

2848 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 16"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x8.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x8.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-9"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION, UNLESS OTHERWISE NOTED.

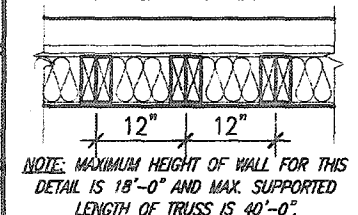
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

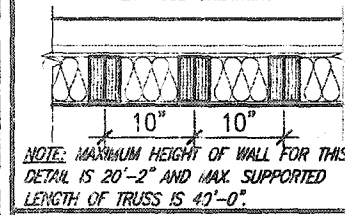
TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



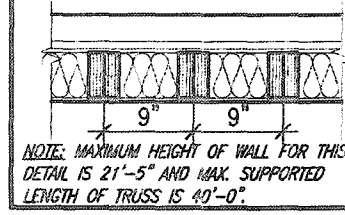
TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 20-187720
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
Ken Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE _____

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 2, EL. 2 (5 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	787 S.F.	156.37 S.F.	19.87 %
LEFT SIDE	1018 S.F.	65.33 S.F.	6.42 %
RIGHT SIDE	1023 S.F.	34.50 S.F.	3.37 %
REAR	750 S.F.	155.61 S.F.	20.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3578.00 S.F.	411.81 S.F.	11.51 %
TOTAL SQ. M.	332.40 S.M.	38.26 S.M.	11.51 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 2, EL. 1 (4 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	783 S.F.	179.23 S.F.	22.89 %
LEFT SIDE	1021 S.F.	56.33 S.F.	5.52 %
RIGHT SIDE	1027 S.F.	34.50 S.F.	3.36 %
REAR	750 S.F.	155.61 S.F.	20.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3581.00 S.F.	425.67 S.F.	11.89 %
TOTAL SQ. M.	332.68 S.M.	39.55 S.M.	11.89 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 2, EL. 1 (5 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
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RIGHT SIDE	1027 S.F.	34.50 S.F.	3.36 %
REAR	750 S.F.	155.61 S.F.	20.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3581.00 S.F.	425.67 S.F.	11.89 %
TOTAL SQ. M.	332.68 S.M.	39.55 S.M.	11.89 %

AREA CALCULATIONS		ELEV '1'
GROUND FLOOR AREA	1297 SF	
SECOND FLOOR AREA (4/5 BED)	1551 SF	
TOTAL FLOOR AREA	2848 SF	(264.59 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	XX SF	
ADD FINISHED BSMT AREA	XX SF	
GROSS FLOOR AREA	2848 SF	(264.59 m2)
GROUND FLOOR COVERAGE	1306 SF	
GARAGE COVERAGE/AREA	389 SF	
FRONT PORCH COVERAGE/AREA	126 SF	
COVERAGE W/ FRONT PORCH	1821 SF	(169.18 m2)
COVERAGE W/O FRONT PORCH	1695 SF	(157.47 m2)

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 2, EL. 3 (5 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774 S.F.	201.56 S.F.	26.04 %
LEFT SIDE	1020 S.F.	67.33 S.F.	6.60 %
RIGHT SIDE	1023 S.F.	46.50 S.F.	4.55 %
REAR	750 S.F.	155.61 S.F.	20.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3567.00 S.F.	471.00 S.F.	13.20 %
TOTAL SQ. M.	331.38 S.M.	43.76 S.M.	13.20 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 2, EL. 3 (4 BED)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774 S.F.	201.56 S.F.	26.04 %
LEFT SIDE	1020 S.F.	58.33 S.F.	5.72 %
RIGHT SIDE	1023 S.F.	46.50 S.F.	4.55 %
REAR	750 S.F.	155.61 S.F.	20.75 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3567.00 S.F.	462.00 S.F.	12.95 %
TOTAL SQ. M.	331.38 S.M.	42.92 S.M.	12.95 %

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1297 SF	
SECOND FLOOR AREA (4/5 BED)	1550 SF	
TOTAL FLOOR AREA	2847 SF	(264.49 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	XX SF	
ADD TOTAL OPEN AREAS	XX SF	
ADD FINISHED BSMT AREA	XX SF	
GROSS FLOOR AREA	2847 SF	(264.49 m2)
GROUND FLOOR COVERAGE	1306 SF	
GARAGE COVERAGE/AREA	389 SF	
FRONT PORCH COVERAGE/AREA	74 SF	
COVERAGE W/ FRONT PORCH	1769 SF	(164.35 m2)
COVERAGE W/O FRONT PORCH	1695 SF	(157.47 m2)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



MOUNTAINASH 2 COMPLIANCE PACKAGE 'A1'

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.4782
va3design.com

Greenpark
MOUNTAINASH 2
13.5m

RUSSELL GARDENS PH. 3

GENERAL NOTES & CHARTS
drawing no. AO
19014-MOUNTAINASH-02
3/16" = 1'-0"

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca**

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

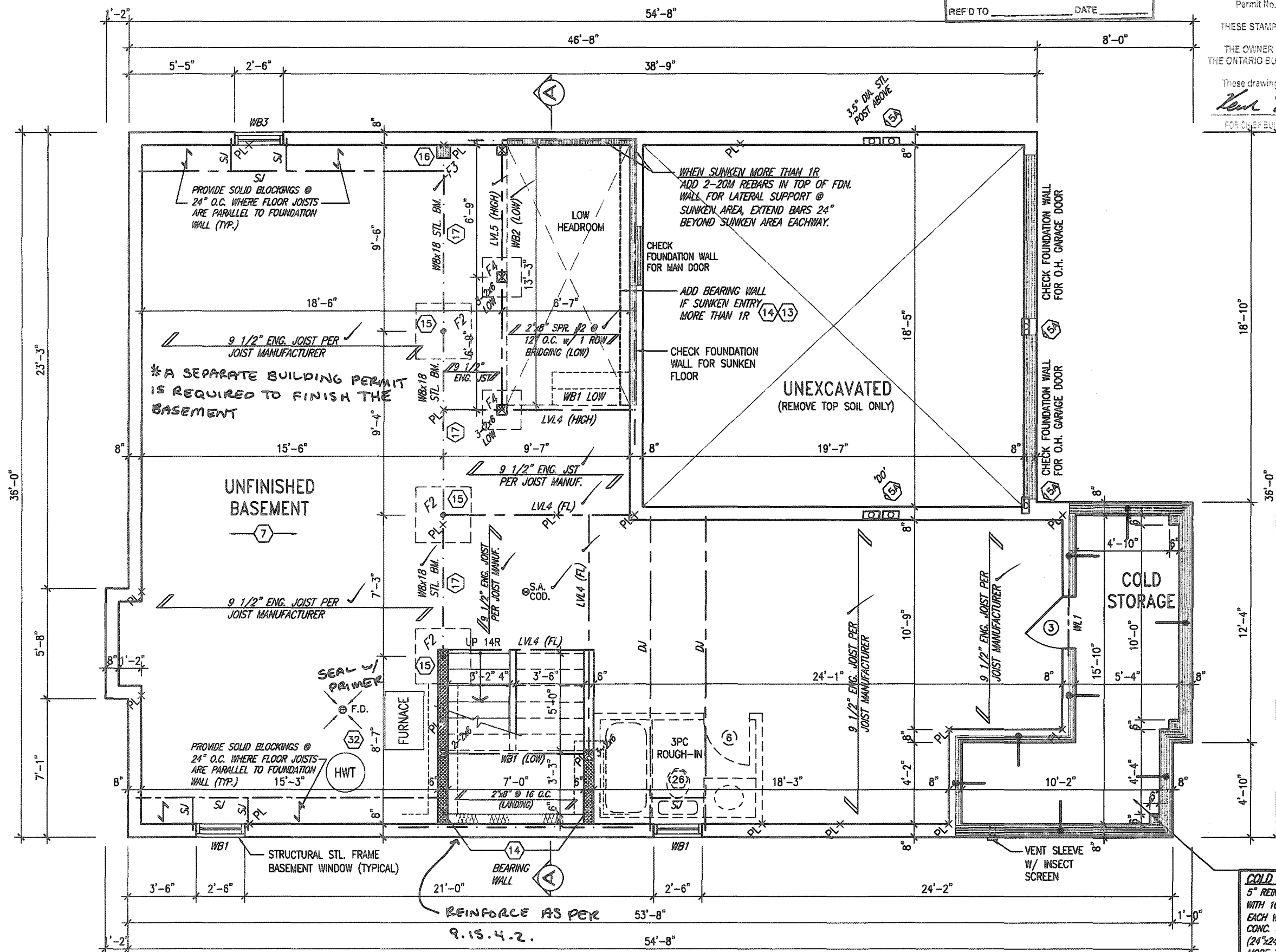
2848 SF.

Permit No. 20-187720

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Karl Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE



BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: FEB 25, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STRUDET INC.



FOR STRUCTURE ONLY

COLD STORAGE SLAB ✓
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

BASEMENT PLAN - ELEV. 1

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18			9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 MOUNTAINASH 2 13.5m project no. 19014	
17			8	-	-			
16			7	-	-			qualification information
15			6	-	-			Richard Vink <i>R Vink</i> signature 24488 BCI
14			5	-	-			name registration information 42658
13			4	-	-			
12			3	ISSUED FOR PERMIT.	APR 08/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	BASEMENT PLAN - ELEV. 1 drawing no. A1 19014-MOUNTAINASH-02	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW			
no.	description	date	by	no.	description	date	by	

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**Electrical Contractor
Registration Agency**
of the
**Electrical
Safety
Authority**

CITY OF HAMILTON
Building Division

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB
WITH 10M BARS @ 7 7/8" o.c.
EACH WAY WITH MIN. 1 1/4"
CONC. COVER AND 10M BENT
(24"x24") DOWELS SPACED NOT
MORE THAN 23 5/8" o.c.

COLD
STORAGE

STRUDET INC.

FOR STRUCTURE ONLY

APPROVED BY: [Signature]
DATE: SEP 21 2020
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
contractual responsibility.

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

					The undersigned has reviewed and taken responsibility for this design
18	9	-	-	-	and has qualified and meets the requirements set out in the
17	8	-	-	-	Ontario Building Code to be a Designer.
16	7	-	-	-	qualification information:
15	6	-	-	-	Richard Vink 24488 <i>R Vink</i> signature
14	5	-	-	-	name BCN
13	4	-	-	-	registration information VA3 Design Inc. 42658
12	3	ISSUED FOR PERMIT.	APR 08/20 GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
11	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW		
10	1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW		
no.	description	date	by no.	description	date by

255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com

MOUNTAINASH 2

13.5m

project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
project no.
19014

date
JANUARY 2020
drawn by
NS
checked by scale
3/16" = 1'-0"

BASEMENT PLAN – ELEV. 3

this name
19014-MOUNTAINASH-02
A1**b**

ALWAF MOZAMEEL - C:\Users\ahna\Desktop\19014-GREENPARK\LUNF14-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

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ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-FX-NOTE-2026.doc



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PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.pluginsafely.ca**

CITY OF HAMILTON
Building Division

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____

Kurt Smith Dec 14, 2020

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

10-
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

STRUDET INC

— 8" DIA. COLUMN ANCHORED TO
14"x14" SOLID MASONRY PIER
(TYP.) PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: SEP 21, 2020

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GROUND FLOOR PLAN - ELEV. 1

FIRE BLOCKING REQUIRED FOR CONCEALED SPACES
SUCH AS COFFERED CEILINGS, BULKHEADS AND LARGE
ROOF SPACES

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

[illegible]

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg



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2848 SF.

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Permit No. 20-187720

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Ken Smith DEC 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

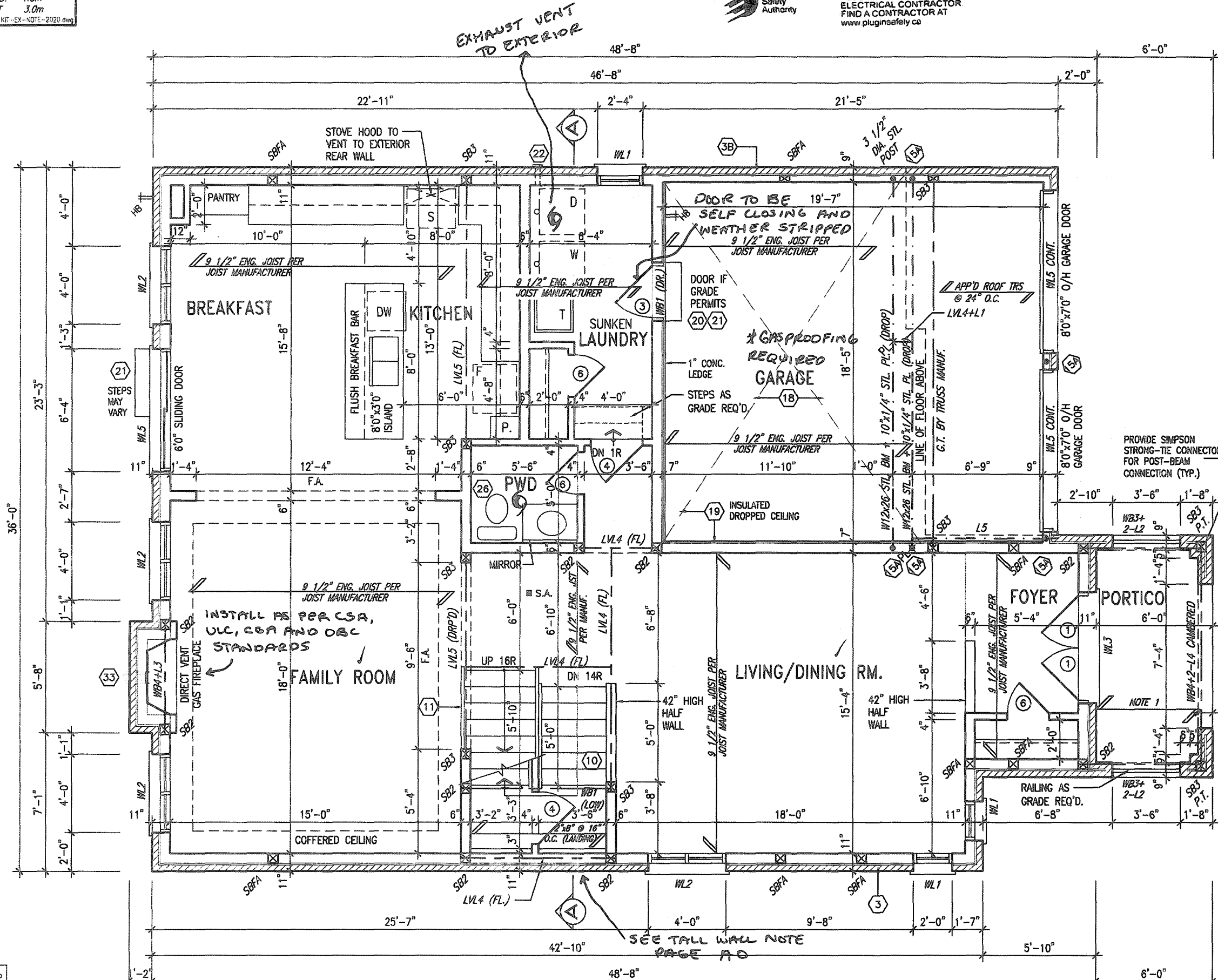
RECD BY DATE
REFD TO DATE

STRUDET INC.



FOR STRUCTURE ONLY

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)



GROUND FLOOR PLAN - ELEV. 2
FIRE BLOCKING REQUIRED FOR CONCEALED SPACES
SUCH AS COFFERED CEILINGS, BULKHEADS AND
LARGE ROOF SPACES

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: SEP 27, 2020

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18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	APR 08/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
qualification information					
Richard Vink 24488					
name registration information					
VAS Design Inc. 42658					
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date	by	date	by	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 x 416.630.4782
va3design.com

Greenpark

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON.

MOUNTAINASH 2
13.5m

project no.
19014

date
JANUARY 2020

drawn by
NS

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

GROUND FLOOR PLAN - ELEV. 2

19014-MOUNTAINASH-02

drawing no.
A2a

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT - EX - NOTE - 2020.dwg

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Kenn Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

STRUDET INC

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 27, 2020
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINE
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 23, 2020

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professional responsibility.

GROUND FLOOR PLAN - ELEV. 3

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	qualification information
15				6	-	-	Richard Vink <i>R Vink</i> 24488
14				5	-	-	name signature BCIN
13				4	-	-	VA3 Design Inc. 42658
12				3	ISSUED FOR PERMIT.	APR 08/20 GW	
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW	
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW	
no	description	date	by	no	description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

MOUNTAINASH
13.5m

project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON.** project no.: **19014-MOUNTAINASH-02**

date: **JANUARY 2020** drawing by: checked by: scale: **3/16" = 1'-0"**

sheet: **A2b**

GROUND FLOOR PLAN - ELEV. 3

(to name)

19014-MOUNTAINASH-02

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM ✓
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(g).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CB-NITE-2020-2021

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Permit No. 20-187720

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Kent Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
S&D APPROVAL
APPROVED BY [Signature]
DATE SEP 23, 2026
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SECOND FLOOR PLAN (4 BEDROOM) – ELEV. 1

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

[illegible]

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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CB-NOTE-2020.snd

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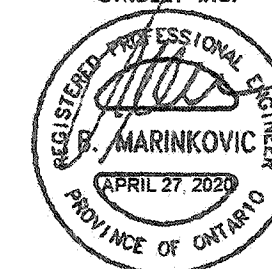
Kenn Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

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Planning & Development Department

NOV 15 2020

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 21 2020

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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *R. Vink* 244

name *signature* 8

registration information

VAS Design Inc. 426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.



VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

JANUARY 2020
drawn by

2 NS - 3/16" = 1'-0"

MOUNTAINASH 2
13.5m

HAMILTON, ON.

project no.
19014

SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 2

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17

450

100

SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 2

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

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13				4			
12				3	ISSUED FOR PERMIT.	APR 08/20	GN
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GN
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no.	description	date	by	no.	description	date	by

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Registration Agency**



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Building Division

Permit No. 20-187720

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Kenn Smith Dec 14, 2020

FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

STRUDET INC

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 27, 2020
PROVINCE OF ONTARIO

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JOHN C. WILLIAMS (TTC), ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 21 2020

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SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 3

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

VA3

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com


Greenpark.

MOUNTAINASH 2
13.5m

project name
RUSSELL GARDENS PH. 3

HAMILTON, ON.

project no.
19014

date
JANUARY 2020

SECOND FLOOR PLAN (4 BEDROOM) - ELEV. 3

drawing no.

drawn by checked by scale
NS - 3/16" = 1'-0"

file name
19014-MOUNTAINASH-02

A3b

AHNAF MOZAMMEL - C:\Users\ahnaf\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-Q2.doc - Wed - Apr 8 2020 -- 3:37 PM

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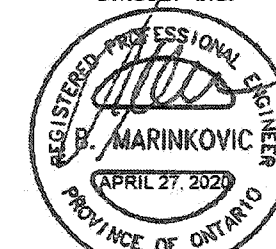
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NOV 15 2020

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONSTRUCTION
AND APPROVAL

APPROVED BY: _____
DATE: SEP 21, 2002

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professional responsibility.

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 1

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

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Kenn Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

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REF'D TO _____ DATE _____

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APRIL 27, 2020
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
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OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 2

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
					qualification information
					Richard Vink signature
					name registration number VA3 Design Inc. 24488 SCN 42658
9				ISSUED FOR PERMIT.	APR 08/20 GW
8				UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW
7				PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW
6					
5					
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3					
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1					
no.	description	date	by no.	description	date by no.

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

MOUNTAINASH 2
13.5m

project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON.** project no.: **19014**

date: **JANUARY 2020** drawing title: **OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 2** drawing no.: **A4a**

drawn by: _____ checked by: _____ scale: **3/16" = 1'-0"** file name: **19014-MOUNTAINASH-02**

author: MOHAMMED C:\Users\Mohammed\Desktop\19014-GREENPARK\LAYOUTS\19014-MOUNTAINASH-02.dwg - Wed Apr 8 2020 - 3:37 PM

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**STUD WALL REINFORCEMENT FOR FUTURE /
GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(g).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED.

CB-NOTE -2020 dng

Electrical Contractor
Registration Agency
EE
of the
Electrical
Safety
Authority

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.**

**FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
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CITY OF HAMILTON
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Permit No. 20-187720

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kenn Smith Dec 14, 2020

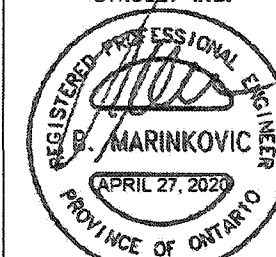
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
 RECD TO _____ DATE _____

STRUDET INC



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: SEP 23 2020

This stamp certifies compliance with the applicable
Design Guidelines only and users are further
responsible for compliance.

OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) – ELEV. 3

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

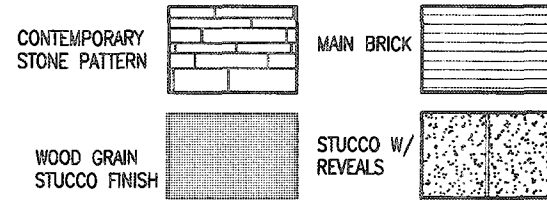
18			9	-	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	MOUNTAINASH 13.5m	project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014-MOUNTAINASH-02	drawing no. A4b	
17		8	-	qualification information								
16		7	-	signature <i>P Vink</i>								
15		6	-	name Richard Vink	24488							
14		5	-	registration information VA3 Design Inc.	BCIN							42658
13		4	-									
12		3	ISSUED FOR PERMIT.	APR 08/20	GW			OPTIONAL SECOND FLOOR PLAN (5 BEDROOM) - ELEV. 3				
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW			date JANUARY 2020				
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW			date JANUARY 2020				
no. description		date	bv	no. description	date	bv	drawing no. A4b					

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2848 SF.



CITY OF HAMILTON
Building Division

Permit No. 20-187720

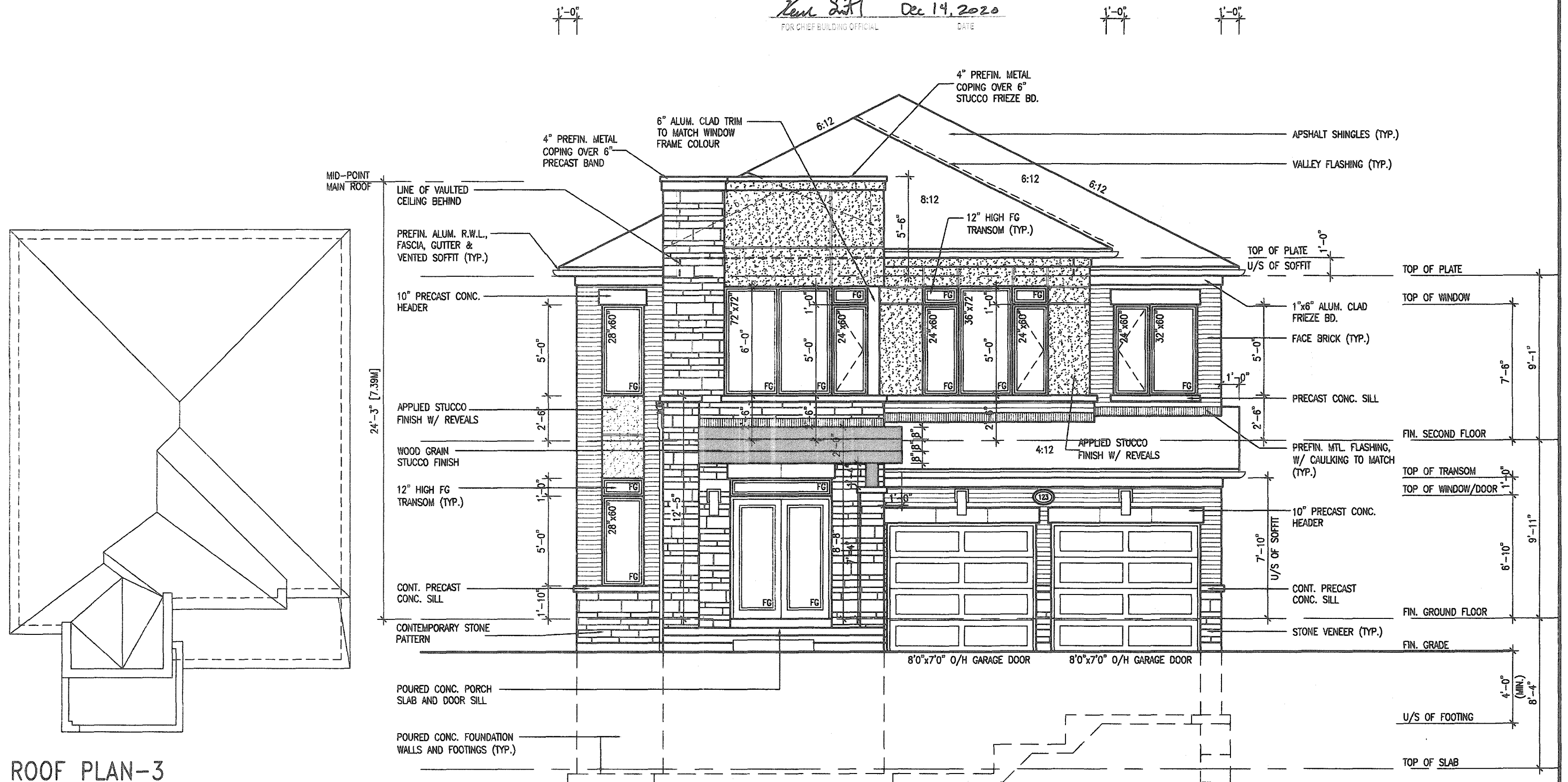
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kent S. H. Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



ROOF PLAN-3

FRONT ELEVATION '3'

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EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 2
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE SEP 27, 2020
This stamp certifies compliance with the applicable Design Guidelines only and requires no further professional responsibility.

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12		3	ISSUED FOR PERMIT.	APR 08/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature BCIN
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be sealed.

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Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 2 13.5m	
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014	drawing no. A5b
date JANUARY 2020	checked by NS	scale 3/16" = 1'-0"	front elevation FRONT ELEVATION '3'
19014-MOUNTAINASH-02 19014-MOUNTAINASH-02.dwg - Mon - Jul 6 2020 - 9:49 AM			

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2848 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 15 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

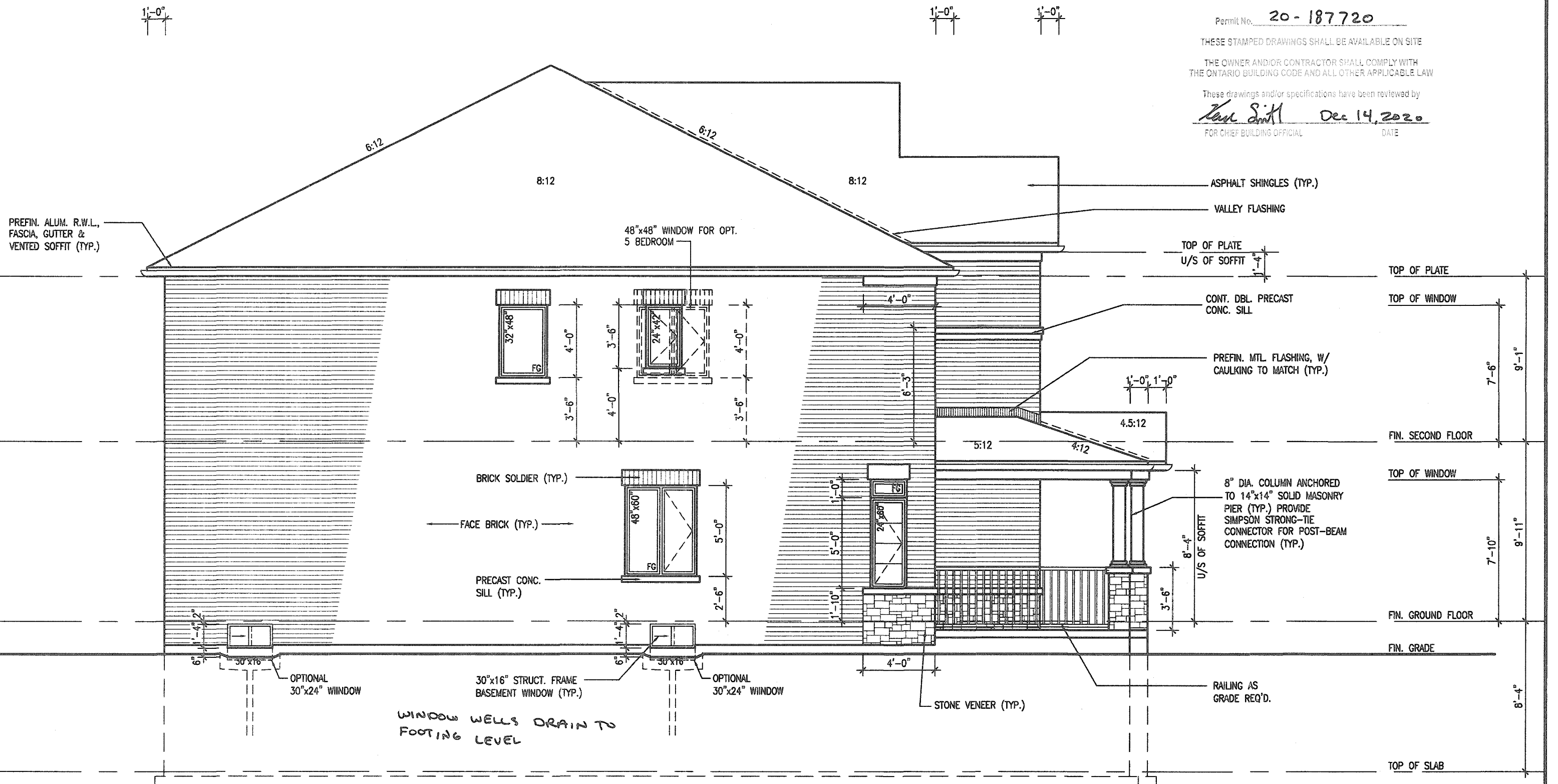
Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Karl Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 22, 2020
This stamp certifies compliance with the applicable Design Guidelines and does not constitute a warranty of any kind.

ALLOWABLE GLAZED OPENINGS 1017.27
WALL AREA = 892 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 71.21 = 82.44 SQ. FT.
GLAZING PROVIDED = 47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 50.47 SQ. FT. (OPT. 5 BEDRM. 57.87 SQ. FT.)(GLASS AREA ONLY)

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13			4						
12			3	ISSUED FOR PERMIT.	APR 08/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

drawn by
NS
checked by
3/16" = 1'-0"

LEFT SIDE ELEVATION '1'

MOUNTAINASH 2
13.5m

project no.
19014

drawing no.
A6

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2848 SF.

CITY OF HAMILTON
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Planning & Development Department
NOV 15 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. **20-187720**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Karl Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ALLOWABLE GLAZED OPENINGS 1017.27
WALL AREA =892 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 71.21 =62.44 SQ. FT.
GLAZING PROVIDED =47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS =50.47 SQ. FT. (OPT. 5 BEDRM. 57.87 SQ. FT.)(GLASS AREA ONLY)

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18		9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		8		qualification information	
16		7		Richard Vink 24488	
15		6		signature	
14		5		name registration information	
13		4		VAS Design Inc. 42658	
12		3	ISSUED FOR PERMIT.	APR 05/20 GW	
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW	
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW	
no.	description	date	by	no.	description

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3 DESIGN

Greenpark

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
NS

checked by
3/16" = 1'-0"

scale

project no.
19014

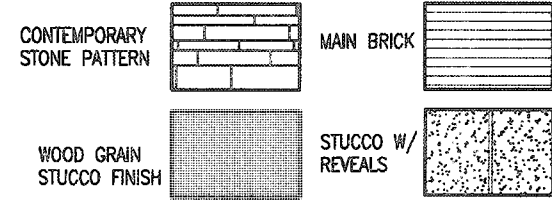
municipality
HAMILTON, ON.

drawing no.
A6a

19014-MOUNTAINASH-02

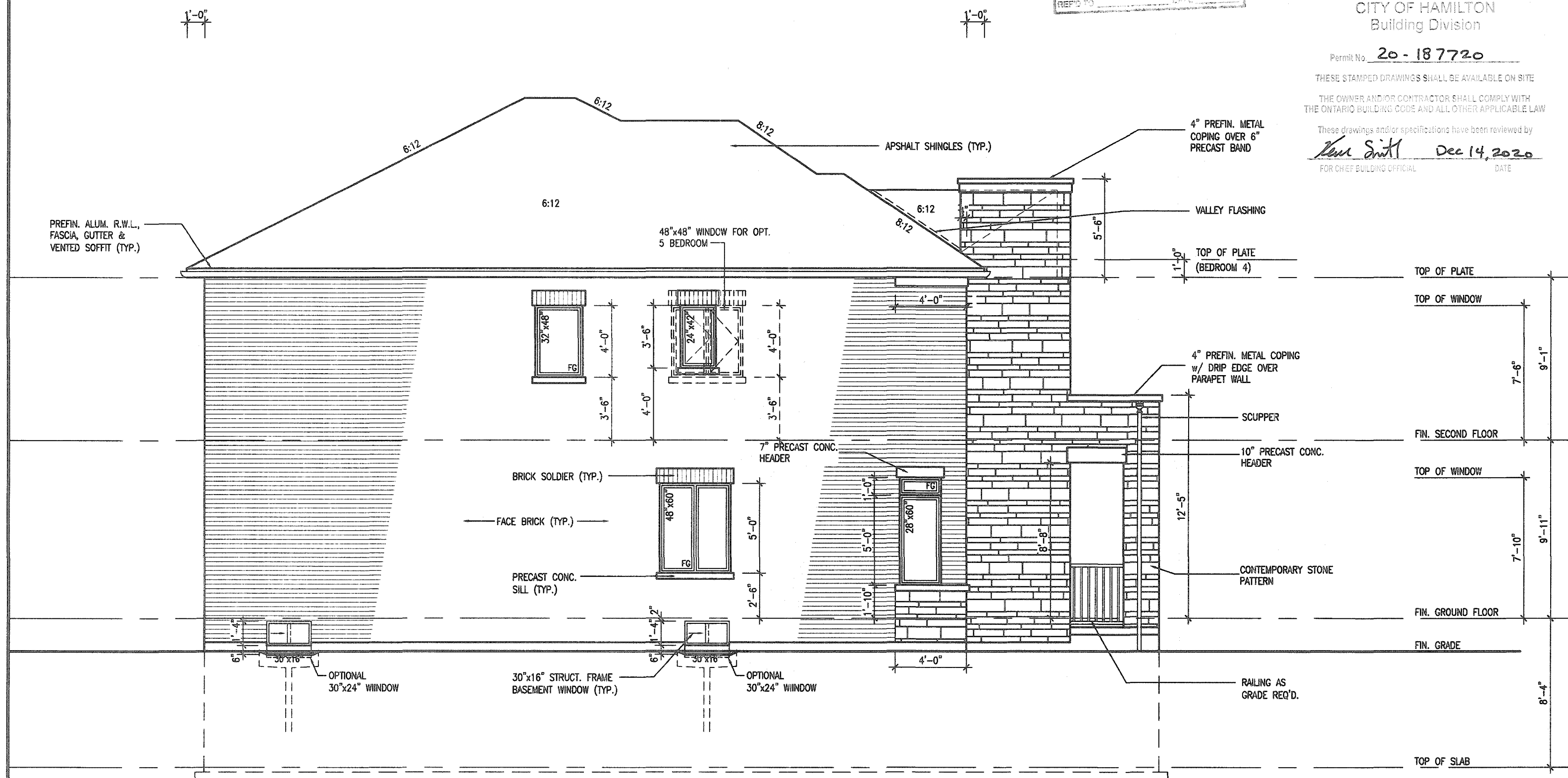
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These drawings and/or specifications have been reviewed by
Kem Smith **Dec 14, 2020**
FOR CHIEF BUILDING OFFICIAL DATE



LEFT SIDE ELEVATION '3'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **SEP 21, 2020**
This stamp certifies compliance with the provisions of the Architectural Guidelines and the Architect's professional responsibility.

ALLOWABLE GLAZED OPENINGS 1017.27
WALL AREA = 802 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED 71.21 = 62.44 SQ. FT.
GLAZING PROVIDED = 47.47 SQ. FT. (OPT. 5 BEDRM. 54.87 SQ. FT.)(GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 50.47 SQ. FT. (OPT. 5 BEDRM. 57.67 SQ. FT.)(GLASS AREA ONLY)

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12			3	ISSUED FOR PERMIT.	APR 08/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW
no.	description	date	by	no.	description

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qualification information
Richard Vink 24488
signature
name registration information
VA3 Design Inc. 42658
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JANUARY 2020
drawn by
NS
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-02.dwg - Thu - Jul 2 2020 - 10:41 AM

MOUNTAINASH 2
13.5m
project no.
19014
drawing no.
A6b

2848 SF.

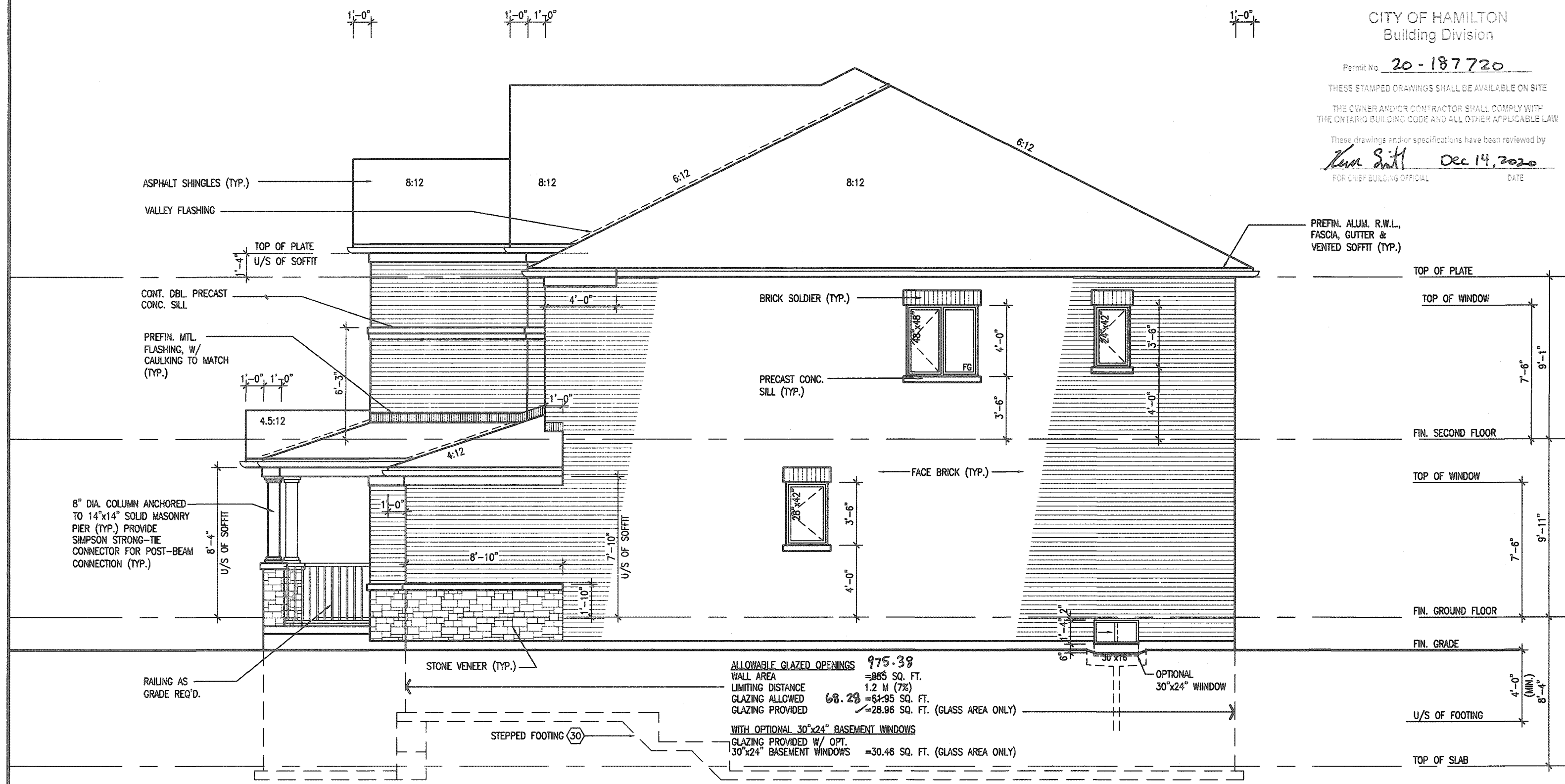
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BUILDING DIVISION
Planning & Development Department
NOV 15 2020
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REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. **20-187720**

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These drawings and/or specifications have been reviewed by
Karl Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



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JOSHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE SEP 14, 2020
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no.	description	date	by	no.	description	date	by		

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name registration information
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 2 13.5m	
project name RUSSELL GARDENS PH. 3		project no. 19014	
drawn by NS		drawing no. A7	
checked by 3/16" = 1'-0"		date JANUARY 2020	
scale 3/16" = 1'-0"		title RIGHT SIDE ELEVATION '1'	
file name 19014-MOUNTAINASH-02		drawing no. A7	
date APR 08 2020			

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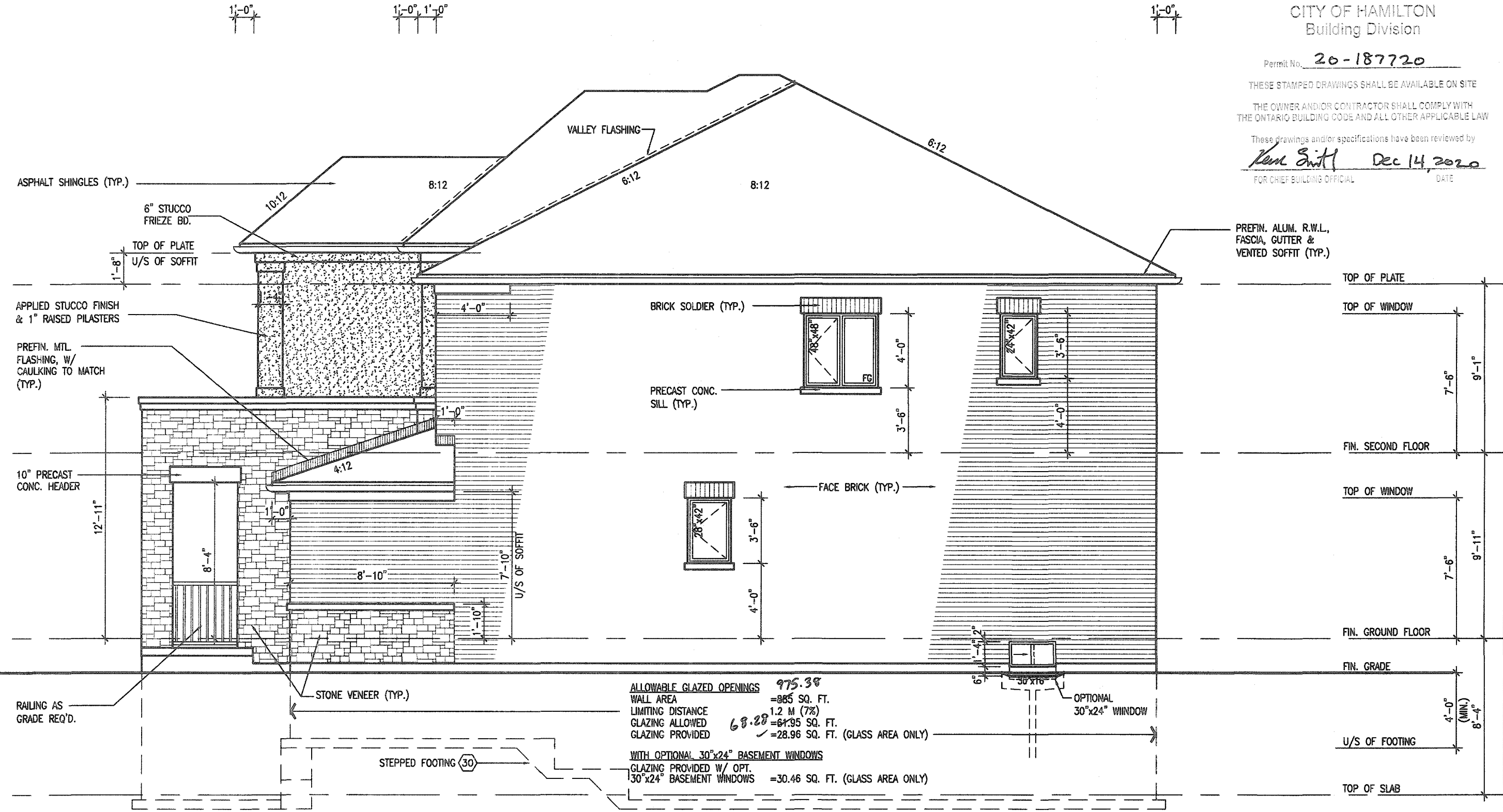
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Building Division

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These drawings and/or specifications have been reviewed by
Kem Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT SIDE ELEVATION '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 21, 2020
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no.	description	date	by	no.	description

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qualification information
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name registration information
VA3 Design Inc. 42658
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VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
MOUNTAINASH 2
13.5m
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
project no.
19014
date
JANUARY 2020
drawn by
NS
checked by
scale
3/16" = 1'-0"
RIGHT SIDE ELEVATION '2'
file name
19014-MOUNTAINASH-02
drawing no.
A7a
ANNAF MOZAMMEL - C:\Users\anna\Documents\19014-CRETEPARK\UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

2848 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

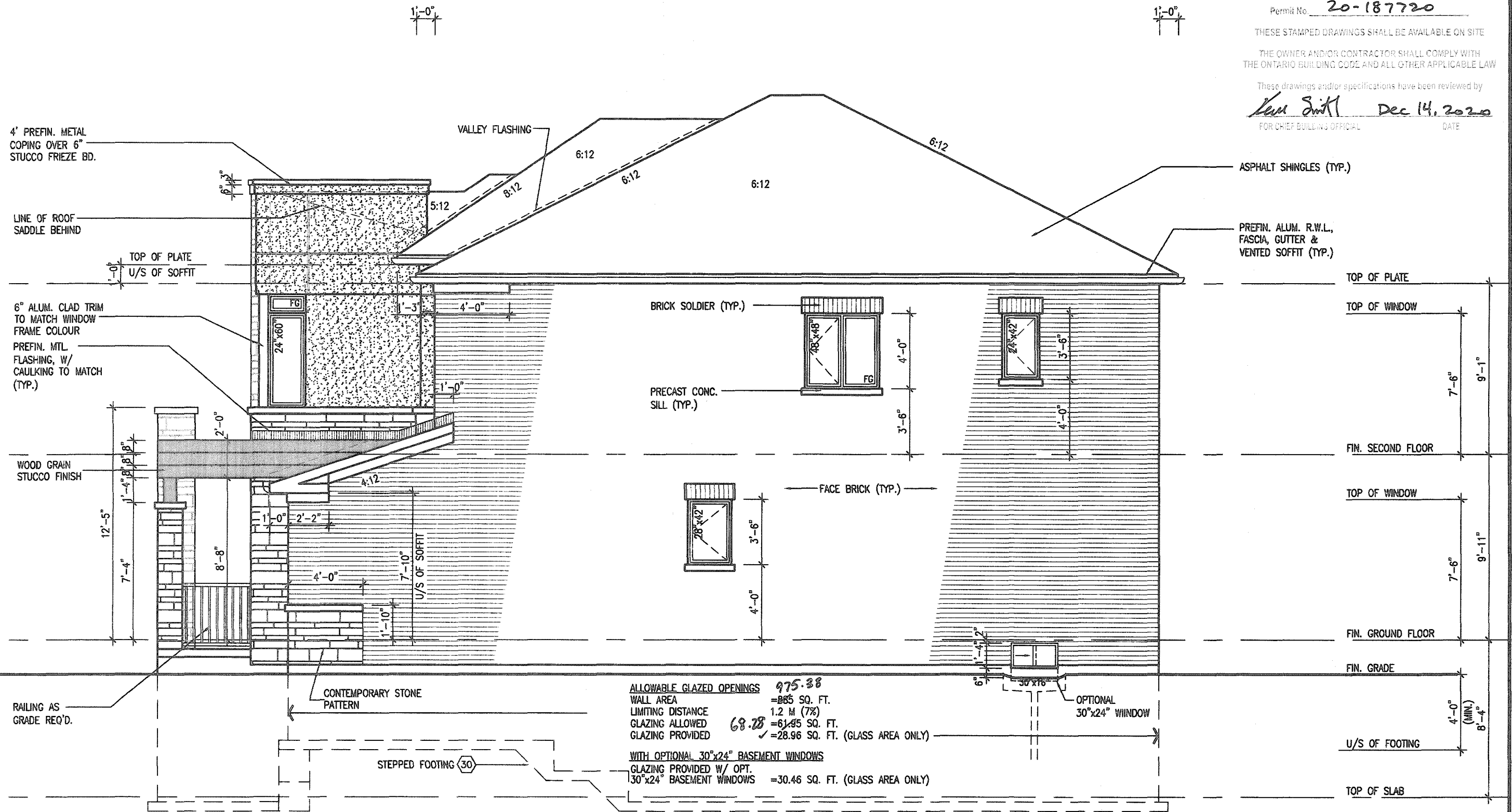
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REF'D TO _____ DATE _____

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Building Division

Permit No. 20-187720

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These drawings and/or specifications have been reviewed by
Kim Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT SIDE ELEVATION '3'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE: SEP 22, 2020

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13			4				
12			3	ISSUED FOR PERMIT.	APR 08/20	GW	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
name registration information
VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

drawn by
NS
checked by
3/16" = 1'-0"

RIGHT SIDE ELEVATION '3'

19014-MOUNTAINASH-02

MOUNTAINASH 2
13.5m

HAMILTON, ON.

project no.
19014

drawing no.
A7b

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 20-187720

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE SEP 21 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility

18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	
16				7	-	-	qualification information
15				6	-	-	Richard Vink 2448
14				5	-	-	name <i>R Vink</i> BCR
13				4	-	-	registration information
12				3	ISSUED FOR PERMIT.	APR 08/20 GW	VAS Design Inc. 42655
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GH	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW	
no.	description	date	by	no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark™		MOUNTAINASH 2 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON.	
date JANUARY 2020		project no. 19014	
drawn by NS		checked by -	
scale 3/16" = 1'-0"		title name 19014-MOUNTAINASH-02	
REAR ELEVATION '1'		drawing no. A8	
19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM J:\NS\MOZAMMEL - C:\Users\lenora\Desktop\19014-CRETA\PROJECTS\19014-MOUNTAINASH-02.dwg			

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BUILDING DIVISION
Planning & Development Department

NOV 15 2020

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REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '2'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE SEP 21, 2020

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Design Guidelines only and does not constitute
professional responsibility.

18				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8					
16				7					qualification information
15				6					Richard Vink 24488
14				5					name signature BCIH
13				4					registration information
12				3	ISSUED FOR PERMIT.	APR 08/20	GW		VA3 Design Inc. 42658
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW		
no.	description		date	by	no.	description	date	by	

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

MOUNTAINASH 2
13.5m

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON.

project no.
19014

date
JANUARY 2020

checked by
-

scales
3/16" = 1'-0"

ANSI/MOZAMBIQUE - C:\Users\johnr\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:57 PM

drawing no.
19014-MOUNTAINASH-02

file name
A8a

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2848 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

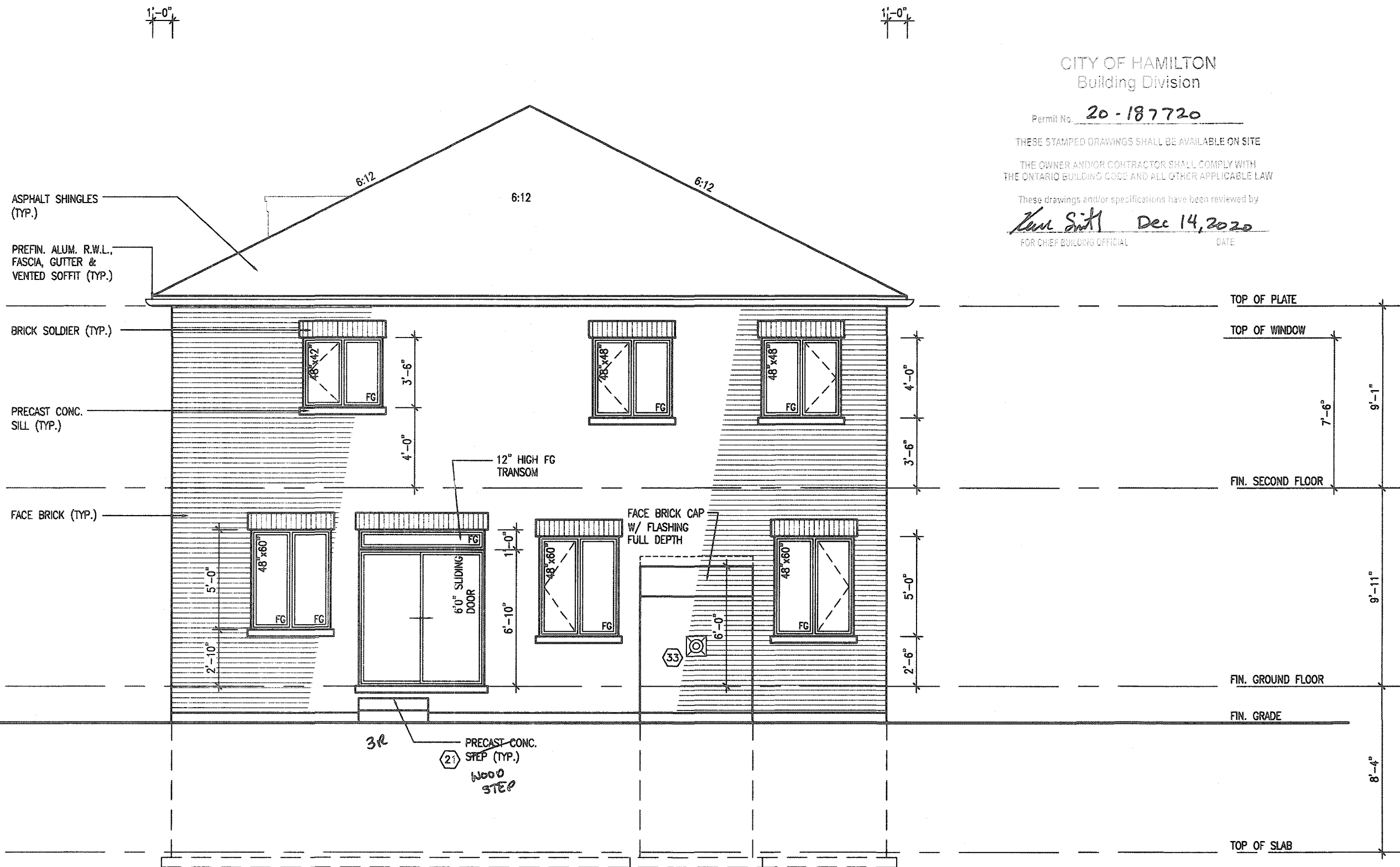
Permit No. 20-187720

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kenn Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

18			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8				qualification information
16			7				Richard Vink 24488
15			6				signature
14			5				name
13			4				registration information
12			3	ISSUED FOR PERMIT.	APR 08/20	GW	VA3 Design Inc. 42658
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW	
no.	description	date	by	no.	description	date	by

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON.**

date: **JANUARY 2020** checked by: **NS** scale: **3/16" = 1'-0"**

MOUNTAINASH 2
13.5m

project no. **19014**

drawing no. **A8b**

REAR ELEVATION '3'

19014-MOUNTAINASH-02

ANUP MOZAMMEL - C:\Users\jama\OneDrive\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

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NOV 15 2020

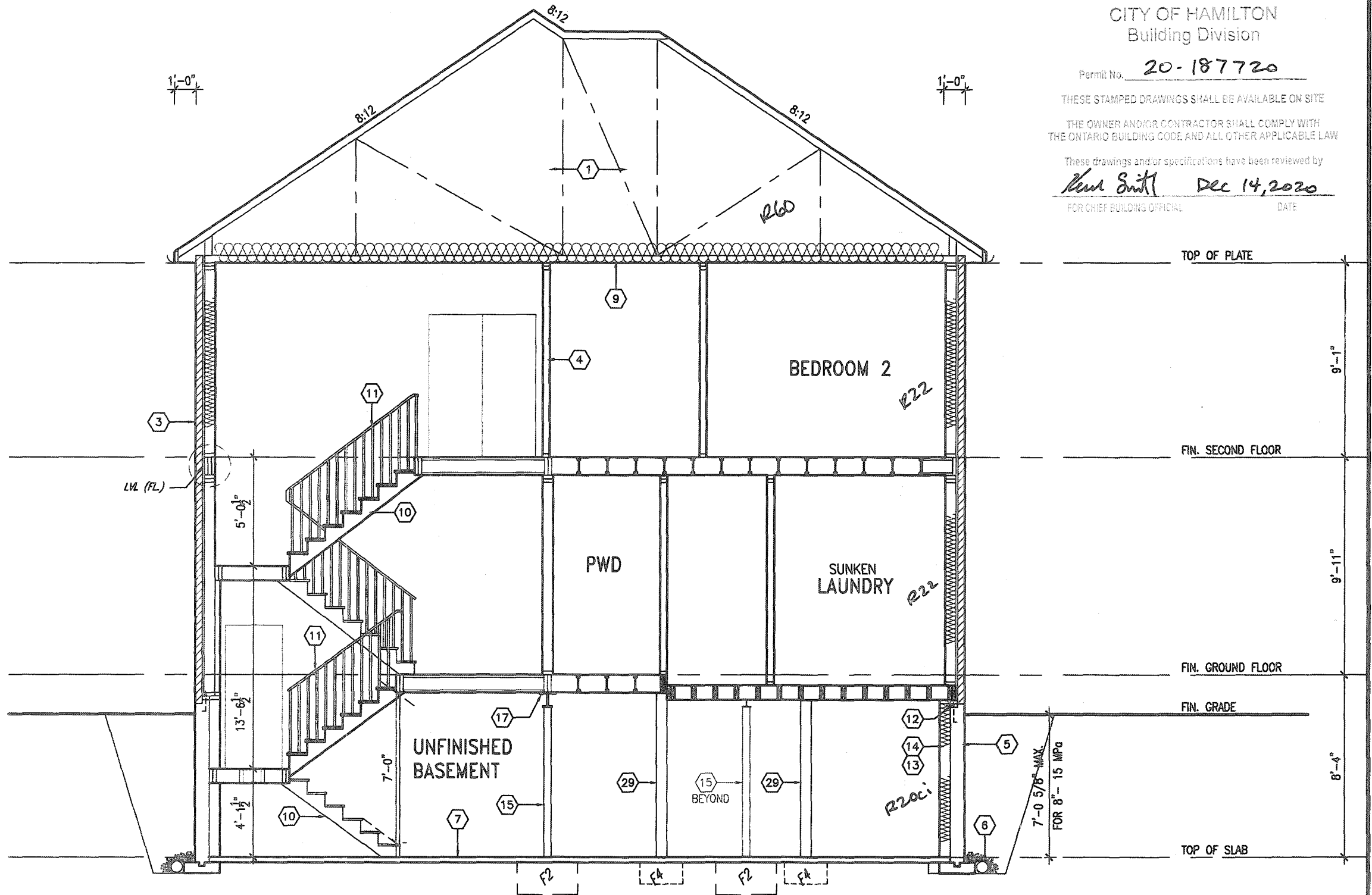
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE



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MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18			9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8	-	-	
16			7	-	-	qualification information
15			6	-	-	Richard Vink 24488 signature BCIN
14			5	-	-	name registration information VA3 Design Inc. 42658
13			4	-	-	
12			3	ISSUED FOR PERMIT.	APR 08/20 GW	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW	
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW	
no.	description	date	by	no.	description	date by

Considered must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON.

date: JANUARY 2020 SECTION A-A ELEVATION '1' drawing no.: A9

drawn by: NS checked by: -- scale: 3/16" = 1'-0"

file name: 19014-MOUNTAINASH-02

path: AHNF MOZAMMAL - C:\Users\johncr\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM

MOUNTAINASH 2

13.5m

project no. 19014

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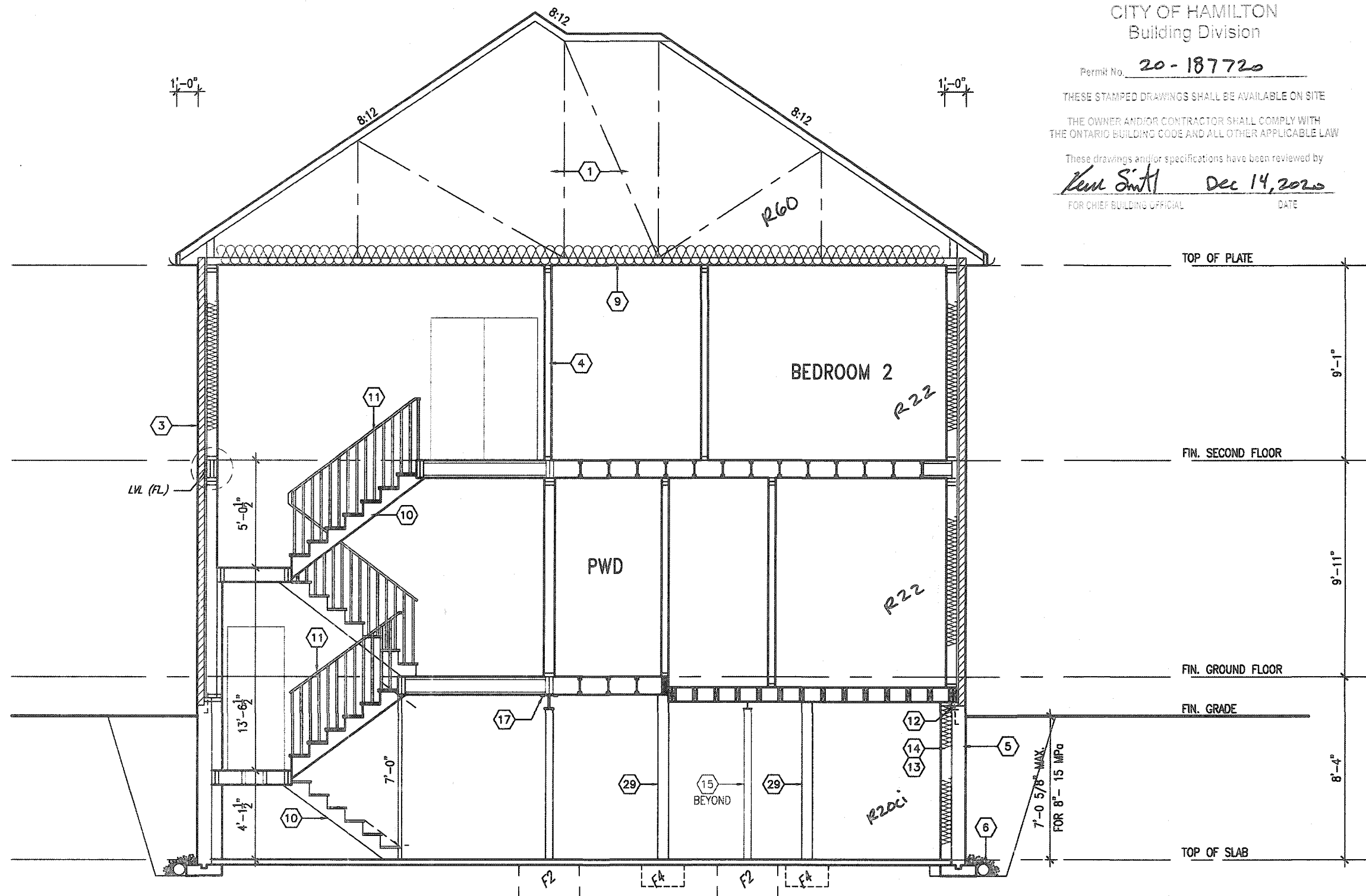
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BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 20-187720

These drawings and/or specifications have been reviewed by
Kenn Smith Dec 14, 2020
 FOR CHIEF BUILDING OFFICIAL DATE



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18				9	-	-	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	qualification information
16				7	-	-	
15				6	-	-	Richard Vink 24488
14				5	-	-	name signature BCIN
13				4	-	-	registration information VA3 Design Inc. 42658
12				3	ISSUED FOR PERMIT.	APR 08/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW	
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW	
no.	description	date	by	no.	description	date	by



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t 416.630.2255 f 416.630.4782
va3design.com



MOUNTAINASH 2
13.5m

project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON. project no.: 19014

date: JANUARY 2020 SECTION A-A ELEVATION '2' drawing no.: A9a

drawn by: MS checked by: scale: 3/16" = 1'-0"

Alt+Mf MOZAMMET - C:\Users\jchnc\Desktop\19014-GREENPARK\LAYOUTS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM 19014-MOUNTAINASH-02

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BUILDING DIVISION
Planning & Development Department
NOV 15 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

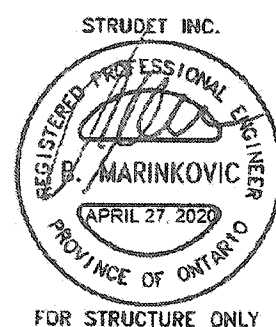
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kem Smith Dec 14, 2020

 FOR CHIEF BUILDING OFFICIAL DATE



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18			9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 MOUNTAINASH 2 13.5m	project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014	drawing no. A9b
17		8	-	qualification information							
16		7	-	Richard Vink <i>P Vink</i> 24488 signature BCR							
15		6	-	name 42658							
14		5	-	registration information VA3 Design Inc.							
13		4	-								
12		3	ISSUED FOR PERMIT.	APR 08/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	SECTION A-A ELEVATION '3'	date JANUARY 2020	checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-02
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW						
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW						
no. description	date	by	no. description	date	by						

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Building Division

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These drawings and/or specifications have been reviewed by

Kem Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK
CONDITIONS WHERE GRADE PERMITS. BASEMENT
WINDOWS APPLY TO CONDITIONS OF A MINIMUM
4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION
(TYP) **13**
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: SEP 21 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

[illegible]

* DECK NOT REQUIRED

[illegible]

STUDET INC.

REGISTERED PROFESSIONAL ENGINEER

[Signature]

B. MARINKOVIC

APRIL 27, 2020

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

PARTIAL BASEMENT PLAN
DECK CONDITION
ELEV. 1, 2, AND 3

PARTIAL GROUND FLOOR PLAN
DECK CONDITION
ELEV. 1, 2, AND 3

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.		APR 08/20
11				2	UPDATED PER ENG & CLIENT COMMENTS.		MAR 16/20
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.		JAN 30/20
no.	description	date	by	no.	description	date	

The undersigned has reviewed and takes responsibility for this design and was the qualified person and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	2448
name	signature
registration information	BC
VAS Design Inc.	4265
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

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DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4
va3design.com



MOUNTAINASH 2
13.5m

project name		municipality		project no.	
RUSSELL GARDENS PH. 3		HAMILTON, ON.		19014	
date		PARTIAL PLANS - DECK CONDITION			drawing no.
JANUARY 2020					A10
drawn by	checked by	scale	file name		
NS	-	3/16" = 1'-0"	19014-MOUNTAINASH-02		
ANAFW MOZAMMEL - C:\Users\cheah\Documents\19014 - GREEN PARK UNITS\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM					

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2848 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 15 2020

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 20-187720

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Ken Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '1'-
DECK CONDITION DECK NOT REQUIRED

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

MOUNTAINASH 2
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: SEP 22, 2020

This stamp certifies compliance with the applicable Design Guidelines only and implies no further professional responsibility.

EXTERIOR RAILINGS:

3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	APR 08/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 30/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
Qualification information					
Richard Vink 24488 BCM					
signature					
registration information					
VA3 Design Inc. 42658					
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

| drawn by NS | checked by - | scale 3/16" = 1'-0" |
| ANNAF MOZAMBEK - C:\Users\anna\Desktop\19014-MOUNTAINASH-02.dwg - Wed - Apr 8 2020 - 3:37 PM | | |

location
HAMILTON, ON.

REAR ELEV. '1' - DECK CONDITION

file name
19014-MOUNTAINASH-02

drawing no.
A11

MOUNTAINASH 2
13.5m

project no.
19014

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2848 SF.

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BUILDING DIVISION
Planning & Development Department

NOV 15 2020

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REF'D TO _____ DATE _____

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Building Division

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kent Smith Dec 14, 2020
FOR CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION '2'-
DECK CONDITION DECK NOT REQUIRED

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

MOUNTAINASH 2 COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 21, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		9	
17		8	
16		7	
15		6	
14		5	
13		4	
12		3	ISSUED FOR PERMIT. APR 08/20 GW
11		2	UPDATED PER ENG & CLIENT COMMENTS. MAR 16/20 GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW. JAN 30/20 GW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information BCIN
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
NS

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

date
APR 8 2020 - 3:37 PM

project no.
19014

drawing no.
A11a

19014-MOUNTAINASH-02

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2848 SF.

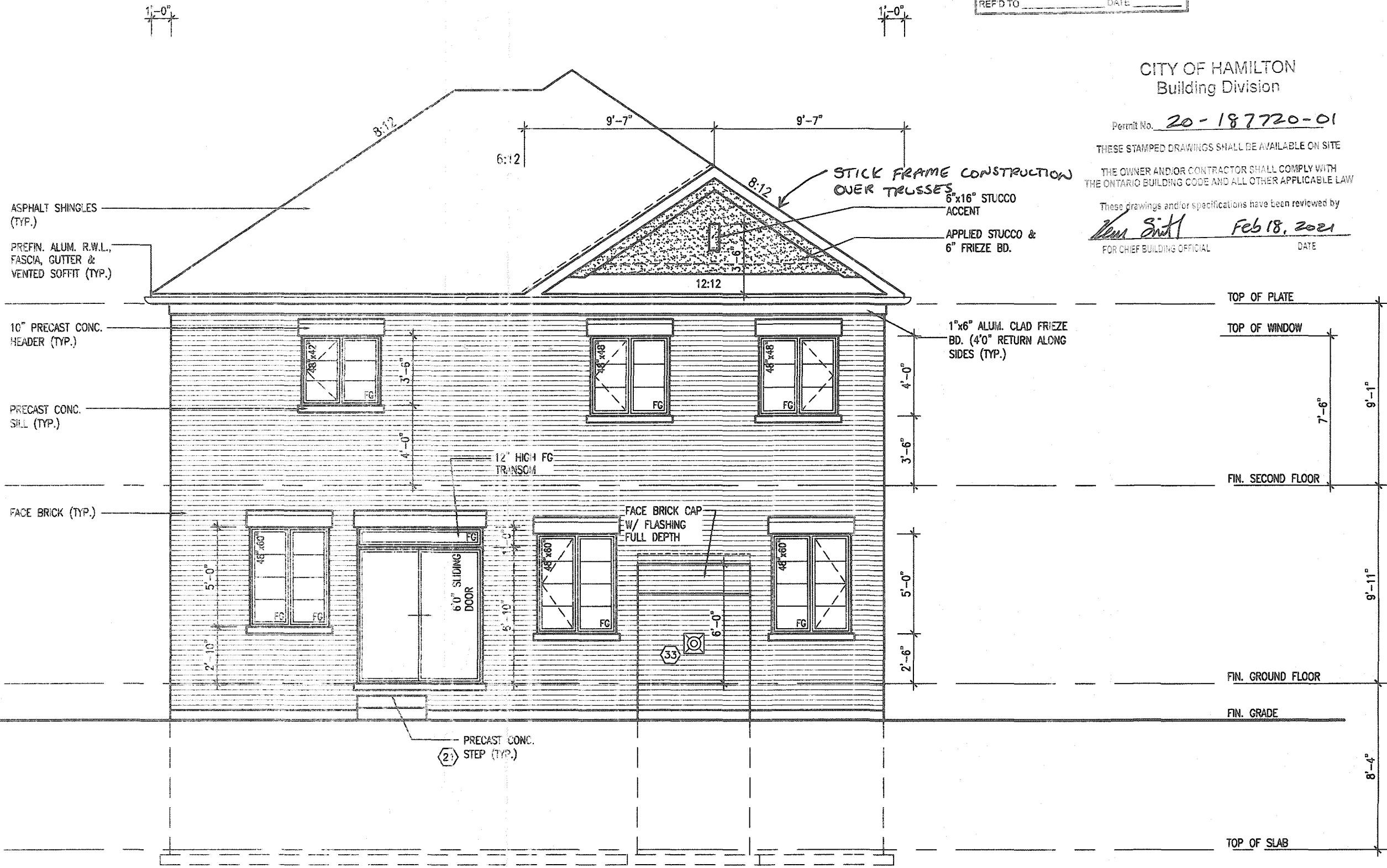
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 20-187720-01

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Paul Smith Feb 18, 2021
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION '1'

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JOHN C. McLELLAN LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE NOV 12, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a professional engineering or architectural seal.

18		9			
17		8			
16		7			
15		6			
14		5			
13		4	ADDED REAR UPGRADE	OCT 05/20	GW
12		3	ISSUED FOR PERMIT	APR 08/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 16/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 30/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
BDN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instances of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
date
JANUARY 2020
drawn by
HS
checked by
3/16" = 1'-0"
scale
GPD - H:\ARCHIVES\WORKING\2019\19014\GREENPARK\SINGLES\4" MOUNTAINASH\19014-MOUNTAINASH-02.dwg - Mon - Oct 5 2020 - 9:52 AM

MOUNTAINASH 2
13.5m
project no.
19014
drawing no.
A12

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 05 2021

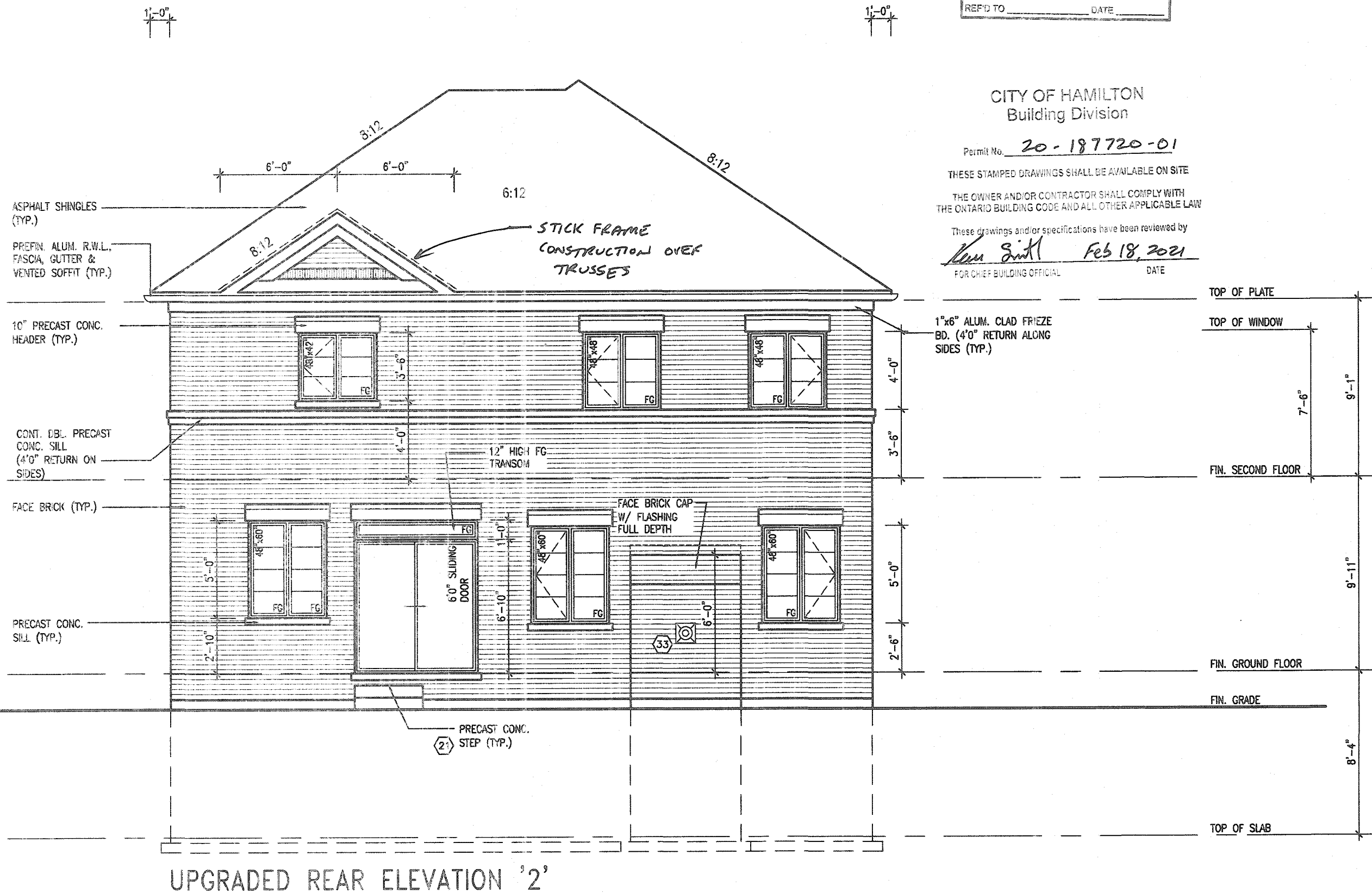
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 20-187720-01

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
Ram Singh Feb 18, 2021
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION '2'

MOUNTAINASH 2

COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE NOV 17 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

16				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8					
16				7					qualification information
15				6					Richard Vink 2448
14				5					name signature BCI
13				4	ADDED REAR UPGRADE.	OCT 05/20	GW		registration information
12				3	ISSUED FOR PERMIT.	APR 08/20	GW		VA3 Design Inc. 42655
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 16/20	GW		
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN 30/20	GW		
no.	description	date	by	no.	description	date	by		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *to Kirk* 24

NAME: Richard Vink signature: [Signature] 244

registration information
VA3 Design Inc. 426

Contractor must verify all dimensions on the job and report any

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

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VA3
DESIGN

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Greenpark.

project name
RUSSELL GARDENS PH. 3

HAMILTON, ON.

UPGRADED REAR ELEVATION '2'

JANUARY 2020

drawn by

2

GREG - H:\ARCHIVE\WORKING\2019\19014 GRE\UNITS\SINGLES\44' MOUNTAINASH\19014-MOUNTAINASH-02.dwg - Thu - Oct 8 2020 - 10:47 AM

MOUNTAINASH 2
13.5m

Project no.
9014

по.

file name
19014-MOUNTAINASH-02

A12a

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 20-187720-01

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Kenn Smith Feb 18, 2021
FOR CHIEF BUILDING OFFICIAL DATE

FACE BRICK (TYP.)

TOP OF SLAB

		MOUNTAINASH 2 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON.	project no. 19014
date JANUARY 2020		drawing no. UPGRADED REAR ELEVATION "3"	
drawing by NS	checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-02

0 82

GREEN - H:\ARCH\PROJECTS\2019\19014\CONTRACTS\CONTRACTS\MOUNTAINASH\19014-MT.MTA\19014-REAR-ELEV.DWG - Title - Oct 8 2020 - 10:47 AM

A12b

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