

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



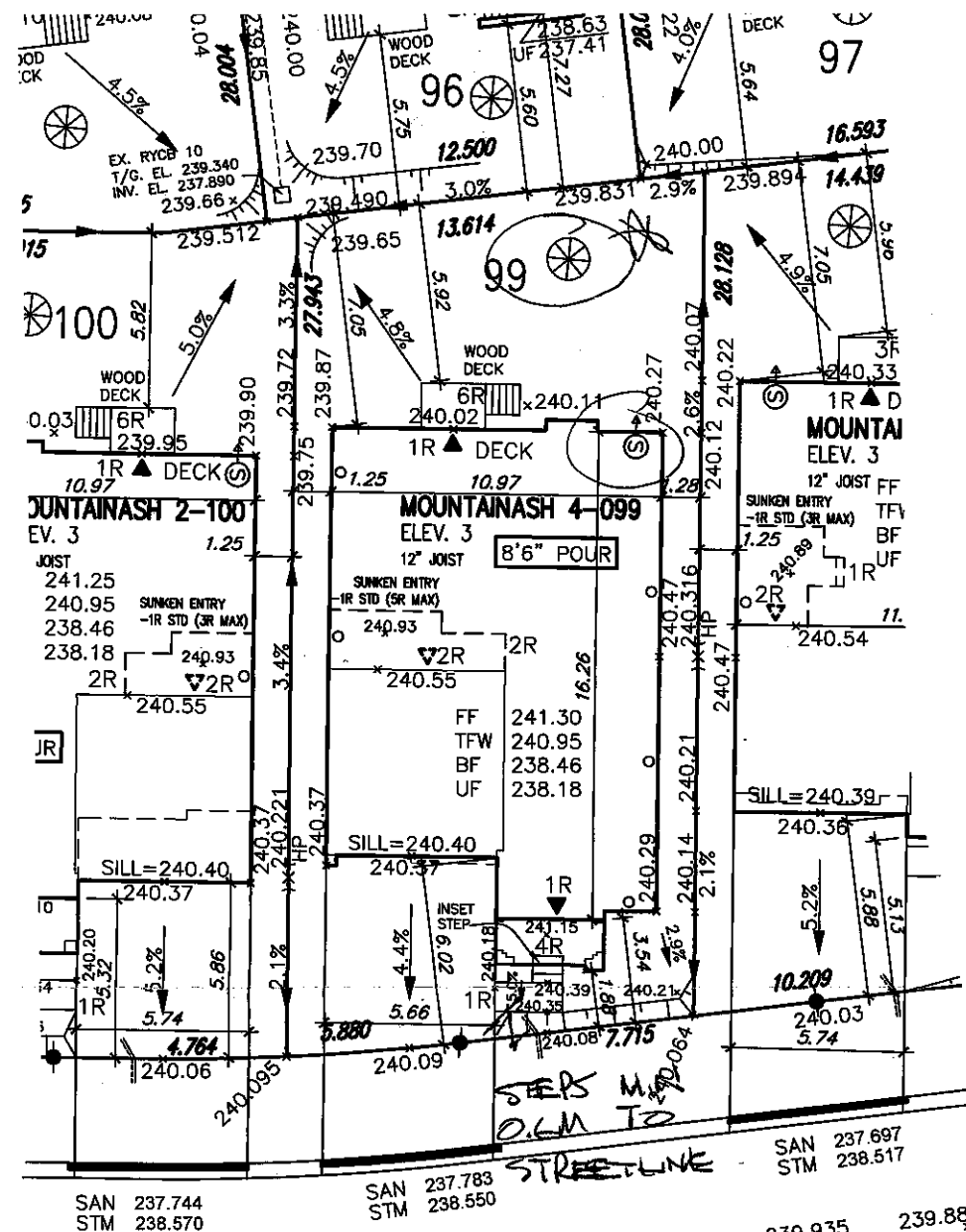
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: DEC 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



McDONOUGH GARDENS

CITY OF HAMILTON
Building Division

Permit No. 20-189023

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
JAN 11 2021

FOR CHIEF BUILDING OFFICIAL

DATE

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

LOT 99		
LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M²)
99	13.62	379.51

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	LIGHT POLE	HYDRANT	TRANSFORMER	No. OF RISERS	STREET SIGN	MAIL BOX	RETAINING WALL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	HYDRO SERVICE LATERAL	HYDRO METER	GAS METER	SLOPE DIRECTION	ENCHANTMENT (3:1 SLOPE unless otherwise noted)	REDUCE SIDE YARD						
DOUBLE STM./SAN. CONNECTION	SINGLE STM./SAN. CONNECTION	CATCH BASIN	CABLE TELEVISION PEDESTAL	BELL PEDESTAL	FINISHED FLOOR ELEVATION	FINISHED MAIN LEVEL ELEVATION	UNDERSIDE FOOTING ELEVATION	FIN. BASEMENT FLOOR SLAB	TOP OF FOUNDATION WALL	UNDERSIDE FOOTING AT REAR	UNDERSIDE FOOTING AT FRONT	UNDERSIDE FOOTING AT SIDE	WALK OUT DECK	WALK OUT BASEMENT	REVERSE PLAN		THIS LOT CONTAINS ENGINEERED FILL	AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)	SIDE WINDOW LOCATION	OPT. DOOR LOCATION	EXTERIOR DOOR LOCATION

no.	description	date	by
2	RE-ISSUED	DEC 09/20	GW
1	ISSUED FOR PERMIT.	SEP 29/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24488
signature	
name	BCN
registration information	
VA3 Design Inc.	42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.	
Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled **	

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		lot/block no. 099
project name RUSSELL GARDENS PHASE 3		registered plan no. 62M-1266
municipality HAMILTON		project no. 19014
date SEPT. 2020	checked by GW	scale 1:250
drawing no. 1		file name 19014-RG3-SITE-LAYOUTS
GREG - H:\ARCHIVE\WORKING\2019\19014\GRE\SITE PLAN\19014-RG3-SITE-LAYOUTS.dwg - Wed - Dec 9 2020 - 11:54 AM		