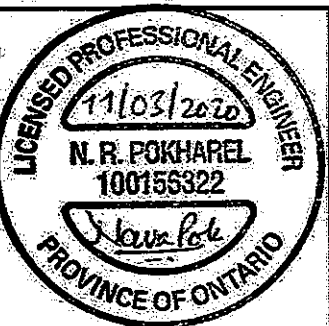


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



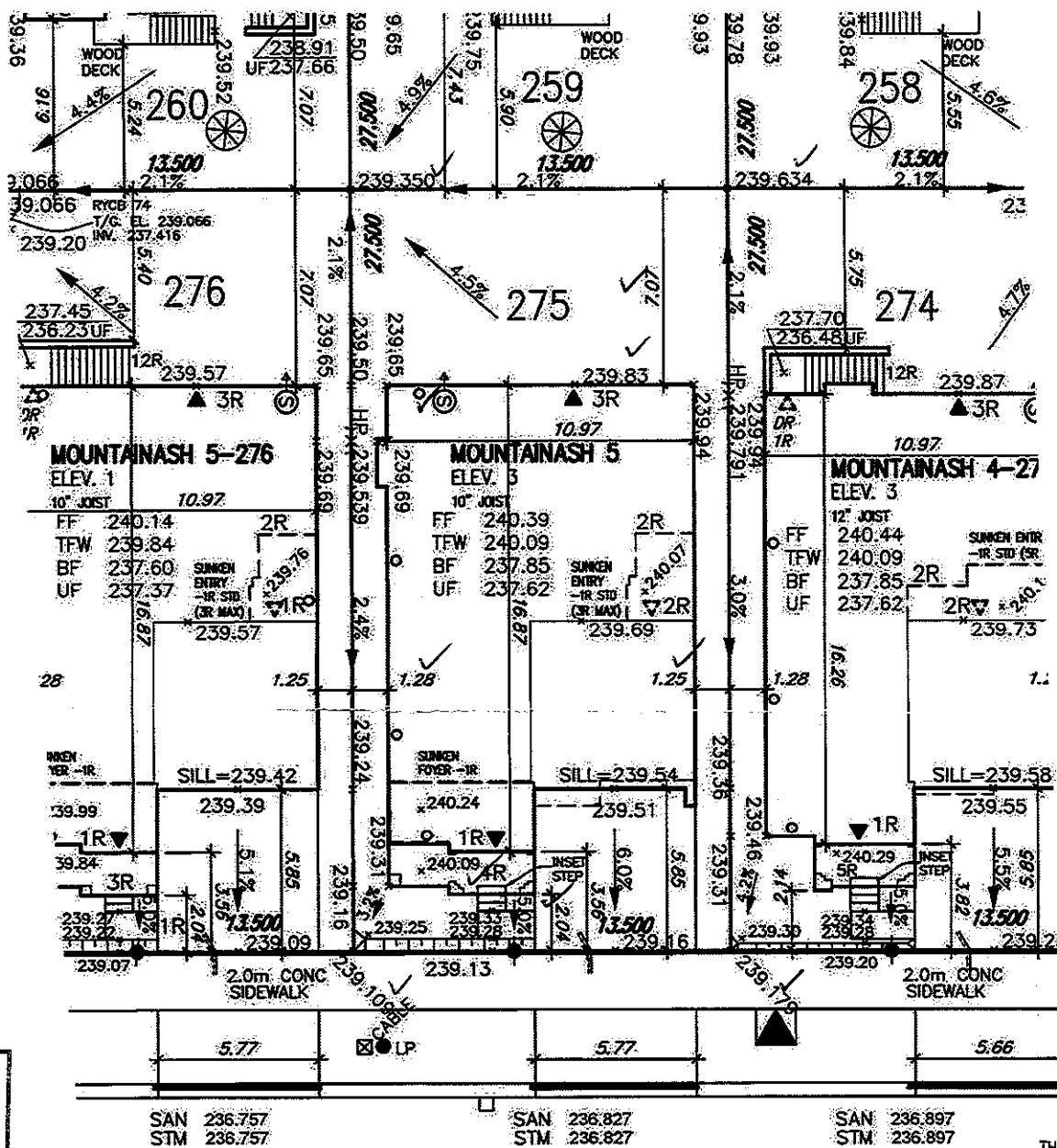
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: NOV 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON
Building Division

Permit No. 20-199869

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL
DATE: Jan 15/21

GREAT FALLS BOULEVARD

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

DEC 22 2020

EC'D BY: _____ DATE: _____
EF'D TO: _____ DATE: _____

LOT 275		
LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M²)
275	13.50	371.25

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

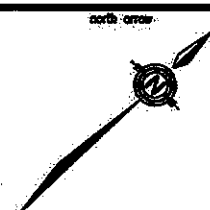
VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolis Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALUE	NO. OF ROSES	STREET SIGN	PROVIDE 3/4" DIA. CLEAR
UP: LIGHT POLE	FINISHED FLOOR ELEVATION	MAIL BOX	STONE IN THIS AREA
WATER SERVICE	FINISHED MAIN LEVEL ELEVATION	RETAINING WALL	THIS LOT CONTAINS ENGINEERED FILL
DOUBLE STM/SAN CONNECTION	UNDERSIDE FOOTING ELEVATION	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	AC: AIR CONDITIONER REQUIRED
SINGLE STM/SAN CONNECTION	FIN. BASEMENT FLOOR SLAB	ADDITIONAL FENCE (SEE LANDSCAPE PLAN)	R/W: WATER DOWNSPOUT LOCATION
CATCH BASIN	TOP OF FOUNDATION WALL	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	(DISCHARGE ONTO SPASHPAD)
CABLE TELEVISION PEDESTAL	UNDERSIDE FOOTING AT REAR	HYDRO SERVICE LATERAL	SIDE WINDOW LOCKDOWN
BELL PEDESTAL	UNDERSIDE FOOTING AT FRONT	HYDRO METER	OPT. DOOR LOCKDOWN
	UNDERSIDE FOOTING AT SIDE	GIS METER	EXTERIOR DOOR LOCATION
	W.O.B.: WALK OUT DECK	ENFORCEMENT (2:1 SLOPE UNLESS OTHERWISE NOTED)	REDUCE SIDE 1:60
	REV: REVERSE PLAN		



9			
8			
7			
6			
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4			
3			
2			
1	ISSUED FOR PERMIT	NOV 02/20	GW
no	description	date	by

The undersigned has reviewed and takes responsibility for this design and the design and construction of the project and is not to be held liable for any errors or omissions.	
qualification information	signature
Richard Vink	
name	signature
VA3 Design Inc.	
24488	42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.	
Builder to verify service connection elevations prior to constructing foundations. Drawings NOT to be scaled.	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 F 416.630.4782
va3design.com

Greenpark
project name: RUSSELL GARDENS PHASE 3
date: SEPT. 2020
checked by: _____
scale: 1:250
drawing no.: 1

lot/block no.: 275
registered plan no.: 62N-1266
project no.: 19014
drawing no.: 1