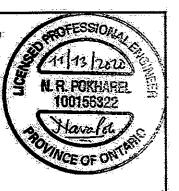
THIS LOT GRADING PLAN HAS BEEN BEVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBBINISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMER WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOSS. WHERE THE BASEMENT FLOOD OR OTHER LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OF OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBMISSION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE IMPRESSION PLANS THE SEWER LATERALS CAN BE MANUTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY OSSIGN CONTENT, NOTE, THIS CHILD KANNON DOWS NOT REPLACE THE MEMORIES RESPONSEDLY TO EXPLOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRICE TO EXCLUSIONING FOR THE FOUNDATION, BY USE OF THIS FLANT HE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR MANUTAINED BY REPURBING TO METRACE THE YEAR LINE RESPONSIBLE FOR MANUTAINED BY REPURBING TO METRACE THAT THEY SHALL BE RESPONSIBLE FOR MANUTAINED BY REPURBING TO METRACE THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION SETWEEN THE LATERAL INFORMACIO GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Archibectural Guidelines and all applicable regulations and requirements including coning provisors and any provisors in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON:

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW APPROVED BY

DEC 07, 2020 DATE: This stamp certifies compliance with the applicable Design Guidefines only and bears no further professional responsibility.

**CITY OF HAMILTON Building Division** 

Permit No. 20-199866

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Deck Permit These drawings and/or specifications have been reviewed by CITY OF HAMILTON 21-101577. **BUILDING DIVISION** FOR CHIEF BUILDING OFFICIAL DEC 2 2 2020 ᇙ 234 SAN MOUNTAINASH 4 239.**88** 239.53 REF'D TO DATE ELEV. 3 TEW 238.670 \*238.677 237.29 237.06 **i.96** EDWORTHY GARDENS 27.500 29.900 239.19 5.85 7.07 / 7.05 WOOD of 233 228 238,592 \* 238,606 239.73 239.43 238.80 MOUNTAINASH 5 **IFW** ELEV. 1 BF 237.19 10 JOIST UF 236.96 3.70 238.70 2.3% .<del>5</del>5 29.900 27.500 7.22 90 L=239. 232 x 238.543 SAN 38.58 229 10.97 MOUNTAINASH ELEV. 3 FF 239.77 TFW 239.47 DECK 10 JOIST 237.23 237.00 BF

> **LOT 228** LOT LOT AREA (MP) No. WIDTH (M) 371.25 13.50

> > H O HYDRANT

Gauling Holiss. It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved gradin engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VI3 Design Inc., is to be notified promptly of any discrepancies at least ( (and) meet, prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of arcost to VI3 Design Inc. Foundation wall shall be poured to a minimum of 6' above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: SUMP PUMP REQUIRED INCITE: SUMP PUMP REQUIREU SY-SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS, REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

WILLER SERVICE TRUSPOSMER DOUBLE STIL/SALL CONNECTION SMOLE STAT/SWL CONNECTION COTCH BISIN ORGE TREMSION PEDESTAL

BELL PEDESTAL

Ø PROPOSED WILLE LP ● LIGHT POLE

NO. OF RISERS FRISHED FLOOR ELEVATION FRISHED MAIN LEVEL, ELEVATION 维斯 UNDERSIDE FOOTING ELEVADOR FM. BISSIERT FLOOR SLAE TOP OF FOUNDATION WHILL UNDERSOE FOOTING AT REAR UFR TAZ THE UNDERSIES FOOTING AT FROM UNDERSIDE POOTING AT SIDE WOD, WILK OUT DECK WOD, WILK OUT DISEMENT BY REVERSE PLAN

REY

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**4** C

SEPT. 2020

STREET SOI MML BOX CHAIN LINK FENCE (SEE LANDSCAPE PLAN) 

WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO METER GAS METER ----- SINE DIRECTION

PROMOE 3/4" DIA. CLEAR STONE IN THIS MEA

\* OR \* DAS LOT CONTAINS BIGMETHED FILL AC AR CONDIDCHER REQUIRED O OR III WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPRO) OFF. DOOR LOCATION A DETERMINE BOOK LOCKTION



228

19014

1. ISSUED FOR PERMIT

no. description

the Cart of the Cart Richard Vink 24488 registration information VA3 Design Inc. 42658 Builder to writy location of all hydrodis, shreet lights, broadconnect and other services. It sublement directions are not analytically believe to be relocated at this case separate.

Builder to write services connection developes prior to constructing, database by foundations. \*\* Oranings MOT to be scaled \*\*

255 Co

RUSSELL GARDENS PHASE 3

THE CALL SOFT DESCRIPTION OF SOLUTION OF S

62M-1266 HAMILTON LOT SITING/GRADING

19014-RG3-SITE-LAYOUTS GW 1:250 CREC: - H:\ARCHDE\MORKMC\2019\19014.GRE\SITE-PLAN\19014-RC3-SITE-LAYOUTS.dwg is and along on the copyright properly of NCS SENIOR. Supervision of this properly is whole or in past in adulty pr