

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

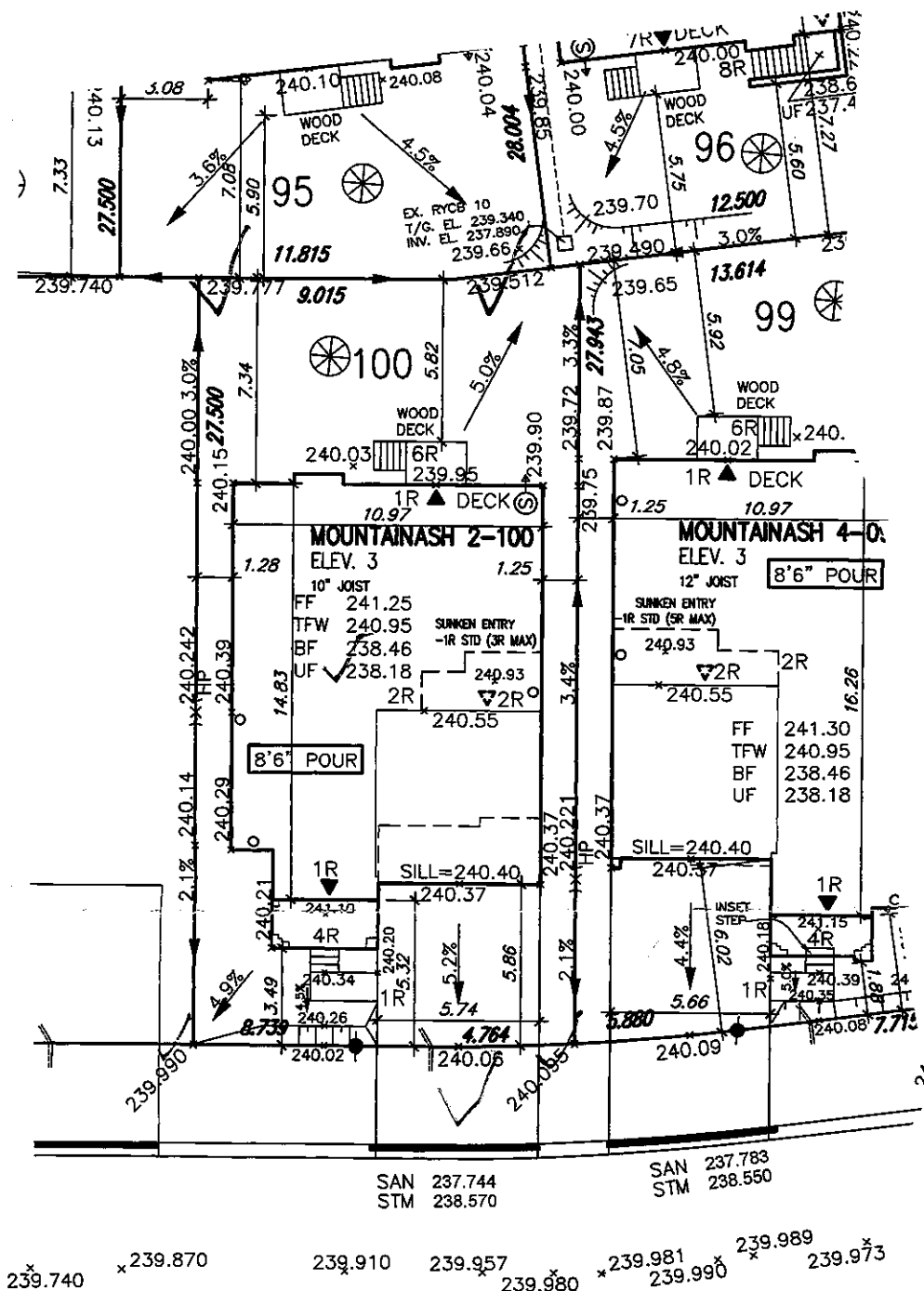
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: DEC 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



McDONOUGH GARDENS

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 17 2020
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

Permit No. 20199082
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

LOT 100		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
100	13.50	372.33

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER
ARE REQUIRED AS PER THE APPROVED SITE
ENGINEERING DRAWINGS. REFER TO DRAWINGS
PREPARED BY METROPOLITAN CONSULTING INC.
SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.
CONTRACTOR TO VERIFY PRIOR TO
INSTALLATION.

PROPOSED VALVE
 LIGHT POLE
 WATER SERVICE
 DOUBLE S/W/SAN CONNECTION
 SINGLE S/W/SAN CONNECTION
 CATCH BASIN
 CABLE TELEVISION PEDESTAL
 BELL PEDESTAL

HYDRANT
 TRANSFORMER

JR No. OF RISERS
FF FINISHED FLOOR ELEVATION
ML FINISHED MAIN LEVEL ELEVATION
UF UNDERSIDE FOOTING ELEVATION
BF FIN. BASEMENT FLOOR SLAB
TFW TOP OF FOUNDATION WALL
UFR UNDERSIDE FOOTING AT REAR
UFF UNDERSIDE FOOTING AT FRONT
UPS UNDERSIDE FOOTING AT SIDE
W.O.D. WALK OUT DECK
W.O.B. WALK OUT BASEMENT
REV REVERSE PLAN

STREET SIGN
 MAIL BOX
 RETAINING WALL
 CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
 ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
 WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 HYDRO SERVICE LATERAL
 HYDRO METER
 GAS METER
 EASEMENT (3:1 SLOPE unless otherwise noted)

PROVIDE 3/4" DIA. CLEAR
STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AC AIR CONDITIONER REQUIRED
RW RAIN WATER DOWNSPOUT LOCATION
(DISCHARGE ONTO SPLASHPAD)
SW SIDE WINDOW LOCATION
OD OPT. DOOR LOCATION
ED EXTERIOR DOOR LOCATION
REDUCE SIDE YARD

north arrow

9					
8					
7					
6					
5					
4					
3					
2	RE-ISSUED	DEC 09/20	GW		
1	ISSUED FOR PERMIT.	SEP 29/20	GW		
no.	description	date	by		

VA3 DESIGN
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Greenpark
project name
RUSSELL GARDENS PHASE 3
municipality
HAMILTON
date
SEPT. 2020
drawn by
GW
checked by
-
scale
1:250
file name
19014-RG3-SITE-LAYOUTS
drawing no.
1

lot/block no.	100
registered plan no.	62M-1266
project no.	19014