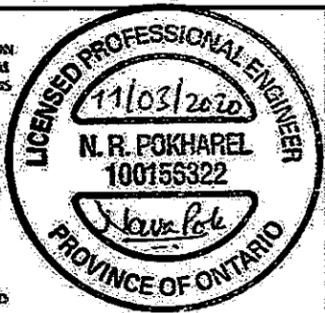


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



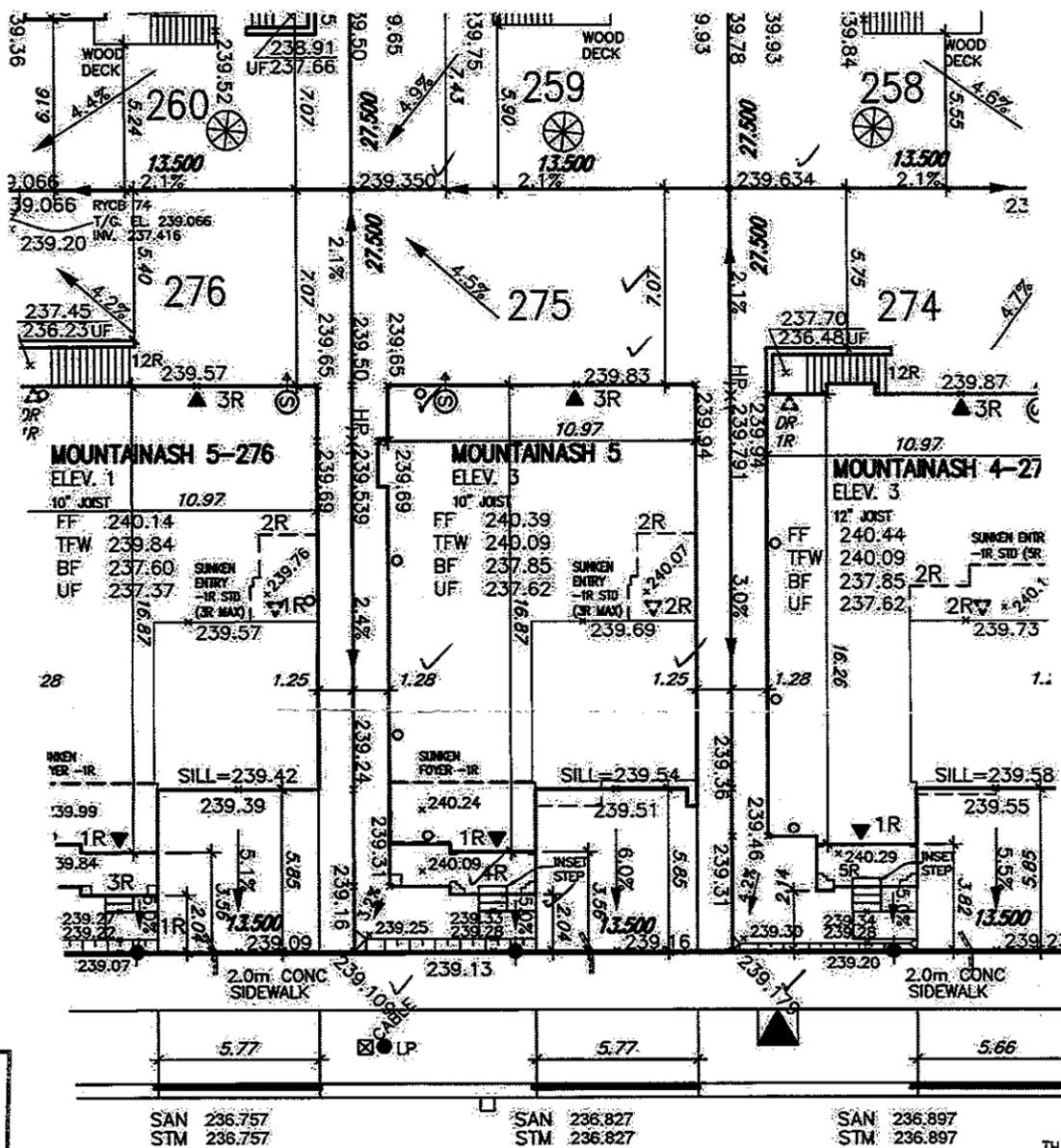
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: NOV 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON
Building Division

Permit No. 20-199869

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] Janiszi
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

DEC 22 2020

EC'D BY _____ DATE _____
EF'D TO _____ DATE _____

238.946 238.960 239.012 239.015 239.054 239.064
239.146
GREAT FALLS BOULEVARD

LOT 275		
LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M ²)
275	13.50	371.25

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

<ul style="list-style-type: none"> PROPOSED VALVE UP LIGHT POLE WATER SERVICE DOUBLE STM/SAN CONNECTION SINGLE STM/SAN CONNECTION DRINK BNSN CABLE TELEVISION PEDESTAL BELL PEDESTAL 	<ul style="list-style-type: none"> LR NO. OF RISERS FF FINISHED FLOOR ELEVATION ML FINISHED MAIN LEVEL ELEVATION UF UNDERSIDE FOOTING ELEVATION BF FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL URF UNDERSIDE FOOTING AT REAR UFS UNDERSIDE FOOTING AT FRONT UFS UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV REVERSE PLAN 	<ul style="list-style-type: none"> STREET SIGN MAIL BOX RETAINING WALL CHAIN LINK FENCE (SEE LANDSCAPE PLAN) ADDITIONAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL HYDRO METER GIS METER EMBANKMENT (±1 SLOPE unless otherwise noted) 	<ul style="list-style-type: none"> PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL RR: CONDITIONER REQUIRED R/W: WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) ○ SIDE WINDOW LOCKDOWN △ OPT. DOOR LOCKDOWN ▲ EXTERIOR DOOR LOCATION ▽ REDUCE SIDE 1960
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9			
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1	ISSUED FOR PERMIT	NOV. 02/20	GW
no.	description	date	by

The undersigned has returned and takes responsibility for this design and the construction and shall be responsible and out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink *[Signature]* 24488
name
qualification information
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations. Drawings NOT to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
T 416.630.2255 F 416.630.4782
va3design.com

Greenpark

project name
RUSSELL GARDENS PHASE 3

date
SEPT. 2020

checked by
GW

scale
1:250

project no.
19014

drawing no.
1

lot/block no.
275

registered plan no.
62M-1266

project no.
19014

drawing no.
1

LOT SITING/GRADING
19014-RG3-SITE-LAYOUTS

DATE: 11/10/2020 10:17 AM