

AUG 11 2020

CONSTRUCTION SUMMARY

Mountainview Heights 3 (G) - Russell Gardens Building Ltd.

PURCHASERS: Jay KHAWARE and Shalini KHAWARE

TEL:

LOT / PHASE	REG. PLAN #	HOUSE TYPE
314 / 3	62M-1266	Mountainash Five (4 Bedroom) Elev 3

PLUMBING

2 - TOE TESTER - ADD TOE TESTER TO SHOWER - ALL SHOWERS

07Aug20 Note:

PROMOTIONAL

1 - PARTIAL REDEMPTION OF PROMOTIONAL PACKAGE \$300.00 BALANCE (\$11,700.00) FORWARD TO BE USED AT A LATER DATE. ORIGINAL PROMOTIONAL PACKAGE OF \$12,000.00 AS PER SCHEDULE PE DATED 07/14/2020.

07Aug20 Note:

This Document is Extremely Time Sensitive - Printed 11 Aug 20 at 9:24

**SCHEDULE "PE"
PURCHASER'S EXTRA**

Russell Gardens Building Ltd. c.o.b. Greenpark Vendor	Jay KHAWARE Shalini KHAWARE Purchaser(s) Telephone Number: Cell: (416) 399-3257
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Lot Number 314	House Type Mountainash Five (4 Bedroom) Elev 3	Reg. Plan # 62M-1266	Phase	Date Ordered 11-Jul-2020
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IN ACCORDANCE WITH THE PROVISIONS OF SCHEDULE "X" OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRA'S:

DESCRIPTION

WALK UP 200 AMPS 3 LARGER BASEMENT - SUBJECT TO ENGINEER APPROVAL
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All promotional items and incentives available at the time of purchase have been given to the Purchaser at the time of sale. No further credits available. Any unused portion of the credit will be forfeited by the Purchaser.

Where applicable: Purchaser acknowledges being advised that the stain of pre-finished wood flooring and the stain of the stairs, railings, spindles and stair landing may vary, despite both having the same descriptive name and or code.

Paid: Included in the purchase price

Purchaser: Jay KHAWARE



Vendor

Construction Scheduling Approval

Per: _____

Date: _____

Purchaser: Shalini KHAWARE



- Greenpark
- Metropark
- Purchaser
- Construction
- Site Office
- Purchaser's Lawyer

July 11/2020

Jayden

S/S

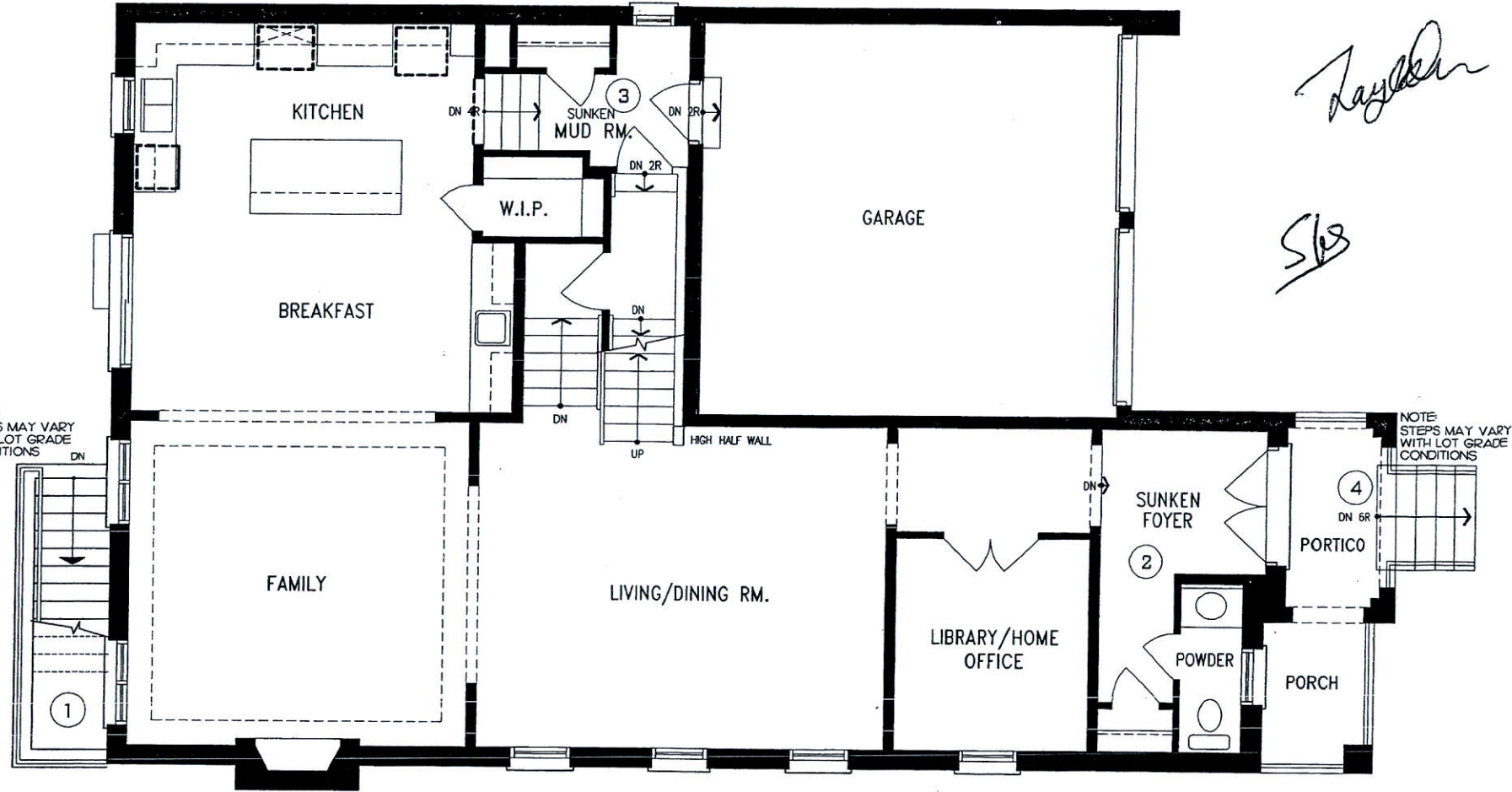
LOT 314
 RUSSELL GARDENS
 PHASE 3
 MOUNTAINVIEW HEIGHTS

MOUNTAINASH 5
 ELEV. 3

REVISION:

1. ADD EXTERIOR BASEMENT WALK-UP STAIRS TO REAR OF HOUSE.
2. SUNKEN FOYER AS REQUIRED BY GRADE
3. MUD ROOM - ADD EXTRA STEPS AS REQUIRED BY GRADE, REDESIGN CLOSET AS PER SKETCH, RELOCATE WINDOW
4. RECESSED STEP INTO PORCH AS REQUIRED BY GRADE

NOTE: STEPS MAY VARY WITH LOT GRADE CONDITIONS



NOTE: STEPS MAY VARY WITH LOT GRADE CONDITIONS

FIRST FLOOR PLAN

DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

REGION
 DESIGN
 INC.

SCALE N.T.S.
 BY PAGE No.
 MB 2 OF 2



LOT 314
 RUSSELL GARDENS
 PHASE 3
 MOUNTAINVIEW HEIGHTS

MOUNTAINASH 5
 ELEV. 3

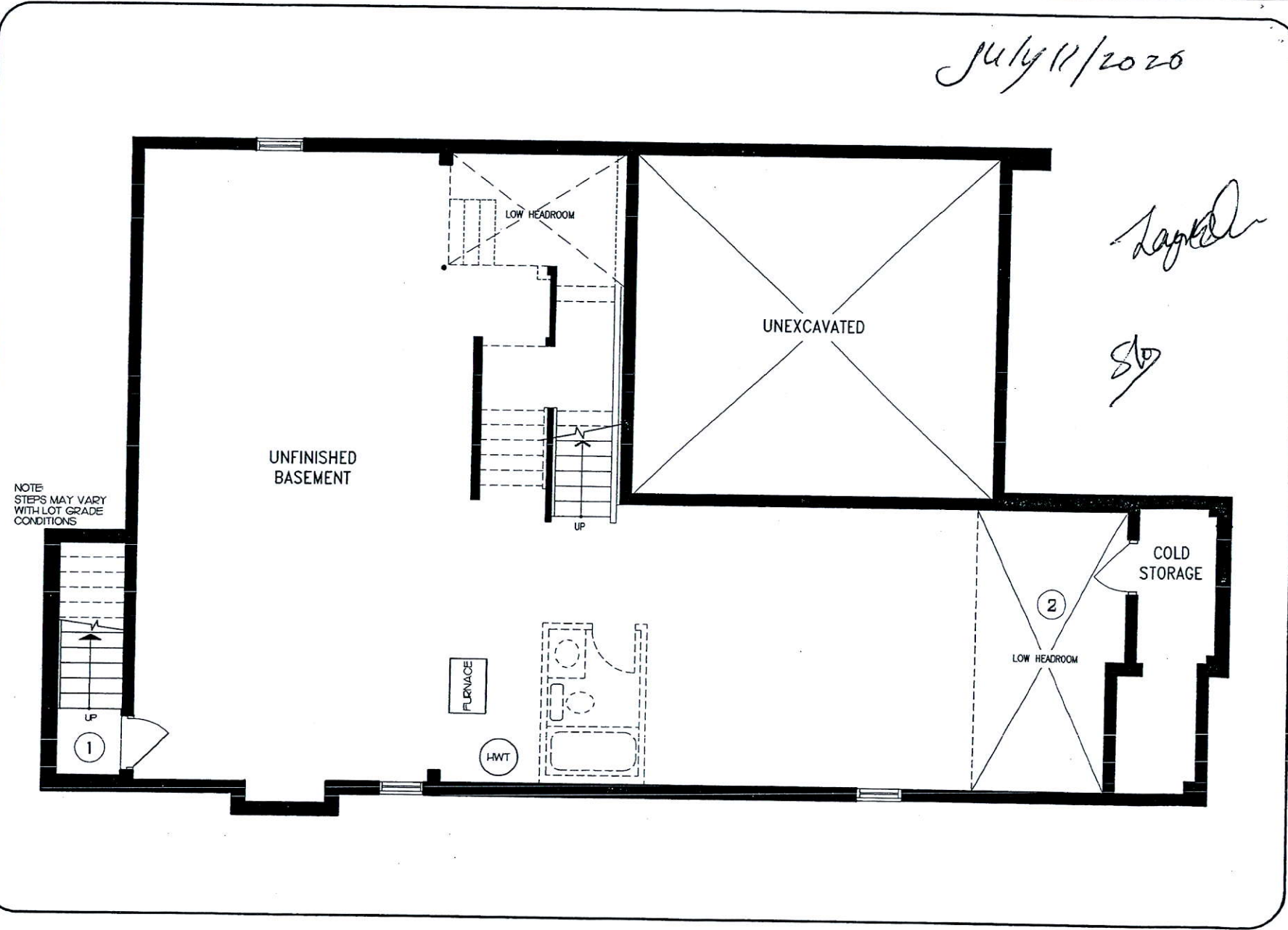
REVISION:

1. ADD EXTERIOR BASEMENT WALK-UP STAIRS TO REAR OF HOUSE.
2. LOW HEADROOM UNDER SUNKEN FOYER

July 11/2020

Signature

Signature



BASEMENT PLAN

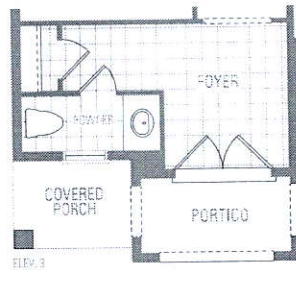
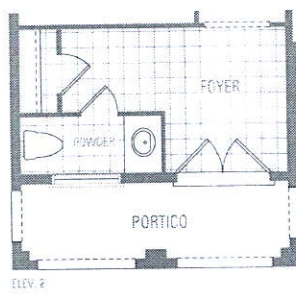
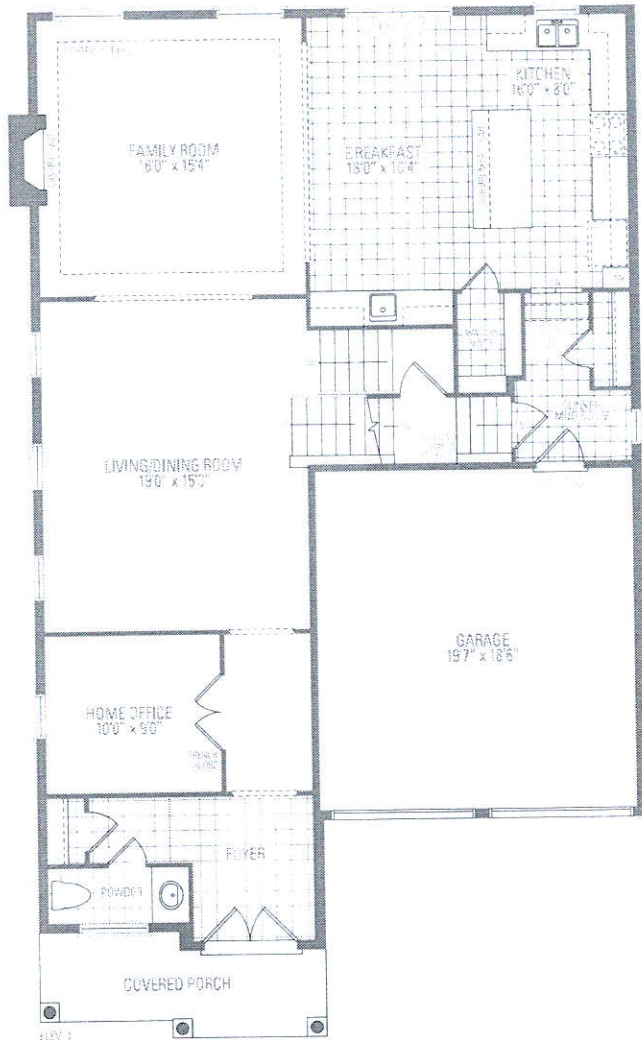
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REGION DESIGN INC.

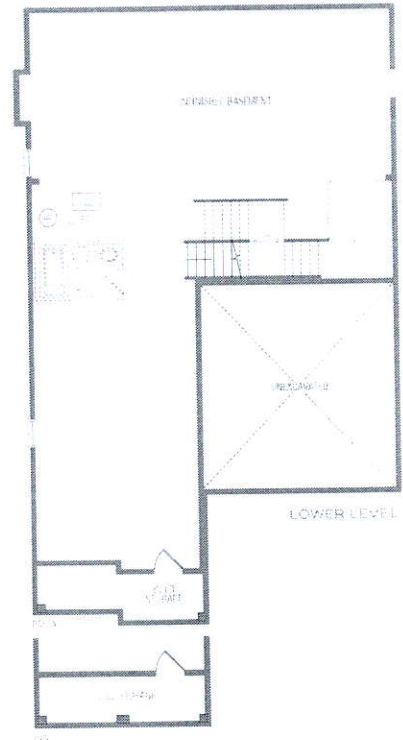
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BY MB	PAGE No. 1 OF 2



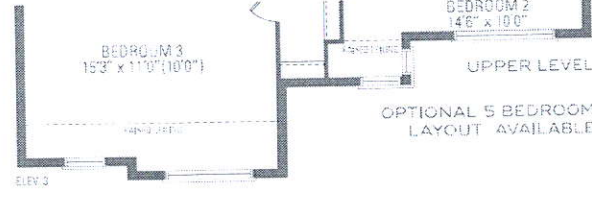
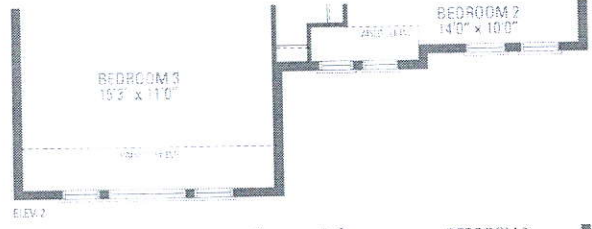
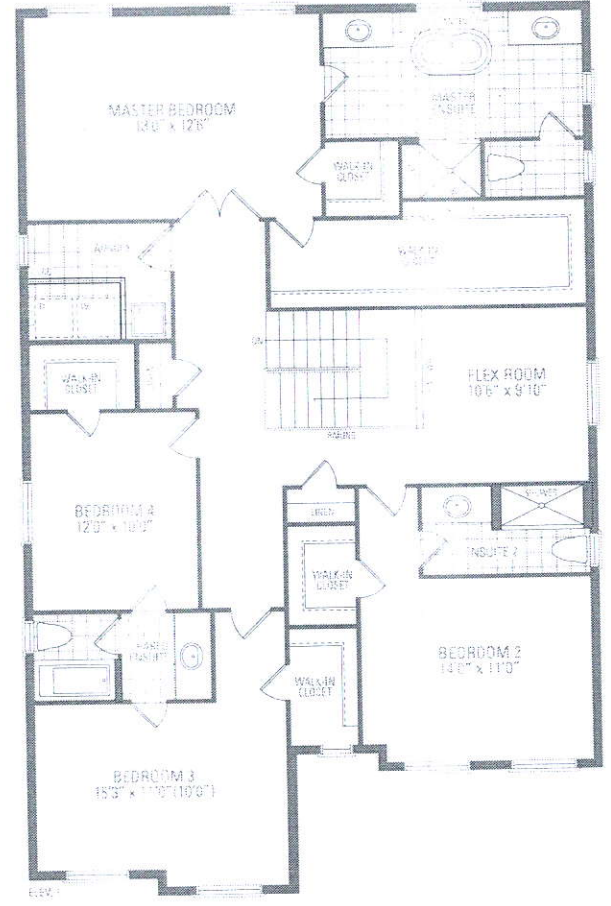
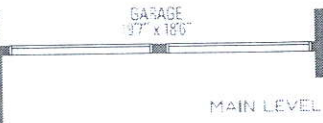
TM



Larger Basement Windows
Walk-up



200 AMP



MOUNTAINASH FIVE ELEV. 1 • 3,288 sq.ft. | ELEV. 2 • 3,291 sq.ft. | ELEV. 3 • 3,298 sq.ft.

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Ruffled and adjoining model types may vary due to stock. E. & O. E. May 2020