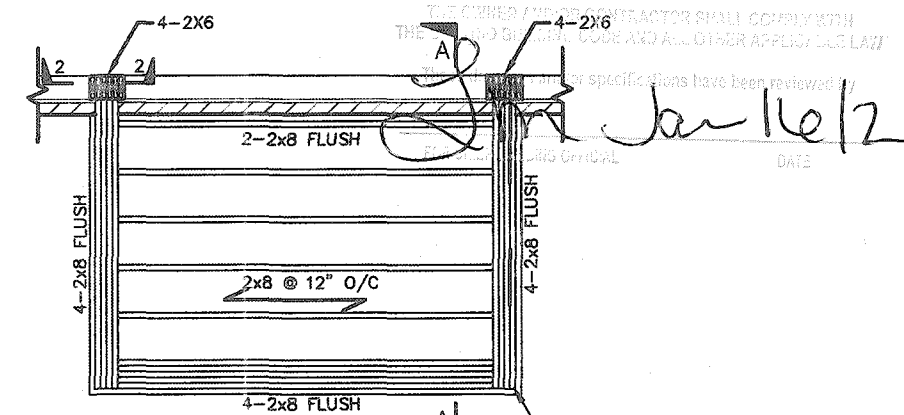
Permit No. 199360

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

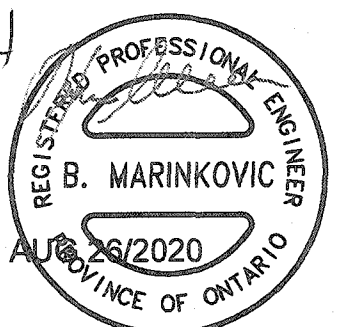
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS

any specifications have been reviewed by

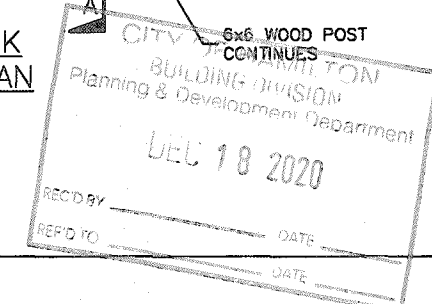
DATE



UPPER DECK FRAMING PLAN

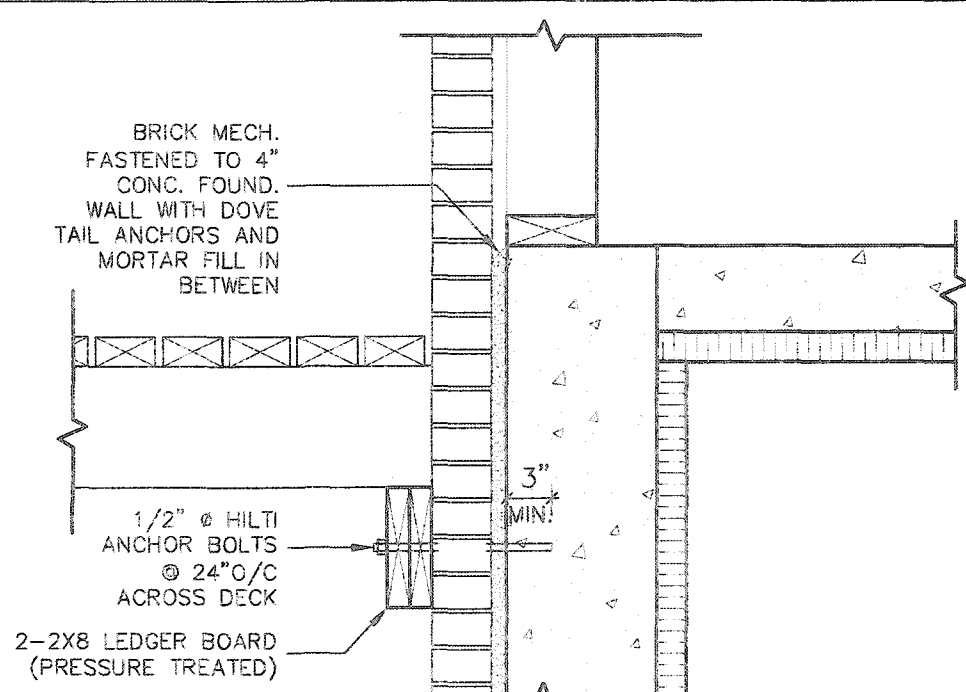


STRUDET INC.
FOR STRUCTURE ONLY

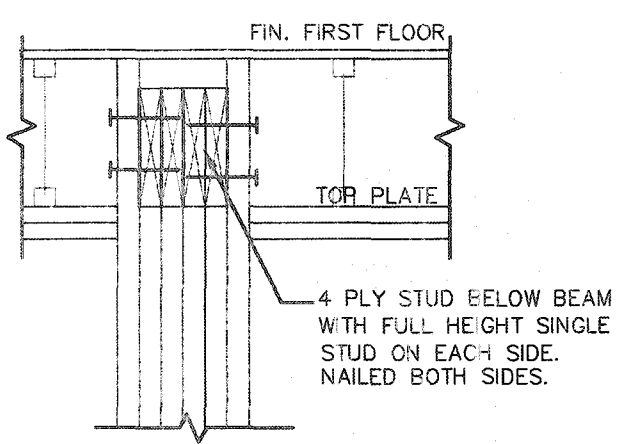


NOTES:

1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO ONTARIO BUILDING CODE LATEST ADDITION.
2. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9 KPa (40 psf).
3. WOOD SHALL BE PRESSURE TREATED S.P.F. No.1/No.2 GRADE OR EQUIVALENT.
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS AND 5-8% AIR ENTRAINED.
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150 KPa (3130 psf) MIN.



DETAIL 1
SCALE: 3/4"=1'-0"



SECTION 2-2
SCALE: 3/4"=1'-0"

9					
8					
7					
6					
5					
4					
3					
2					
1	ISSUED FOR PERMIT.	ALG. 07/20	GW		
	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name registration information
VAS Design Inc. 42658

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark			
project name RUSSELL GARDENS PHASE 3	municipality WATERDOWN	project no. 19014	
date AUGUST 2020	checked by As Shown	scale 19014-CP-STD-DETAILS_A1	drawing no. D1
drawn by GW			