

3288 SF.

STRIP FOOTINGS -- FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1/2" x 3'-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2

WL2 = 4" x 3'-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2

WL3 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2

WL4 = 6" x 3'-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2

WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2

WL6 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2

WL7 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2

WL8 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2

WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2

WB2 = 3-2"x8" (3-38x184) SPR. No.2

WB3 = 2-2"x10" (2-38x235) SPR. No.2

WB4 = 3-2"x10" (3-38x235) SPR. No.2

WB5 = 2-2"x12" (2-38x286) SPR. No.2

WB6 = 3-2"x12" (3-38x286) SPR. No.2

WB7 = 6-2"x12" (5-38x286) SPR. No.2

WB11 = 4-2"x10" (4-38x235) SPR. No.2

WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3'-1/2" x 3'-1/2" x 1/4" L (90x90x6.0L)

L2 = 4" x 3'-1/2" x 5/16" L (100x90x8.0L)

L3 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L)

L4 = 6" x 3'-1/2" x 3/8" L (150x90x10.0L)

L5 = 6" x 4" x 3/8" L (150x100x10.0L)

L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	8'-0"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-0"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-0"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-0"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-0"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-0"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-0"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-0"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.0)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.

PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".

2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

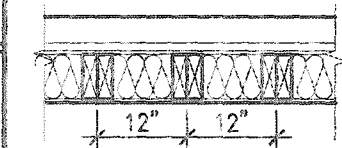
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, 6" W/ SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

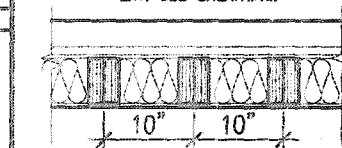


NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

(OBC 9.30.0)

2-1 1/2" x 5 1/2" TIMBERSTRAND (1.5L) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, 6" W/ SOLID BLOCKING @ 6'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

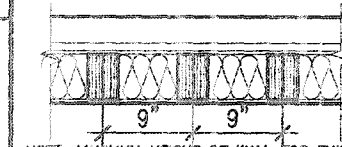


NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

(OBC 9.30.0)

2-1 1/2" x 5 1/2" TIMBERSTRAND (1.5L) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, 6" W/ SOLID BLOCKING @ 6'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci-- Denotes Continuous Insulation without framing interruption.

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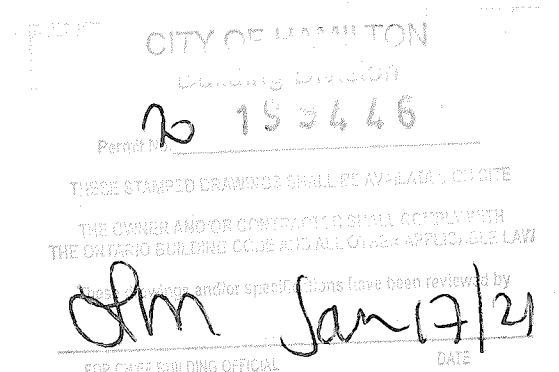
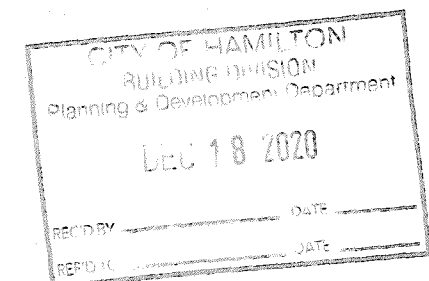
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UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 5-011, ELEV. 1		ENERGY EFFICIENCY - OBC 2012	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	789 S.F.	111.917 S.F.	14.73 %
LEFT SIDE	1425.15 S.F.	96.000 S.F.	6.32 %
RIGHT SIDE	1398.05 S.F.	47.333 S.F.	3.39 %
REAR	1104.00 S.F.	243.39 S.F.	22.59 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4688.20 S.F.	498.54 S.F.	10.64 %
TOTAL SQ. M.	435.36 S.M.	46.32 S.M.	10.64 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	1468 SF	
SECOND FLOOR AREA	1855 SF	
TOTAL FLOOR AREA	3323 SF	
	(308.72 m2)	
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	+XX SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	3323 SF	
	(308.72 m2)	
GROUND FLOOR COVERAGE	1474 SF	
GARAGE COVERAGE/AREA	391 SF	
PORCH COVERAGE/AREA	85 SF	
COVERAGE W/ PORCH	1950 SF	
	(181.16 m2)	
COVERAGE W/O PORCH	1865 SF	
	(173.26 m2)	



MOUNTAINASH 5-011

COMPLIANCE PACKAGE 'A1'

9					
8					
7					
6					
5					
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 12/20	GW		
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 25/20	GW		
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW		
no.	description	date	by		

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vasdesign.com

Greenpark.

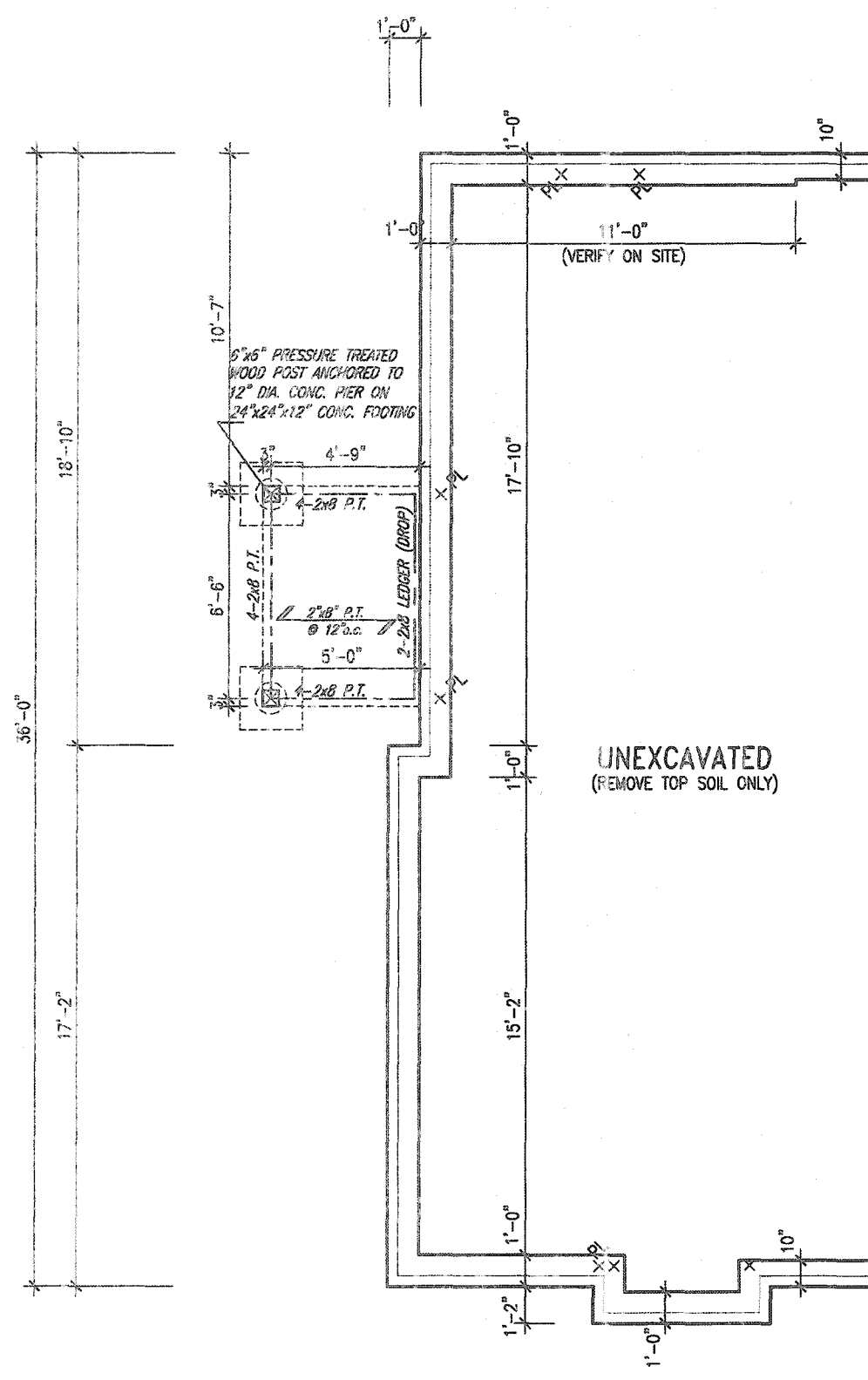
MOUNTAINASH 5
13.5m

project name: **RUSSELL GARDENS PH. 3**
municipality: **HAMILTON, ON**
project no.: **19014**

date: **JANUARY 2020**
drawn by: **CL**
checked by: **3/16" = 1'-0"**
scale: **19014-MOUNTAINASH-5-011**
file name: **AO**

GENERAL NOTES & CHARTS

3288 SF.



192446

These drawings and/or specifications have been reviewed by
DM Jan 17/12
 FOR THE BUILDING OFFICIAL DATE

CITY OF HAMPTON
SOLIDWASTE DIVISION
Planning & Development Department
DEC 18 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 

DATE DEC 08, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and does not bear any further
professional responsibility.



MOUNTAINASH 5-011
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON		project no. 19014
date JANUARY 2020		drawing title BASEMENT PLAN - ELEV. 1		drawing no.
drawn by CL	checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-5-011	A1

9					The undersigned hereby releases and takes responsibility for this design and shall have the qualifications and meet the requirements set out in the Ontario Building Code to be a Designer.
8					
7					qualification information
6					Richard Vink
5					name signature 2448
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 12/20	GW		registration information VAS Design Inc. 4265
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW		Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW		
no	description	date	by		

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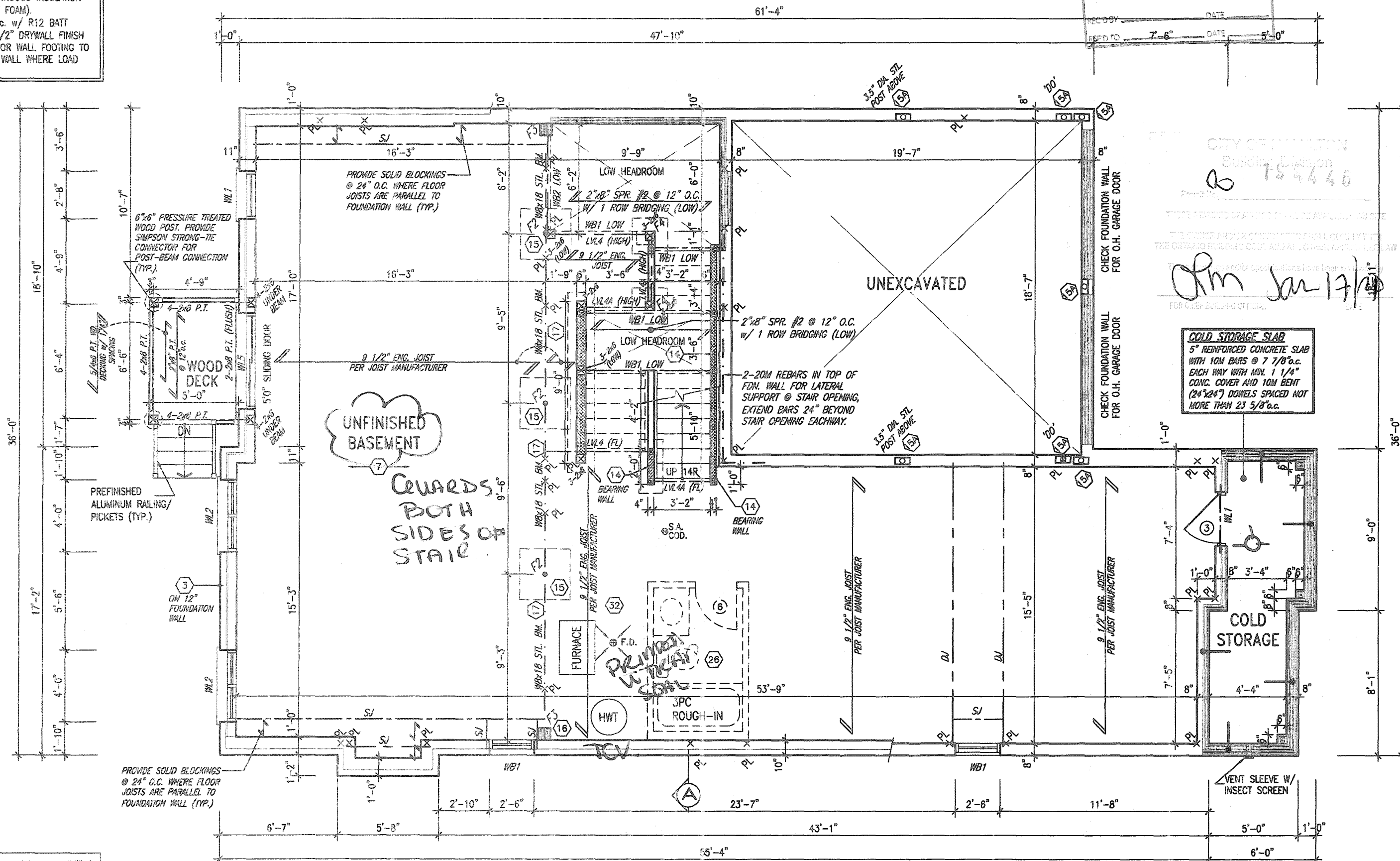
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(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

3288 SF.



BASEMENT FLOOR PLAN '1'

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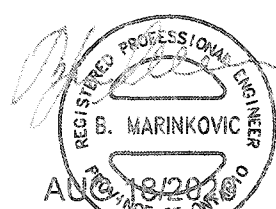
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: DEC 02, 2000

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8					
7				qualification information	
6				Richard Vink	2448
5				name	BC
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 12/20	GW	registration information	
3	ISSUED FOR PERMIT	APR 13/20	GW	VAS Design Inc.	4265
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 23/20	GW		
no.	description	date	by	Comments	
				Controlled under strictly all time-slots on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

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project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	BASEMENT PLAN - ELEV. 1	drawing no.
drawn by CL	checked by -	scale 3/16" = 1'-0"
file name 19014-MOUNTAINASH-S-011		A1

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. 8- TABLE 6.2.3.12.

• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

NOT-EX-NOTE-20.01.06

CITY OF HAMILTON
Building Division
90 19 94 46

10" 18'-1"

These drawings and/or specifications have been reviewed
 Jm Jan 17/12
 FOR THE BUILDING OFFICIAL
 8'-4" 1/4 GARAGE-DOOR

RAILING AS
GRADE REQ'D.

8" DIA. COLUMN ANCHORED
TO 14"x14" SOLID MASONRY
PIER (TYP.). PROVIDE
SIMPSON STRONG-TIE
CONNECTOR FOR POST-BEAM
CONNECTION (TYP.).

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: DECEMBER 2020

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8				qualification information	
7				Richard Vink	2448
6				signature	BC
5				Name registration information VA3 Design Inc.	4265
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2	UPDATED PER ENG & CLIENT COMMENTS	MAR 28/20	GW		
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN 28/20	GW		
	no. description	date	by		

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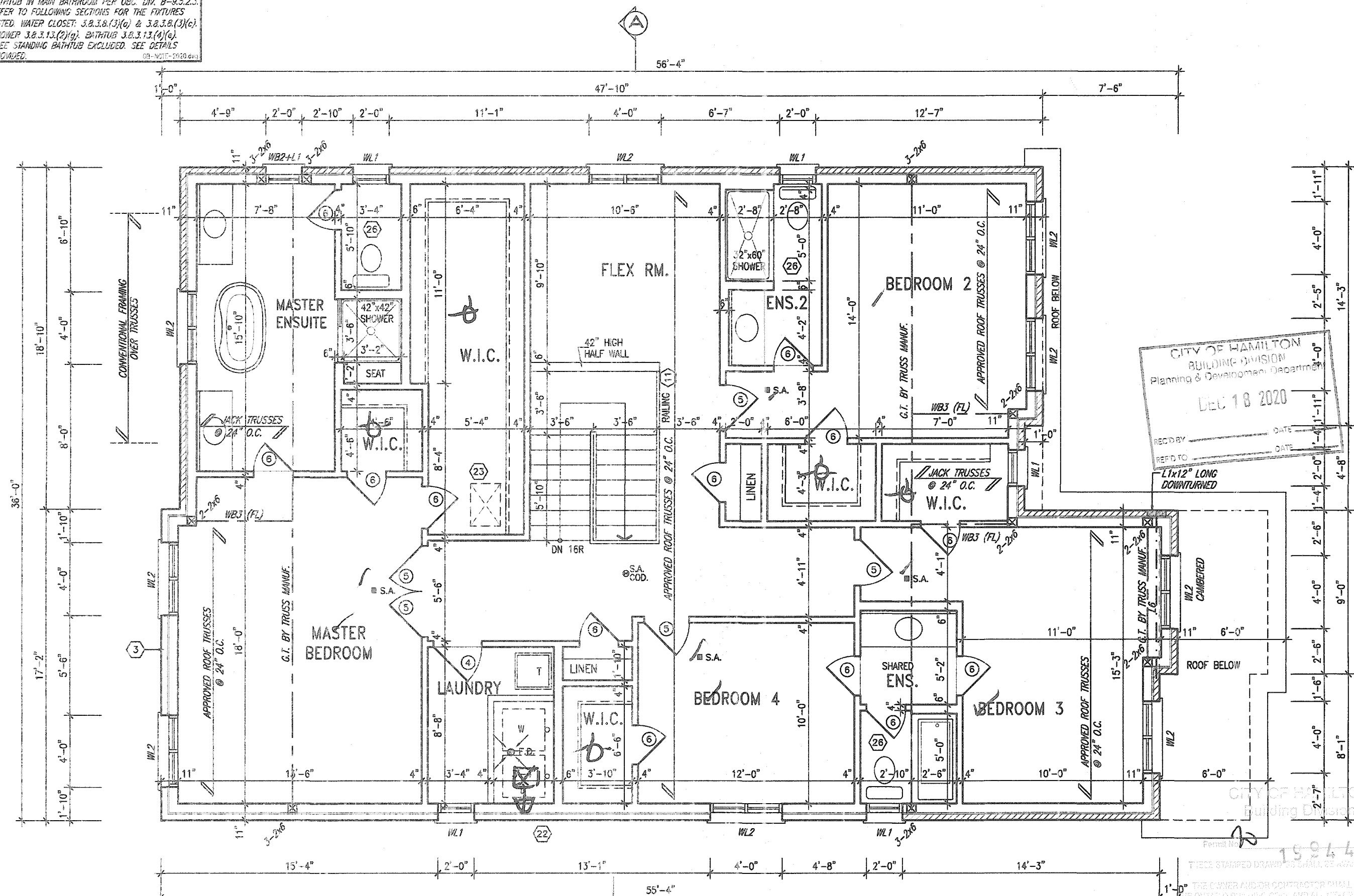
Greenpark.

MOUNTAINASH 5
13.5m

project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A2	
drawn by CL		checked by -	scale 3/16" = 1'-0"
		title name GROUND FLOOR PLAN - ELEV. 1 19014-MOUNTAINASH-S-011	
orig - J:\ARCHIT\WORKING\19014 PHASE 3\19014 PHASE 3\SCH\CL.dwg - PLOT - AUG 14 2020 - 2:55 PM			

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GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM PER CBC DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.0.3.8.(3)(c) & 3.0.3.9.(3)(c).
SHOWER 3.0.3.13.(2)(g); BATHTUB 3.0.3.13.(4)(f).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. 09-VOTC-2020.dwg



ⓐ SECOND FLOOR PLAN '1'

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Guidelines approved by the City of
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: DEC 08 2020
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5					name	BO
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no.	description	date	by			

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project name RUSSELL GARDENS PH. 3	city HAMILTON, ON	project no. 19014
date JANUARY 2020		drawing no. A3
second floor plan - elev. 1 drawn by CL checked by - scale 3/16" = 1'-0"		
19014-MOUNTAINASH-5-011 DATE: 19-01-2020 11:04:11 AM USER: CLAYTON L. HARRIS PROJECT: 19014-MOUNTAINASH-5-011 FILE: 19014-MOUNTAINASH-5-011.dwg - Fri - Aug 14 22:20 - 255 KB		

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[illegible]

CITY OF HOUSTON
 Building Division
 U/S GARAGE
 TOP OF
 199446
 DATE
 FOR CHIEF BUILDING OFFICIAL

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 08, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020

TOP OF PLATE

TOP OF WINDOW
CLAD
TYP.)

CONTINUOUS PRECAST
CONC. DOUBLE SILL

FIN. SECOND FLOOR

TOP OF WINDOW

8" DIA. COLUMN
ANCHORED TO 14"x14"
SOLID MASONRY PIER
(TYP.).

RAILING AS
GRADE REQ'D.

FIN. GROUND FLOOR.

STONE VENEER
(TYP.)

FIN. GRADE _____

TOP OF SLAB

LEFT SIDE ELEVATION '1'

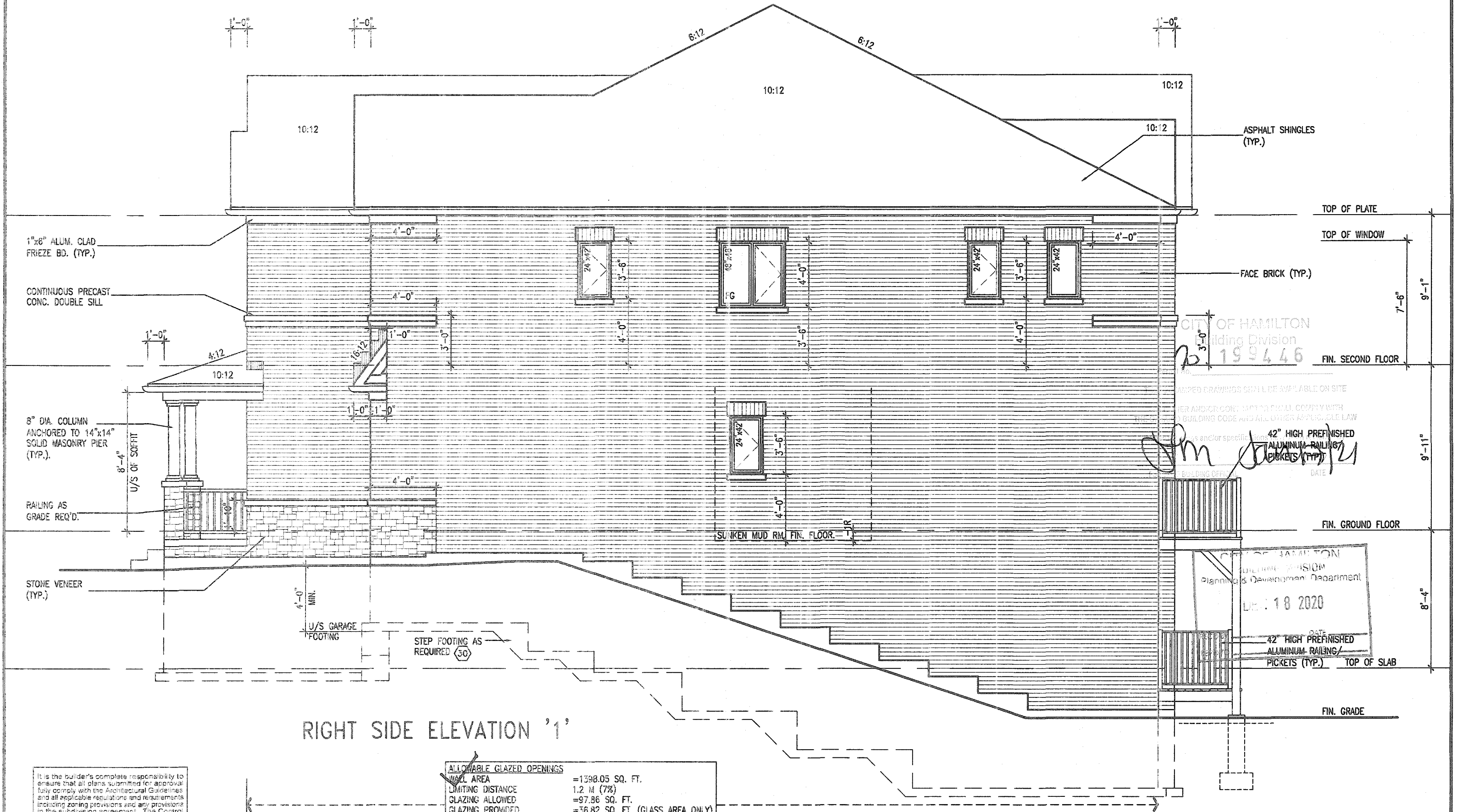
These drawings and/or specifications have been reviewed by
 Jan 17/21
 FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 5-011
COMPLIANCE PACKAGE 'A1'

[illegible]

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3288 SF.



RIGHT SIDE ELEVATION '1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

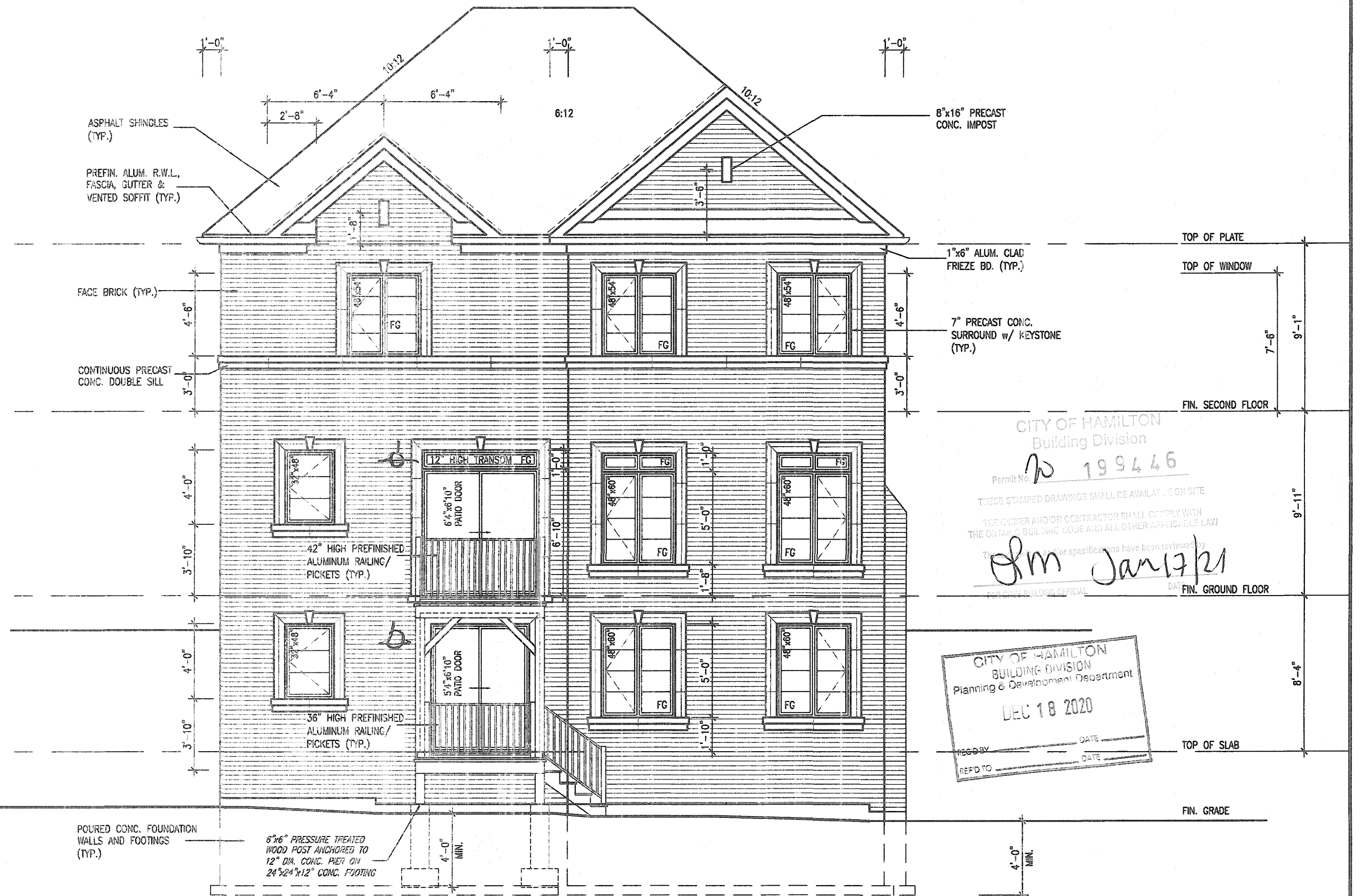
ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1398.05 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=97.86 SQ. FT.
GLAZING PROVIDED	=36.82 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 5-011

COMPLIANCE PACKAGE 'A1'

9 8 7 6 5 4 CUSTOM DRAWINGS PER PURCHASER REQUEST AUG 12/20 GW 3 ISSUED FOR PERMIT APR 13/20 GW 2 UPDATED PER ENG & CLIENT COMMENTS MAR 26/20 GW 1 PRELIMINARY, ISSUED FOR CLIENT REVIEW JAN. 23/20 GW no. description date by		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Richard Vink 24488 BCN name registration information VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON, ON date JANUARY 2020 checked by - scale 3/16" = 1'-0" drawn by CL 19014-MOUNTAINASH-5-011		MOUNTAINASH 5 13.5m project no. 19014 RIGHT SIDE ELEVATION - ELEV. 1 19014-MOUNTAINASH-5-011 drawing no. A7	
--	--	---	--	---	--	--	--	--	--

3288 SF.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: DEC 16, 2020
This stamp certifies compliance with the applicable
Design Guidelines, only and bears no further
professional responsibility.

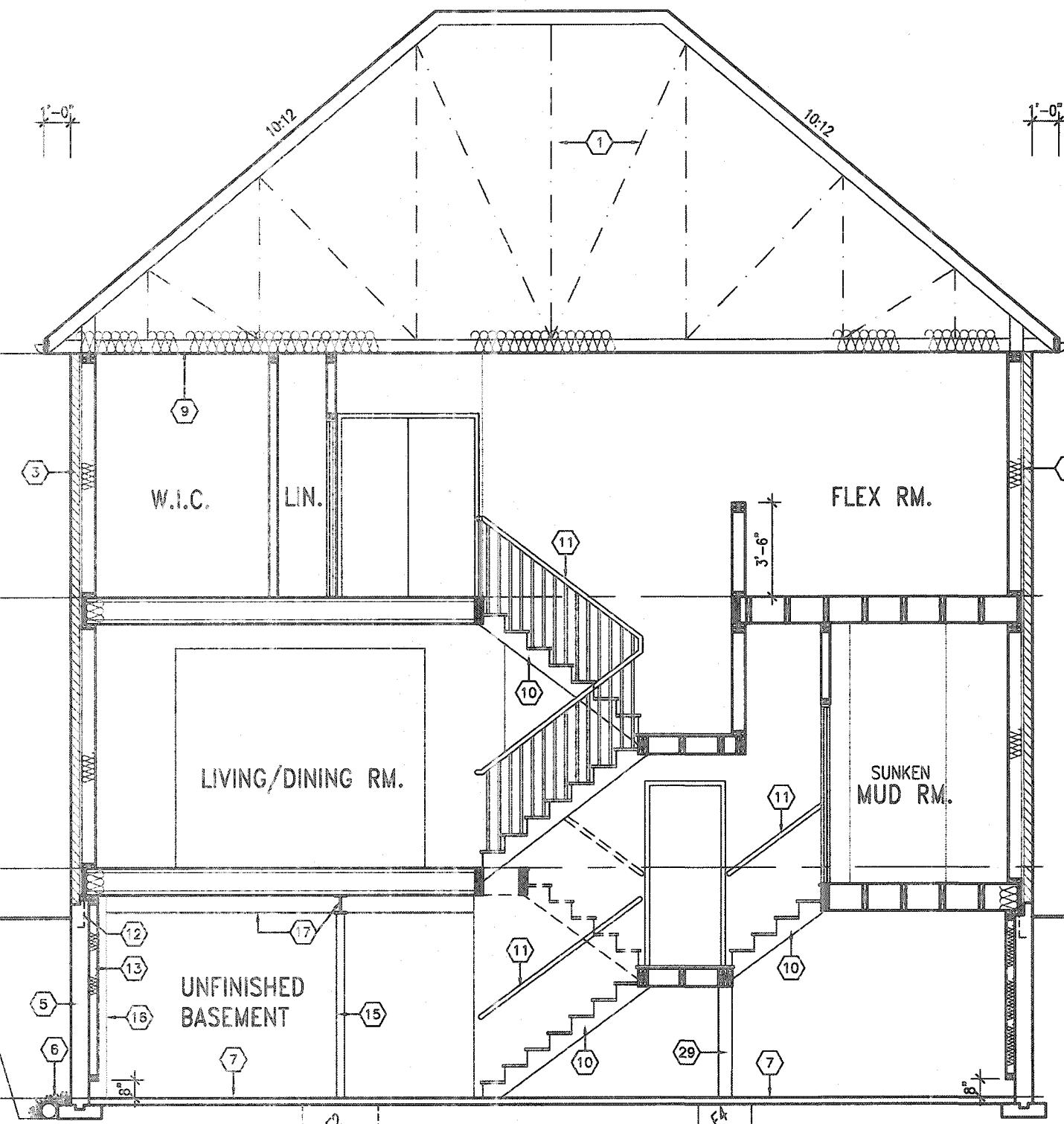
UPGRADED REAR ELEVATION '1'

MOUNTAINASH 5-011
COMPLIANCE PACKAGE 'A1'

[illegible]

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3288 SF.



TOP OF PLATE

9'-1"

FIN. SECOND FLOOR

9'-11"

FIN. GROUND FLOOR

FIN. GRADE

8'-4"

TOP OF BSMT. SLAB

CITY OF HAMILTON
Building Division
Permit No. **190446**

THREE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAW

[Signature] *[Signature]*
FOR CITY BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 18 2020

REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

SECTION A-A ELEVATION '1'

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9					
8					
7					
6					
5					
4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 12/20	GW		
3	ISSUED FOR PERMIT	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW		
1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN 28/20	GW		
no.	description				

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

scale

project no.
19014

municipality
HAMILTON, ON

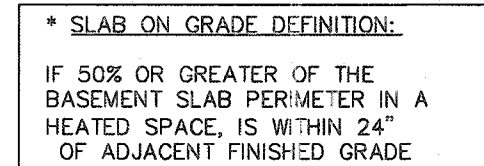
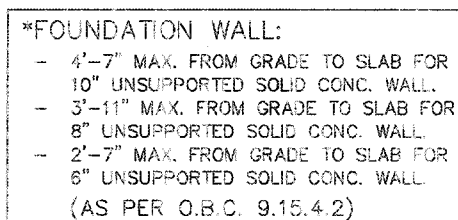
SECTION A-A - ELEV. 1

file name
19014-MOUNTAINASH-5-011

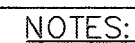
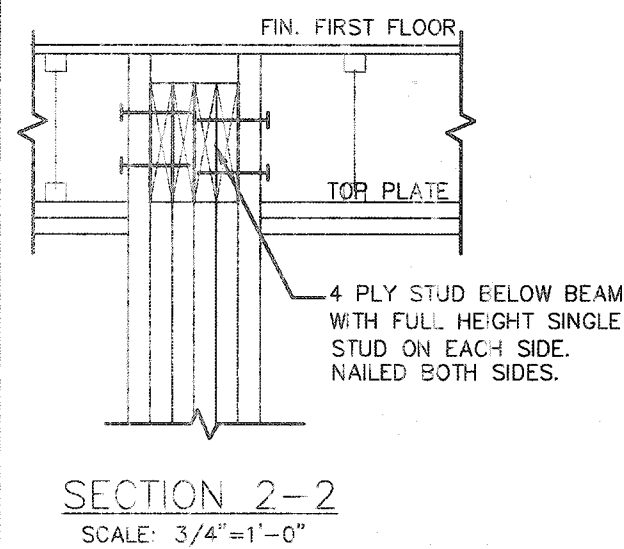
drawing no.
A10

MOUNTAINASH 5-011
13.5m

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SECTION A-A



- CITY OF HAMILTON
Building Division
10 1994 46

Permit No. _____

These design and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE _____



STRUDET INC.
FOR STRUCTURE ONLY

9		-	-	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8				qualification information	
7				Richard Vink	2448
6					BCE
5				name	
4				registration information	
3				VAS Design Inc.	4265
2					
1	ISSUED FOR PERMIT.	A/G	07/20	CW	
pro. description		date by			

VA3

DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name	multiplicity	
RUSSELL GARDENS PHASE 3		WATERDOWN
DOUBLE DECK -WALK-OUT CONDITION		
date	file name	
AUGUST 2020	19014-GP-STD_DETAILS_A1	
drawn by	checked by	file name
GW	As Shawn	19014-GP-STD_DETAILS_A1

project no.
19014

ing no.

01

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