

3288 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x366)
LVL9 = 3-1 3/4"x14" (3-45x366)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**CERAMIC TILE FOR CONVENTIONAL LUMBER
(OBC 9.30.6)**

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

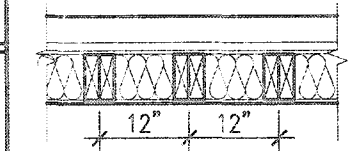
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

*AS PER approved specs.***TWO STOREY HEIGHT
WALL DETAIL**

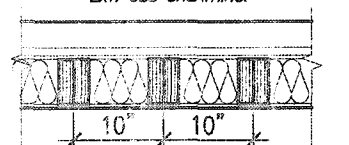
2-2"x6" STUD WALL NAIL TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

**TWO STOREY HEIGHT
WALL DETAIL**

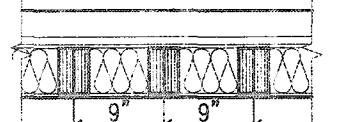
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.1E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.1E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 8" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	0.28	
Skylights Maximum U-value	0.49	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	-
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci - Denotes Continuous Insulation without framing interruption.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON



STRUDET INC.
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UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	784 S.F.	111.817 S.F.	14.84 %
LEFT SIDE	1448 S.F.	93.289 S.F.	6.44 %
RIGHT SIDE	1439 S.F.	44.000 S.F.	3.06 %
REAR	1111 S.F.	241.391 S.F.	21.72 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4761.00 S.F.	490.47 S.F.	10.30 %
TOTAL SQ. M.	442.31 S.M.	45.57 S.M.	10.30 %

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1468 SF
SECOND FLOOR AREA	1855 SF
TOTAL FLOOR AREA	3323 SF
	(308.72 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	3323 SF
	(308.72 m2)
GROUND FLOOR COVERAGE	1474 SF
GARAGE COVERAGE/AREA	391 SF
PORCH COVERAGE/AREA	85 SF
COVERAGE W/ PORCH	1850 SF
	(181.16 m2)
COVERAGE W/O PORCH	1865 SF
	(173.26 m2)

CITY OF HAMILTON
Building Division

Permit No. **20-199448**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] **01/15/21**
DATE
FOR CHIEF BUILDING OFFICIAL

MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

9					
8					
7					
6					
5					
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW		
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW		
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW		
no.	description	date	by		

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014	
date JANUARY 2020	checked by CL	scale 3/16" = 1'-0"	GENERAL NOTES & CHARTS
drawing no. A0		19014-MOUNTAINASH-5-016	

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3288 SF.



- Piers / Footing / Foundation must bear on undisturbed soil
- Beam Bearing min $3\frac{1}{2}"$
- Joist Bearing min $1\frac{1}{2}"$
- Lintel Bearing min $1\frac{1}{2}"$

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE DEC 28, 1970

This plan certifies compliance with the applicable
Design Guidelines only and bears no further
responsibility or liability.



**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A1
drawn by checked by scale 3/16" = 1'-0"		title name BASEMENT PLAN - ELEV. 1 19014-MOUNTAINASH-5-016
NOTE - HAMILTON RESIDENTIAL ZONING BY-LAW 661(1) REQUIRES SINGLE-FAMILY RESIDENTIAL CUSTOMER INFORMATION TO BE AVAILABLE TO THE PUBLIC - SEE 19014-MOUNTAINASH-5-016 FOR - EN - AUG 21 2020 - 246 RM		

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3288 SF.

(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

Permit No. 20 111118

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

01/15/21

CHIEF BUILDING OFFICIAL

DATE _____

61'-4"

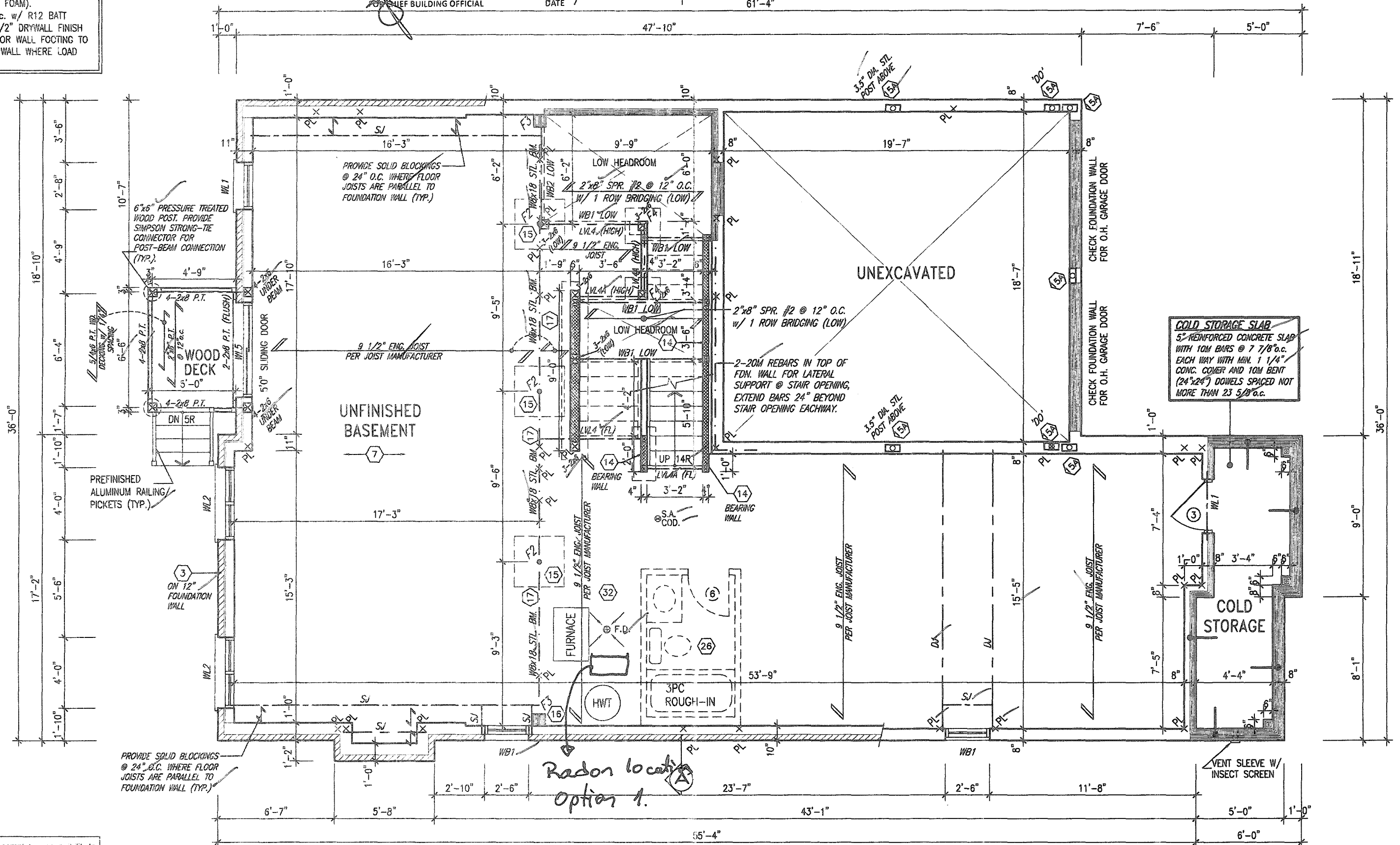
 $47' - 10'$

7'-6"

5'-0''

STAIR/SUNKEN AREAS

-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILBANS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY DATE OCT 05 2016

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STRUDET INC.
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BASEMENT FLOOR PLAN '1'

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
8					
7					qualification information
6					Richard Vink 2448
5					name  signature BO
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW		registration information VA3 Design Inc. 4265
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

V&A DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 **Greenpark.**

project name
RUSSELL GARDENS PH. 3

date JANUARY 2020		
drawn by	checked by	scale

2025 RELEASE UNDER E.O. 14176

MOUNTAINASH 5
13.5m

municipality
HAMILTON, ON

BASEMENT PLAN - ELEV. 1

19014-MOUNTAINASH-5-016

project no.
19014

ចម្បាំង ៣០.

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- All plumbing subject to field inspection by City of Hamilton
- Gas fireplace must be CSA/ULC/CCMC approved and installed in accordance to local utilization code

- Beam bearing min $3\frac{1}{2}"$
- Joist bearing min $1\frac{1}{2}"$
- Lintel bearing min $1\frac{1}{2}"$
- Rafter bearing min $1\frac{1}{2}"$

CITY OF HAMILTON
Building Division

Permit No. 20-199448

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

THE ONTARIO BUILDING CODE ACT

These drawings and/or specifications have been reviewed by

09/15/21

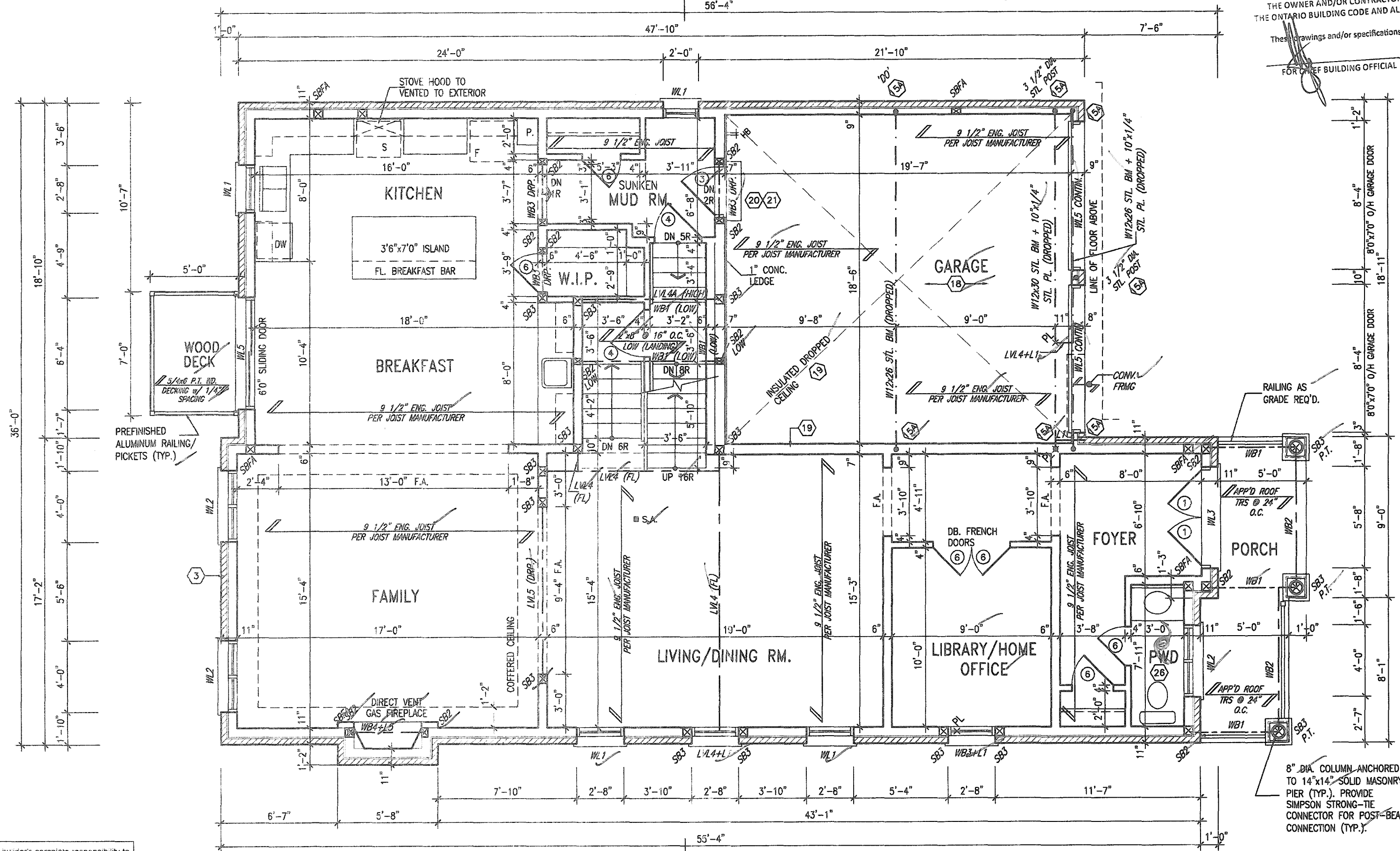
DATE

FOR CHIEF BUILDING OFFICIAL

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KCT-EX-NOTE-2020.dwg



8" DIA. COLUMN ANCHORED
TO 14"x14" SOLID MASONRY
PIER (TYP.). PROVIDE
SIMPSON STRONG-TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.).

GROUND FLOOR PLAN '1'

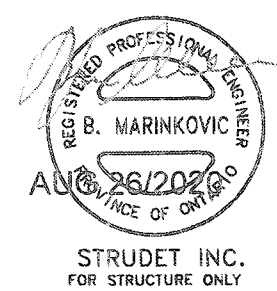
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter; or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE DEC 22 1992

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

9				The undersigned has released or is releasing responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8				qualification information	
7				Richard Vink	24488
6				name	
5				signature	BON
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW	registration information	
3	ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc.	42658
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All services and specifications are inclusions of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be sealed.	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m

municipality	project no.
HAMILTON, ON	19014

GROUND FLOOR PLAN - ELEV. 1	drawing no.
file name 19014-MOUNTAINASH-5-016	A3

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER SPEC. DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(f).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. 09-NOV-2010.64

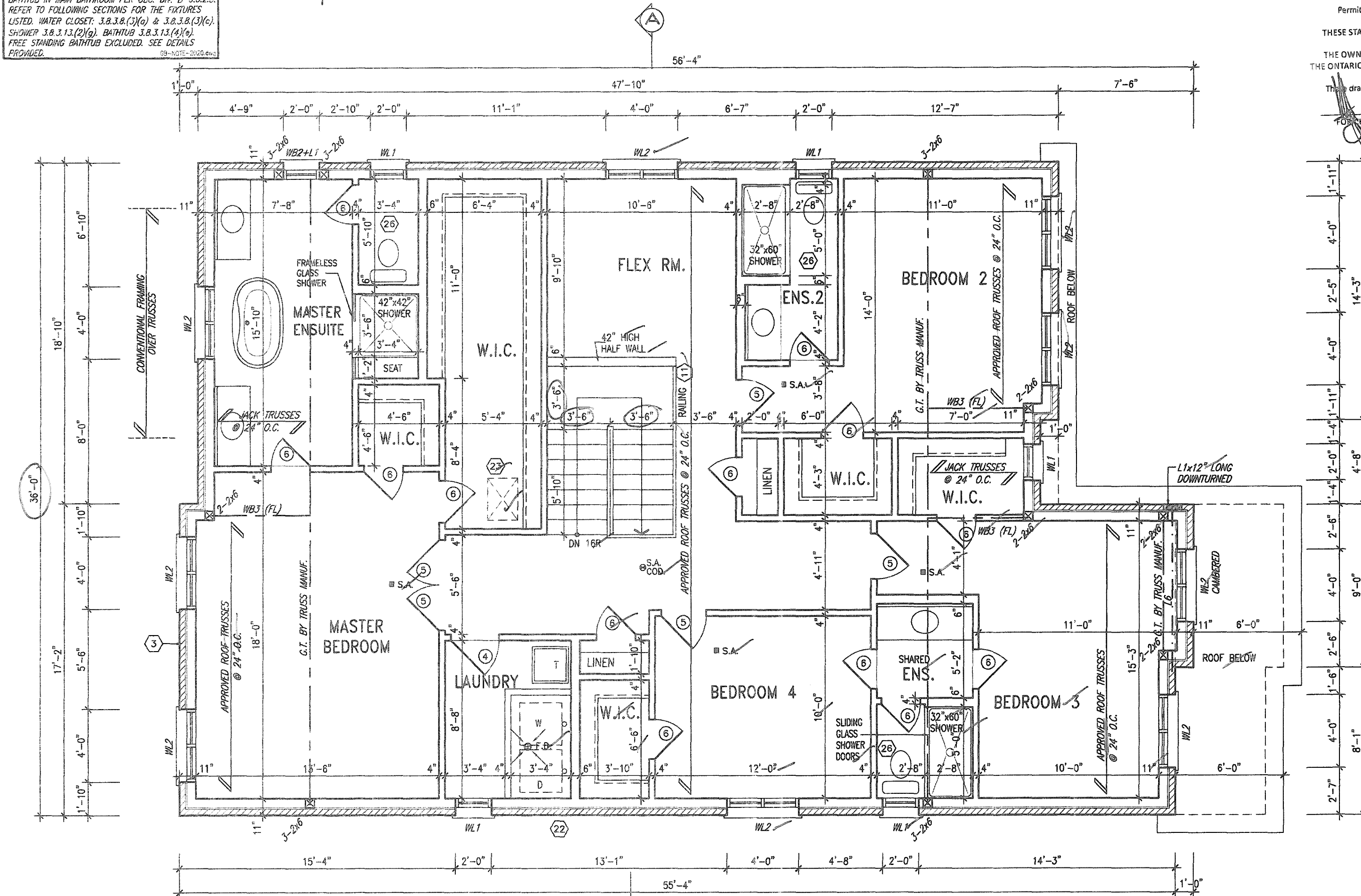
- All plumbing subject to field inspection by City of Hamilton.

Permit No. 20-199448

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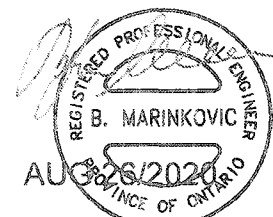
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 09/15/21
 FOR CHIEF BUILDING OFFICIAL DATE



SECOND FLOOR PLAN '1'

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
RMS APPROVAL
APPROVED BY 
DATE 06/02/2006
This stamp certifies compliance with the applicable
Design Guidelines and Terms on Author
Professional Responsibility



MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON	19014

date: JANUARY 2020
 drawn by: CL checked by: 3/16" = 1'-0" scale: SECOND FLOOR PLAN - ELEV. 1
 file name: 19014-MOUNTAINASH-5-016
 drawing no. A4

A4

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CITY OF HAMILTON
Building Division

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
 01/15/21
 DATE
 FOR OWNER BUILDING OFFICIAL

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CENTER/REVENUE
AND APPROVAL

APPROVED BY: 
DATE: DEC 22 2020

This stamp certifies compliance with the applicable
Design that listed only and bears no further
professional responsibility

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

FRONT ELEVATION '1'

MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

 **Greenpark.**

MOUNTAINASH 5
13.5m

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON

project no.
9014

420
JANUARY 2000

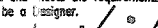
FRONT ELEVATION - ELEV. 1

JANUARY
drawn by

checked by _____ scale _____
 - 3/16" = 1'-0"

19014-MOUNTAINASH-5-016

rating no.
A5

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
8					qualification information	
7					Richard Vink	2448
6						
5					name	80
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW		registration information	
3	ISSUED FOR PERMIT.	APR 13/20	GW		VAS Design Inc.	4265
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description		date	by		



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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Permit No. **20-199448**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

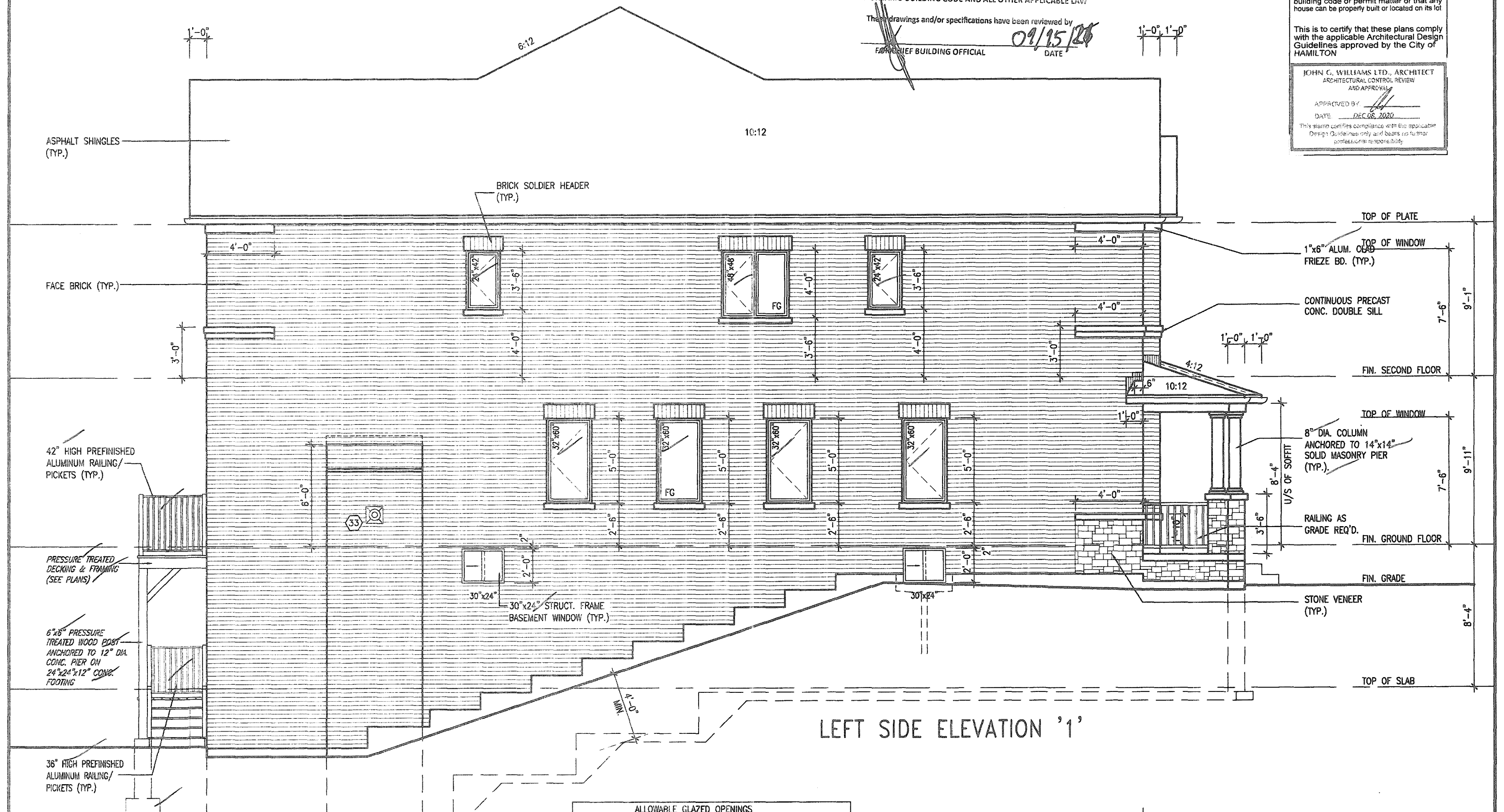
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
09/15/20
FOR CHIEF BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **DEC 08, 2020**
This stamp certifies compliance with this application. Design Guidelines only and does not constitute professional responsibility.



LEFT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1426.09 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=99.83 SQ. FT.
GLAZING PROVIDED	=79.24 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 5-016 COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink <i>[Signature]</i> 24488
6				name
5				registration information
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW	VAS Design Inc. 42658
3	ISSUED FOR PERMIT	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 25/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
no.	description	date	by	

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vas3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ON

MOUNTAINASH 5
13.5m

project no.
19014

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

LEFT SIDE ELEVATION - ELEV. 1

19014-MOUNTAINASH-5-016

drawing no.
A6

3288 SF.

CITY OF HAMILTON
Building Division

Permit No. **20-199418**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL **09/15/21** DATE

ASPHALT SHINGLES
(TYP.)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

FIN. SECOND FLOOR

FIN. GROUND FLOOR

42" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

36" HIGH PREFINISHED
ALUMINUM RAILING/
PICKETS (TYP.)

TOP OF SLAB

FIN. GRADE

RIGHT SIDE ELEVATION '1'

MOUNTAINASH 5-016
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 5
13.5m

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

APPROVED BY
DATE **DEC 06, 2021**
These stamped drawings are submitted with the signature of the Control Architect and shall be the responsibility of the Control Architect.

ALLOWABLE GLAZED OPENINGS
WALL AREA =1406.76 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =98.47 SQ. FT.
GLAZING PROVIDED =36.82 SQ. FT. (GLASS AREA ONLY)

9					
8					
7					
6					
5					
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW		
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW		
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink **24488**
signature
registration information
VA3 Design Inc. **42658**
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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t 416.630.2255 f 416.630.4782
va3design.com

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by CL	scale 3/16" = 1'-0"
drawn by CL	checked by CL	scale 3/16" = 1'-0"
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by CL	scale 3/16" = 1'-0"
drawn by CL	checked by CL	scale 3/16" = 1'-0"
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by CL	scale 3/16" = 1'-0"
drawn by CL	checked by CL	scale 3/16" = 1'-0"

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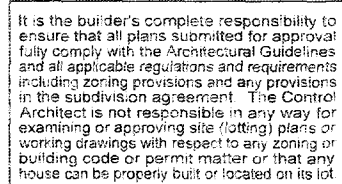
CITY OF HAMILTON
Building Division

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

 FOR CHIEF BUILDING OFFICIAL DATE 01/15/21



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
26120

9					The undersigned has reviewed & takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7					qualification information
6					
5					Richard Vink  2448 BC
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 21/20	GW		name registration information
3	ISSUED FOR PERMIT.	APR 13/20	GW		VAS3 Design Inc. 4265
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this work. Drawings are not to be copied.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description		date		

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DESIGN

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va3design.com

 **Greenpark.**

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON
--------------	-----------------------	--------------	--------------

SECTION A-A - ELEV. 1
 19014-MOUNTAINASH-5-016

MOUNTAINASH 5
13.5m

municipality	project no.
HAMILTON, ON	19014

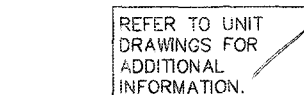
SECTION A-A - ELEV. 1

file name
19014-MOUNTAINASH-5-016

Drawing no.

A9

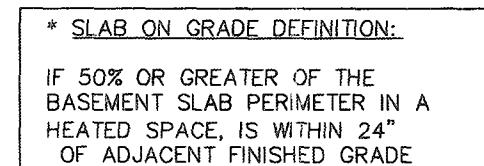
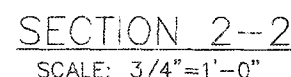
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*FOUNDATION WALL:

- 4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL.
- 3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL.
- 2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL.

(AS PER O.B.C. 9.15.4.2)



1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO ONTARIO BUILDING CODE LATEST ADDITION.
2. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9 KPa (40 psf).
3. WOOD SHALL BE PRESSURE TREATED S.P.F. No.1/No.2 GRADE OR EQUIVALENT.
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS AND 5-8% AIR ENTRAINED.
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150 KPa (3130 psf) MIN.

STRUDET INC.
FOR STRUCTURE ONLY

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						
7						qualification information
6						Richard Vink 2448
5						name BC
4						signature
3						registration information
2						VA3 Design Inc. 4265
1						
ISSUED FOR PERMIT.			AUG. 07/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
no.	description		date	by		

VA3

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Greenpark

project name	city	municipality	project no.
RUSSELL GARDENS PHASE 3		WATERDOWN	1901
date	DOULE DECK -WALK-OUT CONDITION		drawing no.
AUGUST 2020			
drawn by	checked by	scale	file name
		As Shown	1901A-GP-STD_DETAILS_A1
G:\P - 1901RUSSELLGARDENS\1901A-GP-STD_DETAILS_A1.dwg - Fri - Aug 2 2020 - 11:58 AM D1			

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