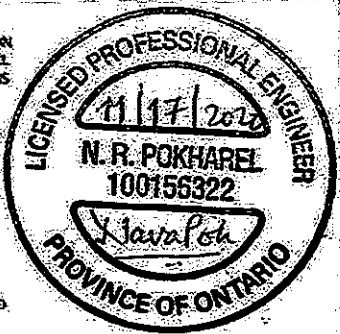


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

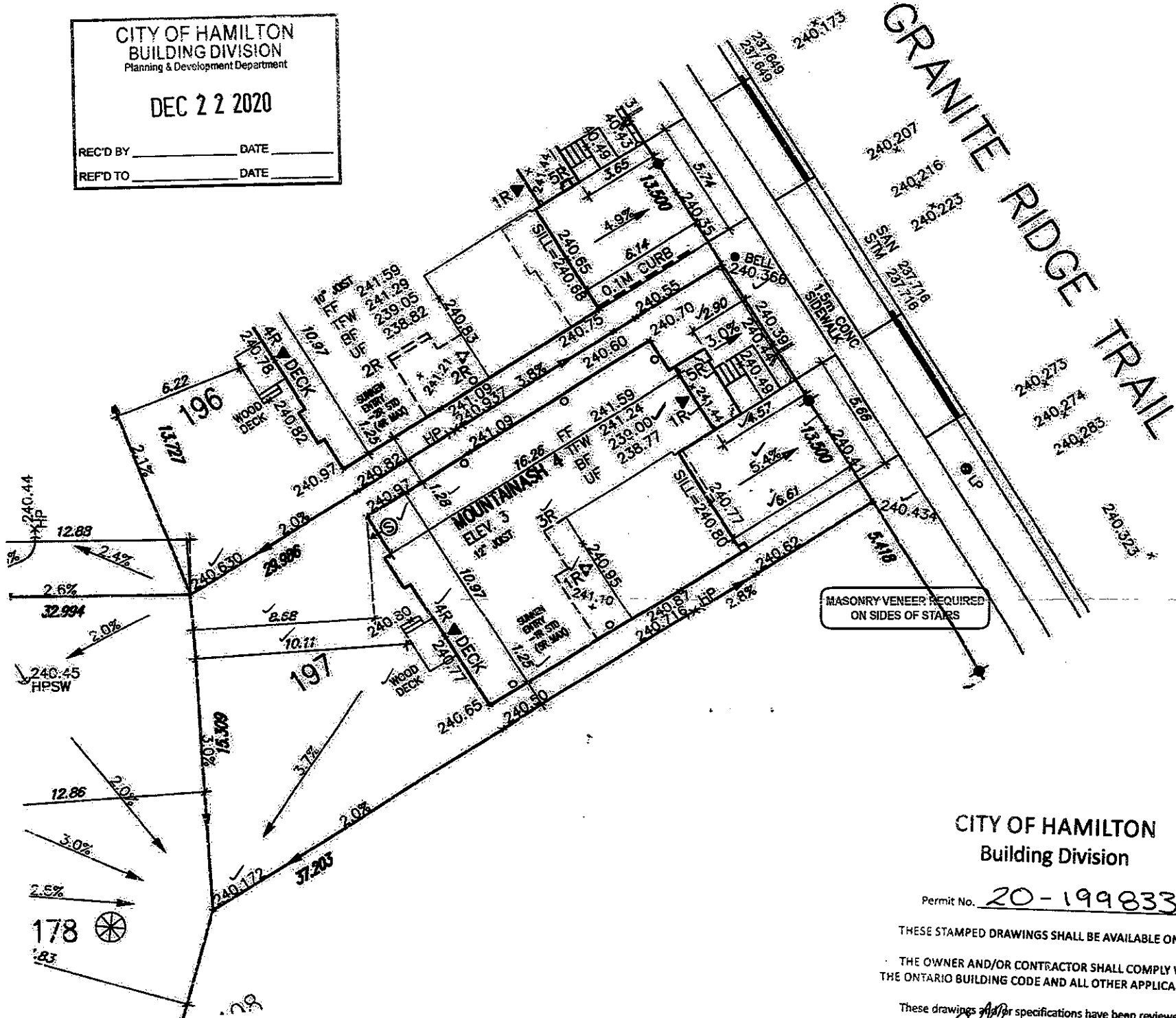
APPROVED BY:
DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

DEC 22 2020

REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____



CITY OF HAMILTON
Building Division

Permit No. 20-199833

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

1/15/21
DATE

LOT 197

LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
197	13.50	453.53

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE LIGHT POLE WATER SERVICE DOUBLE SINK/SINK CONNECTION SINGLE SINK/SINK CONNECTION CATCH BASIN CABLE TELEVISION PEDESTAL BELL PEDESTAL	NO. OF USERS FINISHED FLOOR ELEVATION FINISHED MAIN LEVEL ELEVATION UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL UNDERSIDE FOOTING AT REAR UNDERSIDE FOOTING AT FRONT UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.D. WALK OUT BASEMENT REVERSE PLAN	STREET SIGN MAN BOX RETAINING WALL CHAIN LINK FENCE (SEE LANDSCAPE PLAN) ACOUSTIC FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL HYDRO METER GAS METER ENCHANTMENT (X1 SLOPE unless otherwise noted)	
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no.	description	date	by
1	ISSUED FOR PERMIT.	NOV 06/20	GW

The undersigned has reviewed and taken responsibility for this design and the construction and made the necessary cut-out to the Ontario Building Code to be a building.

Qualification Information
Richard Vink 24488
signature
Name
Vink Design Inc. 42858

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations. If drawings show to be scaled 1/4\"/>

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 F 416.630.4782
v3design.com

Greenpark.
project name
RUSSELL GARDENS PHASE 3
municipality
HAMILTON
date
SEPT. 2020
drawn by
GW
checked by
1250
scale
1:250
LOT SITING/GRADING
19014-RGS-SITE-LAYOUTS
file name
19014-RGS-SITE-LAYOUTS.dwg
date
Nov 16 2020 - 11:02:41

lot/block no.
197
registered plan no.
52M-1266
project no.
19014
drawing no.
1