



CONSTRUCTION SUMMARY				
Mountainview Heights 3 (G) - Russell Gardens Building Ltd.				
PURCHASER: MOHAMED ADDA				TEL:
LOT / PHASE 9 / 3	REG. PLAN # 62M-1266	HOUSE TYPE Mountainash Six (4 Bedroom) Elev 2		

CABINETRY

1 - DELETE HARDWARE NO HOLES DRILLED - KITCHEN 02Feb21 Note:	✓
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CERAMIC TILE

1 - DELETE ALL CERAMIC BATHROOM ACCESSORIES - DELETE TOWEL BAR, PAPER HOLDER & SOAP DISH THROUGHOUT 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - LAUNDRY ROOM - 2ND FLOOR - FLOOR 17Dec20 Note:	
1 - TILE - UPGRADE 3 WALL TILE - - ENSUITE WALL TILE - SHOWER 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - ENSUITE BATHROOM - FLOOR 17Dec20 Note:	
1 - TILE - UPGRADE 3 WALL TILE - - BATHROOM 4 - SHOWER 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - BATHROOM 4 - FLOOR 17Dec20 Note:	
1 - TILE - UPGRADE 3 WALL TILE - - BATHROOM 2/3 - TUB AREA 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - BATHROOM 2/3 - FLOOR 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - SIDE HALL 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - POWDER ROOM 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - KITCHEN 17Dec20 Note:	
1 - TILE - UPGRADE 3 FLOOR TILE - - FOYER 17Dec20 Note:	

CONSTRUCTION

3 - PROVISION FOR SHAMPOO NICHE APPROX. 24" WIDE X 20" HIGH AS PER SKETCH – IF CONSTRUCTION PERMITS - ALL ENSUITE BATHROOMS 25Jan21 Note:	
1 - DELETE BULK HEADS IN KITCHEN IF CONSTRUCTION PERMITS 22Dec20 Note:	
1 - SMOOTH CEILINGS ON FIRST FLOOR ONLY - DET 17Dec20 Note:	

RECEIVED
FEB 13 2021

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LOT / PHASE 9 / 3	REG. PLAN # 62M-1266	HOUSE TYPE Mountainash Six (4 Bedroom) Elev 2		
1 - MASTER ENSUITE - FRAMELESS GLASS SHOWER DOOR & FRONT WALL AT SEAT INCLUDES CHROME HINGES 21Jul20 Note: IF CONSTRUCTION PERMITS				
1 - MAIN LEVEL - INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET 21Jul20 Note: IF CONSTRUCTION PERMITS				
1 - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL 21Jul20 Note: IF CONSTRUCTION PERMITS				
2 - ENLARGE BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES 21Jul20 Note: IF CONSTRUCTION PERMITS				

COUNTER TOP

1 - MASTER ENSUITE BATHROOM - SHOWER - UPGRADED QUARTZ ON SHOWER SEAT IN LIEU OF STANDARD MARBLE 25Jan21 Note:	
3 - SHAMPOO NICHE 24" WIDE X 20" HIGH AS PER SKETCH – MARBLE, GRANITE OR QUARTZ – IF CONSTRUCTION PERMITS - REQUIRES PROVISION FROM CONSTRUCTION - ALL ENSUITE BATHROOMS 25Jan21 Note: SUPPLY & INSTALL	

DOORS AND TRIM

17 - DOORS INTERIOR - FOR 9 FOOT CEILING - LINCON SMOOTH HALLOW IN LIEU OF STANDARD SERIES - SECOND FLOOR 17Dec20 Note:	
4 - DOORS INTERIOR - FOR 10 FOOT CEILING - LINCON SMOOTH HALLOW IN LIEU OF STANDARD SERIES - MAIN FLOOR 17Dec20 Note:	

ELECTICAL

2 - PLUG – ROUGH-IN FOR ELECTRIC CAR PLUG IN GARAGE – FOR FUTURE ELECTRIC CAR – 240V / 40-50 AMPS - IF CONSTRUCTION PERMITS 17Dec20 Note: SPECIFICATIONS REQUIRED	
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ELECTRICAL

1 - PLUG - ELECTRICAL PLUG WITH GFI AND SWITCH - FOR FESTIVE LIGHTING 25Jan21 Note:	
4 - PLUG - ELECTRICAL PLUG - ALL BATHROOMS 22Dec20 Note: Installed Beside toilets for future washlets	
1 - MASTER ENSUITE BATHROOM, ENSUITE 2/3 BATHROOM & ENSUITE 4 BATHROOM - IN-FLOOR HEATING 17Dec20 Note:	
3 - FAN - BATHROOM EXHAUST FAN - ENERGY STAR 80 CFM - IN LIEU OF STANDARD FAN - ALL ENSUITE BATHROOMS 17Dec20 Note:	
4 - POT LIGHT - LED - FIRST FLOOR INSTALLATION - KITCHEN - INSTALLED ON SEPERATE SWITCH FROM STANDARD LIGHT 17Dec20 Note:	
1 - RELOCATE STANDARD KITCHEN LIGHT TO BE CENTERED OVER ISLAND 17Dec20 Note:	

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LOT / PHASE	REG. PLAN #	HOUSE TYPE		
9 / 3	62M-1266	Mountainash Six (4 Bedroom) Elev 2		

4 - POT LIGHT - LED - FIRST FLOOR INSTALLATION - KITCHEN - WORK SPACE - INSTALLED ON SEPERATE SWITCH FROM STANDARD LIGHT 17Dec20 Note:	
1 - PLUG - ELECTRICAL PLUG - TO BE INSTALLED OVER FIREPLACE 17Dec20 Note:	
1 - ENSUITE 2/3 BATHROOM - POT LIGHT - SHOWER POT LIGHT 17Dec20 Note: Installed in Bathtub	

FIREPLACE AND ACCESSORIES

1 - GAS LINE ROUGH-IN FOR BARBECUE - FIRST FLOOR 17Dec20 Note:	
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HARDWOOD FLOORING

1 - LAMINATE – UPGRADE TO FJORD SERIES IN LIEU OF STANDARD LAMINATE 17Dec20 Note:	
1 - HARDWOOD - PROMO SERIES 4 7/16 INCH - IN LIEU OF 2 1/4 INCH NATURAL RED OAK - - LIVING AND DINING ROOM 17Dec20 Note:	
1 - HARDWOOD - PROMO SERIES 4 7/16 INCH - IN LIEU OF 2 1/4 INCH NATURAL RED OAK - - LIBRARY/DEN 17Dec20 Note:	
1 - HARDWOOD - PROMO SERIES 4 7/16 INCH - IN LIEU OF 2 1/4 INCH NATURAL RED OAK - - FAMILY ROOM 17Dec20 Note:	

MIRRORS AND GLASS

1 - SHOWER DOOR HANDLE - CHROME D-RING WITH TOWEL BAR - ENSUITE 4 BATHROOM 22Dec20 Note:	
1 - FRAMELESS GLASS SHOWER DOOR FOR 5 FOOT PAN - INCLUDES CHROME HINGES - ENSUITE 4 BATHROOM 22Dec20 Note:	
1 - ALL BATHROOMS - DELETE STANDARD MIRRORS - DO NOT INSTALL 17Dec20 Note:	
1 - SHOWER DOOR HANDLE - CHROME D-RING WITH TOWEL BAR - MASTER ENSUITE BATHROOM 17Dec20 Note:	

MISCELLANEOUS

1 - NO FURTHER CHANGES PERMITTED 25Jan21 Note:	
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PLUMBING

1 - ALL BATHROOMS - CONTRAC CANAAN WALL HUNG TOILET - #5780CFW - IF CONSTRUCTION PERMITS 25Jan21 Note: (x4)	
1 - ALL BATHROOMS - CONTRAC CANAAN WALL HUNG TOILET - #5780CFW - IF CONSTRUCTION PERMITS 25Jan21 Note:	

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4 - ALL BATHROOMS - COLD WATER VALVE NEXT TO TOILET FOR FUTURE WASHLET 25Jan21 Note:				
1 - MASTER - MOEN 90 DEGREE POSI-TEMP TUB/SHOWER FAUCET FROM CEILING WITH 3 FUNCTION TRANSFER VALVE/TRIM AND SLIDE BAR WITH HAND SHOWER - CHROME 17Dec20 Note: *Include 6" Shower arm from ceiling .				
17Dec20 Note:				
4 - HOT WATER VALVE NEXT TO TOILET - ALL BATHROOMS 17Dec20 Note:				
2 - TOE TESTER - ADD TOE TESTER TO SHOWER - ALL SHOWERS 21Jul20 Note:				



PROMOTIONAL

1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 21Jul20 Note:	
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STAIRS AND RAILINGS

1 - STAIRCASE - V GROOVE HANDRAIL 17Dec20 Note:	
1 - STAIRCASE - EUROLINE 1 IRON PICKETS - BLACK 17Dec20 Note:	

EXTRAS AS PER OFFER

WITH WALKOUT Worksheet Note:		
200 AMP Worksheet Note:		
The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Two Worksheet Note:		

This Document is Extremely Time Sensitive - Printed 2 Feb 21 at 9:00

Purchaser:MOHAMED ADDA

Telephone Res. / Bus: /

Decor Advisor:Candace Forza

Lock Date:17-Dec-20

Property: 9

Project: Russell Gardens Building Ltd.

Model and Elevation: Mountainash Six (4 Bedroom) Elev 2

Plan #: 62M-1266

Layout Changes: ☒ Yes ☐ No

Sketch Attached: ☒ Yes ☐ No

Exterior Colour Scheme:

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	DORAL W-500	N/A
Laundry Room	ELISSE	Standard
Powder Room	MONACO 350 PLATINUM SILVER	431SA
Master Ensuite Bathroom	CONTINENTAL 814 DARK CHOCOLATE	189SA
Ensuite Bath - Bedroom 2/3	MONACO 823 DRIFT WOOD	431SA
Ensuite Bath - Bedroom 4	MONACO 823 DRIFT WOOD	431SA
	N/A	N/A
	N/A	N/A
	N/A	N/A

Appliances:

Built In Appliances ☐ Yes ☒ No

Slide In Stove ☐ Yes ☒ No

Dishwasher Cabinet

☐ Closed ☒ Open

41" Upper Cabinets ☒ Yes ☐ No

Please NOTE: Standard Cabinet Height is 30"

Stove Opening

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge
Kitchen / Breakfast	LAMINATE-PEARL SOAPSTONE 4886-38	
Laundry Room	N/A	
Powder Room	LAMINATE-PALOMA POLAR 6698-46	
Master Ensuite Bathroom	LAMINATE-PALOMA POLAR 6698-46	
Ensuite Bath - Bedroom 2/3	LAMINATE-WHITE CARRARA 4924-38	
Ensuite Bath - Bedroom 4	LAMINATE-WHITE CARRARA 4924-38	
	N/A	
	N/A	
	N/A	

** Refer to Construction Summary

Purchaser:MOHAMED ADDA

Telephone Res. / Bus: /

Decor Advisor:Candace Forza

Lock Date:26-Jan-21

Property: 9

Project: Russell Gardens Building Ltd.

Model and Elevation: Mountainash Six (4 Bedroom) Elev 2

Plan #: 62M-1266

3. Ceramic Flooring

		At a 45	Threshold-If App.
Entrance Vestibule	TILE-VARENNA CARRARA-24X24	<input type="checkbox"/>	metal strip where applicable
Main Hall	N/A	<input type="checkbox"/>	
Kitchen / Breakfast	TILE-VARENNA CARRARA-24X24	<input type="checkbox"/>	
Laundry Room	TILE-SHB 80001Q ONICE-16X16	<input type="checkbox"/>	
Powder Room	TILE-VARENNA CARRARA-24X24	<input type="checkbox"/>	
Master Ensuite Bathroom	TILE-LITIUM PEARL POLISHED-24X24	<input type="checkbox"/>	
Ensuite Bath - Bedroom 2/3	TILE-SHB 60001Q ONICE-12X24	<input type="checkbox"/>	
Ensuite Bath - Bedroom 4	TILE-SHB 60001Q ONICE-12X24	<input type="checkbox"/>	
SIDE HALL	TILE-VARENNA CARRARA-24X24	<input type="checkbox"/>	
SERVERY	TILE-VARENNA CARRARA-24X24	<input type="checkbox"/>	
	N/A	<input type="checkbox"/>	

** Refer to Construction Summary

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall	N/A	
Tub Deck	N/A	
Tub Deck Skirt	N/A	
Shower Stall	TILE-LITIUM PEARL POLISHED-12X24	SEAT & NICHE - FUSION WHITE
Bathtub Enclosure Walls	N/A	
Ensuite Bath - Bedroom 2/3	TILE-SHB 60001Q ONICE-12X24	NICHE - BIANCO PAPIRO
Ensuite Bath - Bedroom 4	TILE-SHB 60001Q ONICE-12X24	NICHE - BIANCO PAPIRO
SIDE HALL	N/A	
SERVERY	N/A	
	N/A	
Kitchen Backsplash	N/A	

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Plumbing Fixtures

All Bathrooms	White	Whirlpool
	N/A	<input type="checkbox"/> N/A <input type="radio"/> Yes <input checked="" type="radio"/> No
	N/A	
	N/A	
	N/A	Dishwasher Rough-In <input checked="" type="radio"/> Yes <input type="radio"/> No
	N/A	Waterline for Fridge <input type="radio"/> Yes <input checked="" type="radio"/> No

** Refer to Construction Summary

6. Trim Carpentry

Interior Doors	LINCON-SMOOTH
Interior Trim	As Per Construction Specifications
Door Handles	As Per Construction Specifications
Exterior Front Door Handle	As Per Construction Specifications

** Refer to Construction Summary

Initial: 

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Decor Advisor:Candace Forza

Lock Date:17-Dec-20

Property: 9

Project: Russell Gardens Building Ltd.

Model and Elevation: Mountainash Six (4 Bedroom) Elev 2

17-Dec-20

Plan #: 62M-1266

7. Outer Flooring

Main Hall	N/A
Living Room	MIRAGE-ADMIRATION-MAPLE-CASHMERE-HAVANA-4 7/16"
Dining Room	MIRAGE-ADMIRATION-MAPLE-CASHMERE-HAVANA-4 7/16"
Family Room	MIRAGE-ADMIRATION-MAPLE-CASHMERE-HAVANA-4 7/16"
Den / Library / Study	MIRAGE-ADMIRATION-MAPLE-CASHMERE-HAVANA-4 7/16"
Basement Landing(If Applies)	N/A
Lower Landing (If Applies)	N/A
Upper Landing	MIRAGE-ADMIRATION-MAPLE-CASHMERE-HAVANA-4 7/16"
Upper Hall	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
Master Bedroom	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
Bedroom #2	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
Bedroom #3	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
Bedroom #4	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
Bedroom #5	N/A
FLEX ROOM	LAMINATE-FJORD-LYNGEN OAK-TL-NEUM07
	N/A
	N/A
Underpad	TypeArea
	N/AN/A

** Refer to Construction Summary

8. Railings and Pickets

Railing Type	V-GROOVE	Colour	MIRAGE HAVANA MAPLE
Picket Type	EUROLINE 1	Colour	BLACK
Stringer / Riser	AS PER CONSTRUCTION SPECIFICATIO	Colour	MIRAGE HAVANA MAPLE
Treads	AS PER CONSTRUCTION SPECIFICATIO	Colour	MIRAGE HAVANA MAPLE
Red Oak Stairs with Semi Gloss Finish		<input checked="" type="radio"/> Yes <input type="radio"/> No	

** Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall	22 WARM GREY	Master Bedroom	22 WARM GREY
Living Room	22 WARM GREY	Bedroom #2	22 WARM GREY
Dining Room	22 WARM GREY	Bedroom #3	22 WARM GREY
Kitchen / Breakfast	22 WARM GREY	Bedroom #4	N/A
Family Room	22 WARM GREY	Bedroom #5	N/A
Powder Room	22 WARM GREY	Master Ensuite	22 WARM GREY
Laundry Room	22 WARM GREY	Ensuite Bath - Bedroom 2/3	22 WARM GREY
Den/Library	22 WARM GREY	Ensuite Bath - Bedroom 4	22 WARM GREY
Trim Paint-Semi Gloss	BIRCH WHITE	SIDE HALL	22 WARM GREY
	N/A	FLEX ROOM	22 WARM GREY
	N/A		N/A
Smooth Ceilings First Floor	<input checked="" type="radio"/> Yes <input type="radio"/> No		

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Plan #: 62M-1266

10. Plaster Mouldings and Medallions

Entrance Vestibule	N/A	N/A	Kitchen/Breakfast	N/A	N/A
Main Hall	N/A	N/A	Den/Library	N/A	N/A
Living Room	N/A	N/A	Lower Landing	N/A	N/A
Dining Room	N/A	N/A		N/A	N/A
Family Room	N/A	N/A			

** Refer to Construction Summary

11. Fireplace

	Living Room			Family Room			Other Room - Specify		
	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Fireplace Type	N/A			FLAT ON WALL			N/A		
Mantle Type	N/A			MANTLE M2-STANDARD			N/A		
Colour / Stain	N/A			AS PER CONSTRUCTION SPECIFICATIONS			N/A		
Surround	N/A			CREMA MARFIL OR NERO			N/A		
Hearth	N/A			NO			N/A		

** Refer to Construction Summary

12. Heating and Air Conditioning

Air Conditioning	NO	Gas Provisions Stove	NO
Gas Provisions Dryer	NO	Gas Provisions Barbecue	YES
Comment			

** Refer to Construction Summary

13. Electrical

Plugs and Switches	<input checked="" type="radio"/> White	DECOR	Above Kitchen Cabinet Light	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Hood Fan	STANDARD WHITE		Below Kitchen Cabinet Light	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Appliances	Built in Cooktop	Built in Oven	Gas Stove	Microwave	
	<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Dishwasher Rough-in	Yes				

** Refer to Construction Summary

14. General Comments

** Refer to Construction Summary


Disclaimers and Notes

1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

Signature:  Date: Dec 17TH, 2020

5970 CHEDWORTH WAY, UNIT B, MISSISSAUGA, ONTARIO, CANADA L5R 4G5 | CONTRAC.CA

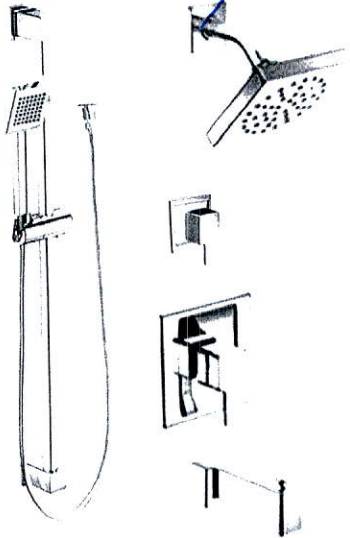
Master Ensuite

90°™

Traditional | Transitional | Modern

Geometric forms, squared corners and straight lines create an urban focal point for today's contemporary baths.

From Ceiling

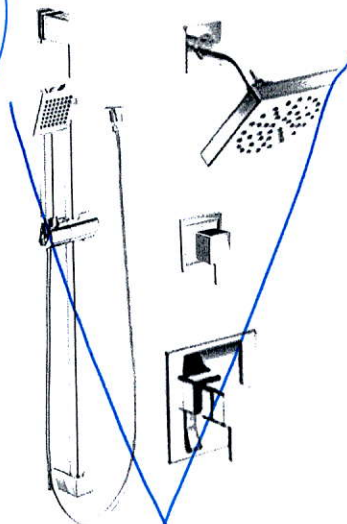


**Posi-Temp® Tub/Shower Faucet
with 3 Function Transfer Valve/Trim
and Slide Bar with Hand Shower ***

Model TS2713EP / 3372 / 128284 / TS4172 /
62320 / S3879EP / A721

Chrome

* Includes 6" shower
arm from ceiling



**Posi-Temp® Shower Only
with 3 Function Transfer Valve/Trim
and Slide Bar with Hand Shower ***

Model TS2712EP / 3372 / TS4172 / 62320 /
S3879EP / A721

FINISH OPTIONS:



C BN

To order, combine the model number with one of these finish letter(s):
LifeShine® Brushed Nickel (BN).

To order Chrome (C) model, use model number only.

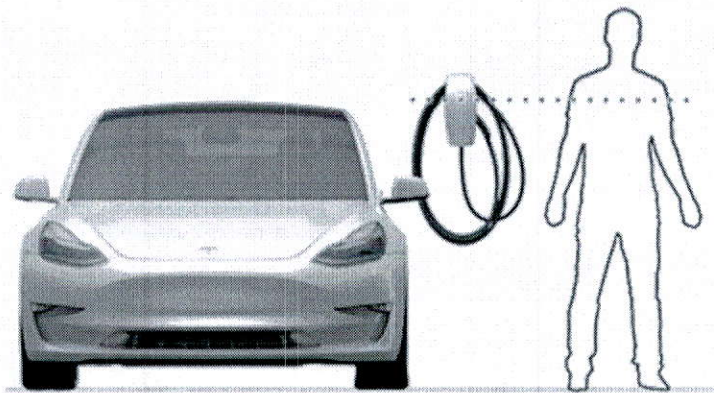
* Please see vertical spa guide for installation #700106

Russell Gardens Lot 9 - Garage for future electric car.

Power Output

For maximum power output, install a standard double pole 60 amp circuit breaker. Wall Connector includes integrated GFCI protection - do not install a GFCI circuit breaker.

Circuit breaker (amps)	Max output (amps)	Power output at 240 volts (kW)
60	48	11.5



- Maximum height (indoor and outdoor): 60 in (1.52 m)
- Recommended height: ~45 in (~1.15 m)
- Minimum outdoor height: 24 in (0.6 m)
- Minimum indoor height: 18 in (0.45 m)

LOT 9
RUSSELL GARDENS
PHASE 3
MOUNTAINVIEW HEIGHTS

MOUNTAINASH 6
ELEV. 2

REVISION:

1. REAR UPGRADE - ENLARGE BREAKFAST AND MASTER BEDROOM BY 1'0" AS PER SKETCH

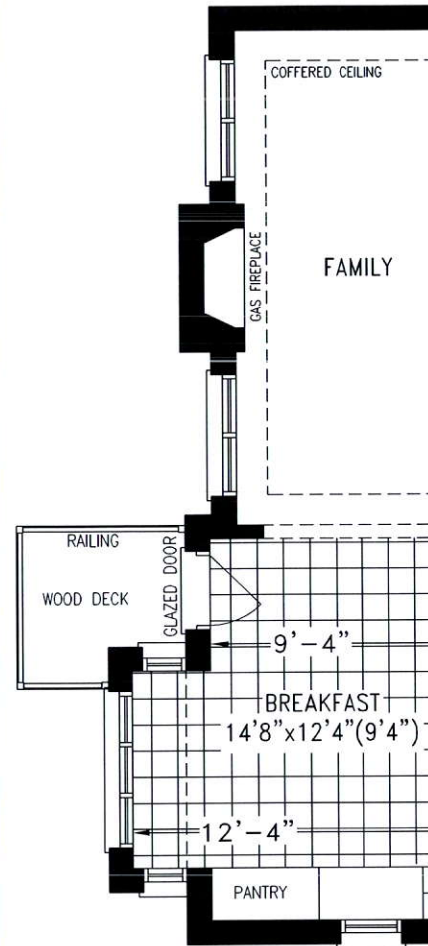
[Signature]

WALK OUT
CONDITION

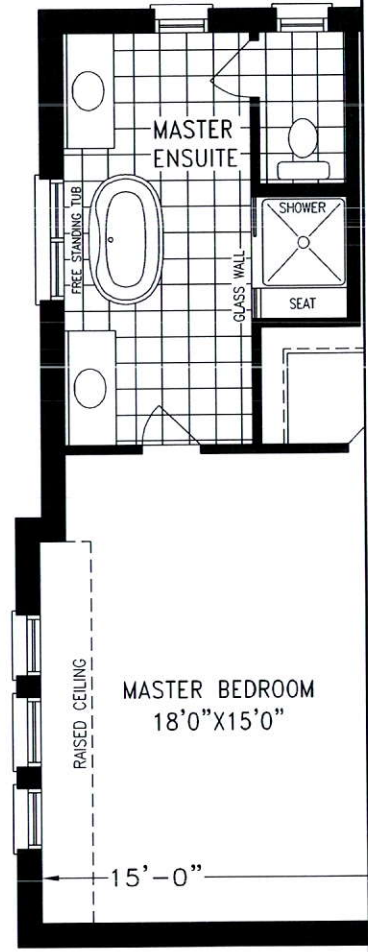
WOOD DECK
ABOVE

UNFINISHED
BASEMENT

LOWER LEVEL



MAIN LEVEL



UPPER LEVEL

DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

REGION
DESIGN
INC.

SCALE
N.T.S.
BY
VG
PAGE No.
1 OF 2

Greenpark

LOT 9

RUSSELL GARDENS
PHASE 3
MOUNTAINVIEW HEIGHTS

MOUNTAINASH 6
ELEV. 2

REVISION:

1. REAR UPGRADE



NOTE: ELEVATION SUBJECT TO FINAL ARCHITECTURAL APPROVALS
ACTUAL GRADE MAY VARY WITH THE GRADE SHOWN ON DRAWING

REAR ELEVATION

DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

**REGION
DESIGN
INC.**

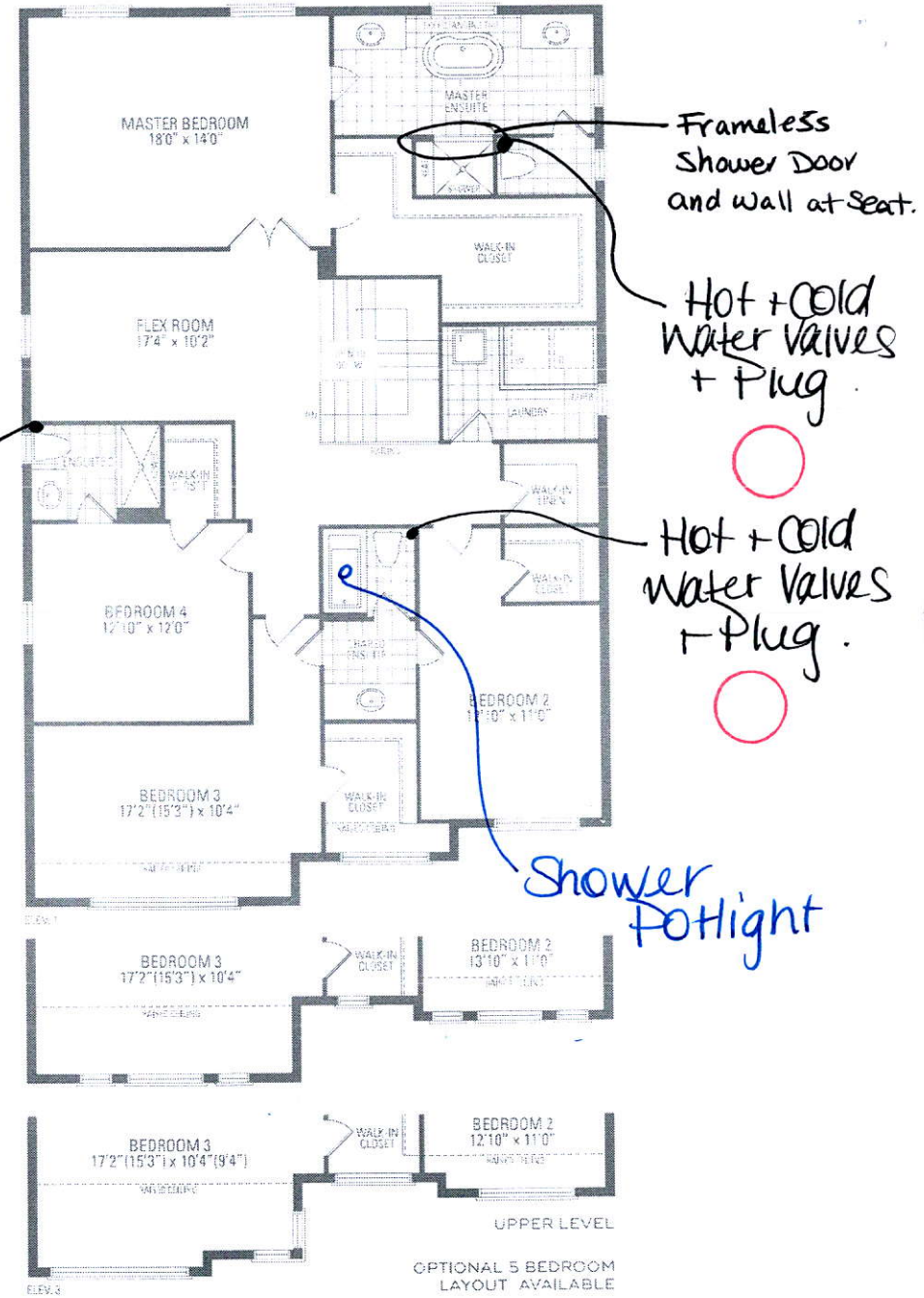
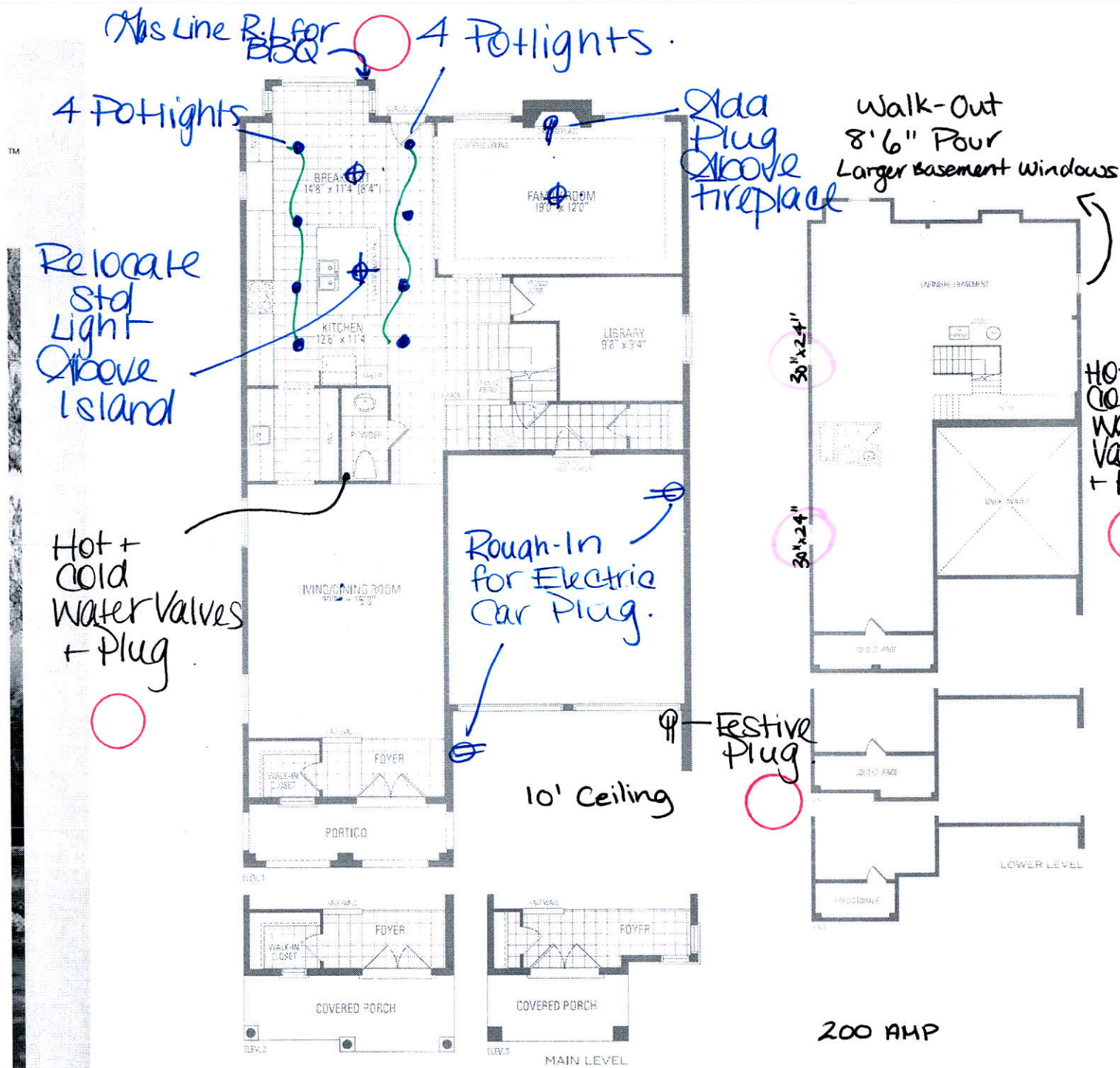
SCALE

N.T.S.

BY
VG

PAGE No.
2 OF 2

Greenpark



Arch.

MOUNTAINASH SIX

ELEV. 1 • 3,409 sq.ft. | ELEV. 2 • 3,403 sq.ft. | ELEV. 3 • 3,368 sq.ft.

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porch may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roughline and adjoining model types may vary due to siting. E. & D. E. May 2020