

3189 SF.

### STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.  
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

### FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW PARTY WALLS.  
(REFER TO ENGINEER FILL FOOTING DETAIL)

### ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

### PAD FOOTINGS

120 KPa, NATIVE SOIL 80 KPa, ENGINEERED FILL SOIL  
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

### VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

### EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

### BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

### WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2  
WB2 = 3-2"x8" (3-38x184) SPR. No.2  
WB3 = 2-2"x10" (2-38x235) SPR. No.2  
WB4 = 3-2"x10" (3-38x235) SPR. No.2  
WB5 = 2-2"x12" (2-38x286) SPR. No.2  
WB6 = 3-2"x12" (3-38x286) SPR. No.2  
WB7 = 5-2"x12" (5-38x286) SPR. No.2  
WB11 = 4-2"x10" (4-38x235) SPR. No.2  
WB12 = 4-2"x12" (4-38x286) SPR. No.2

### LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

### LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)  
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)  
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)  
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)  
L5 = 6" x 4" x 3/8" L (150x100x10.0L)  
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

### DOOR SCHEDULE

| NOS. | WIDTH  | HEIGHT  | HEIGHT      | TYPE                    |
|------|--------|---------|-------------|-------------------------|
|      |        | 8'-0"   | 10' OR MORE |                         |
|      |        | CEILING | CEILING     |                         |
| 1    | 2'-10" | 6'-8"   | 8'-0"       | INSULATED ENTRANCE DOOR |
| 1a   | 2'-8"  | 6'-8"   | 8'-0"       | INSULATED FRONT DOORS   |
| 2    | 2'-8"  | 6'-8"   | 8'-0"       | WOOD & GLASS DOOR       |
| 3    | 2'-8"  | 6'-8"   | 8'-0"       | EXTERIOR SLAB DOOR      |
| 4    | 2'-8"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 5    | 2'-6"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 6    | 2'-2"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |
| 7    | 1'-6"  | 6'-8"   | 8'-0"       | INTERIOR SLAB DOOR      |

### CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)  
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".  
2 ROWS FOR SPANS GREATER THAN 7'0".

### NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

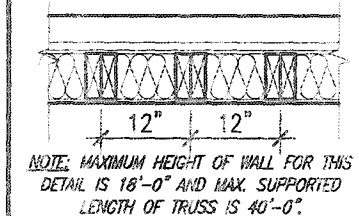
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

### NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

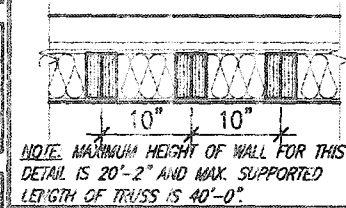
### TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



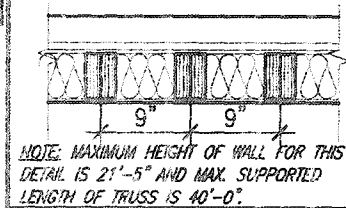
### TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 6'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



### TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 6'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

### USE SB-12 COMPLIANCE PACKAGE (A1):

| COMPONENT                                   | A1                                                                                                                | Notes:                              |
|---------------------------------------------|-------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| Ceiling with Attic Space                    | 10.56 (R60)                                                                                                       | R20 at inner face of exterior walls |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Ceiling without Attic Space                 | 5.46 (R31)                                                                                                        | BATT or SPRAY                       |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Exposed Floor                               | 5.46 (R31)                                                                                                        | BATT or SPRAY                       |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Walls Above Grade                           | 3.87 (R22)                                                                                                        | 6" R22 BATT                         |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Basement Walls                              | 3.52ci (R20ci)                                                                                                    | OPTION TO USE R12+R10ci             |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Edge of Below Grade Slab <600mm below grade | 1.76 (R10)                                                                                                        | RIGID INSUL                         |
| Minimum RSI (R) value                       |                                                                                                                   |                                     |
| Windows & Sliding glass Doors               | 0.28                                                                                                              |                                     |
| Maximum U-value                             |                                                                                                                   |                                     |
| Skylights                                   | 0.49                                                                                                              |                                     |
| Maximum U-value                             |                                                                                                                   |                                     |
| Space Heating Equipment                     | 96% Min.                                                                                                          | NATURAL GAS                         |
| Minimum AFUE                                |                                                                                                                   |                                     |
| Hot Water Heater                            | 0.8                                                                                                               | NATURAL GAS                         |
| Minimum EF                                  |                                                                                                                   |                                     |
| HRV                                         | 75%                                                                                                               |                                     |
| Minimum Efficiency                          |                                                                                                                   |                                     |
| Drain Water Heat Recovery Unit (DWHR)       | Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information |                                     |

ci-- Denotes Continuous Insulation without framing interruption.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS.

These drawings and/or specifications have been reviewed

Ken Smith Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

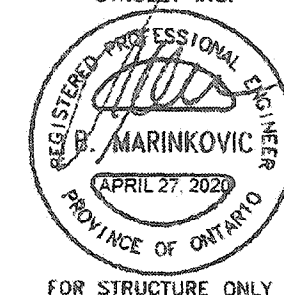
| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))                                           |                |              |            |
|------------------------------------------------------------------------------------------|----------------|--------------|------------|
| MOUNTAINASH 4, EL. 2 (5 BED)                                                             |                |              |            |
| ELEVATION                                                                                | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 776.46 S.F.    | 187.25 S.F.  | 24.12 %    |
| LEFT SIDE                                                                                | 1121.08 S.F.   | 92.33 S.F.   | 8.24 %     |
| RIGHT SIDE                                                                               | 1126.03 S.F.   | 34.50 S.F.   | 3.06 %     |
| REAR                                                                                     | 756.0 S.F.     | 158.94 S.F.  | 21.02 %    |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                |              |            |
| TOTAL SQ. FT.                                                                            | 3779.57 S.F.   | 473.02 S.F.  | 12.52 %    |
| TOTAL SQ. M.                                                                             | 351.13 S.M.    | 43.94 S.M.   | 12.52 %    |

| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))                                           |                |              |            |
|------------------------------------------------------------------------------------------|----------------|--------------|------------|
| MOUNTAINASH 4, EL. 3 (5 BED)                                                             |                |              |            |
| ELEVATION                                                                                | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 773.75 S.F.    | 201.56 S.F.  | 26.05 %    |
| LEFT SIDE                                                                                | 1121.0 S.F.    | 92.33 S.F.   | 8.24 %     |
| RIGHT SIDE                                                                               | 1125.92 S.F.   | 51.39 S.F.   | 4.56 %     |
| REAR                                                                                     | 756.0 S.F.     | 158.94 S.F.  | 21.02 %    |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                |              |            |
| TOTAL SQ. FT.                                                                            | 3776.67 S.F.   | 504.22 S.F.  | 13.35 %    |
| TOTAL SQ. M.                                                                             | 350.86 S.M.    | 46.84 S.M.   | 13.35 %    |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including a zoning by-law and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

STRUDET INC.



FOR STRUCTURE ONLY

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
name  
registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

Greenpark.  
MOUNTAINASH 4  
13.5m  
project name  
RUSSELL GARDENS PH. 3  
HAMILTON, ON.  
project no.  
19014  
date  
JAN. 2020  
checked by  
N.HUR  
scale  
3/16" = 1'-0"  
GENERAL NOTES & CHARTS  
19014-MOUNTAINASH-04  
date  
Apr 21 2020 - 6:51 PM

AO  
drawing no.

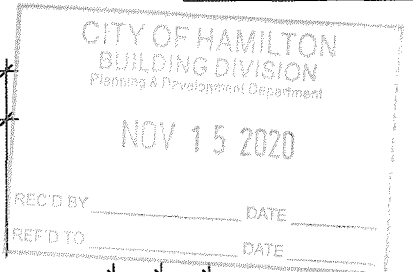
All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



3189 SF.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233). PLUG IN SAFELY: HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT [www.pluginsafely.ca](http://www.pluginsafely.ca)



CITY OF HAMILTON Building Division

Permit No. 20-187707

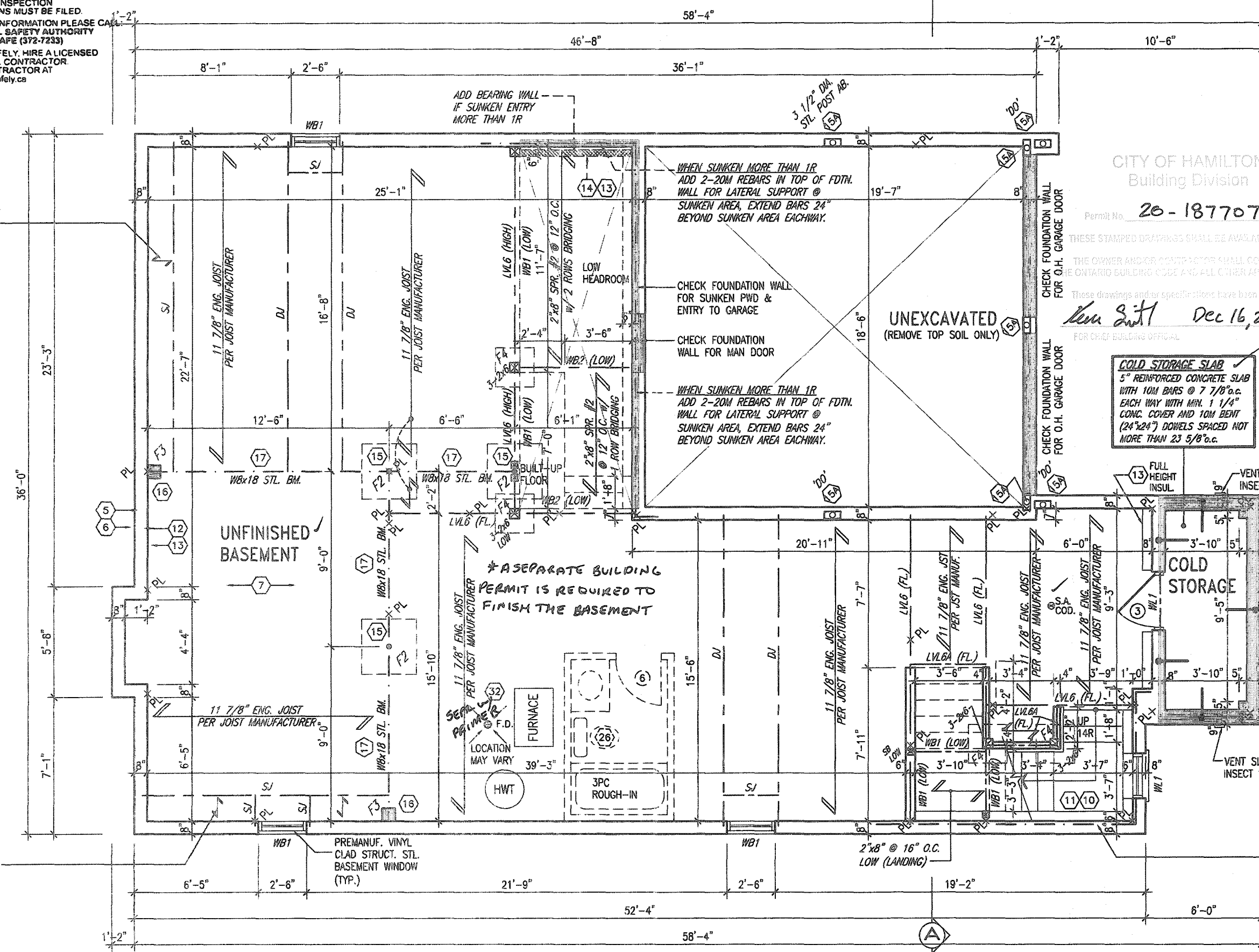
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE. THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS. These drawings and/or specifications have been reviewed by

*Kem Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL

**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" O.C. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24" x 24") DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN - ELEV. '2'

**BASEMENT INSULATION AT STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16" O.C. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

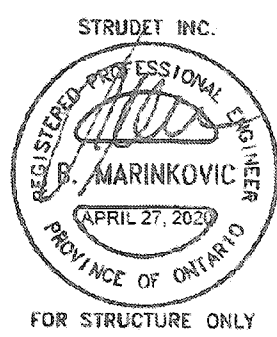
**BASEMENT WALL INSULATION (TYP.)**  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

**MOUNTAINASH 4 COMPLIANCE PACKAGE 'A1'**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
THE DESIGNER CERTIFIES COMPLIANCE WITH THE GUIDELINES. DESIGNER ACCEPTS ONLY AND BEARS FURTHER PROFESSIONAL RESPONSIBILITY.



|     |             |      |                                        |           |             |
|-----|-------------|------|----------------------------------------|-----------|-------------|
| 18  |             | 9    |                                        |           |             |
| 17  |             | 8    |                                        |           |             |
| 16  |             | 7    |                                        |           |             |
| 15  |             | 6    |                                        |           |             |
| 14  |             | 5    |                                        |           |             |
| 13  |             | 4    |                                        |           |             |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | MAR 31/20 | GW          |
| 11  |             | 2    | UPDATED PER ENG. & CLIENT COMMENTS.    | MAR 19/20 | GW          |
| 10  |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW          |
| no. | description | date | by                                     | no.       | description |

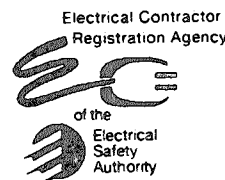
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
name registration information BCIN  
VAS Design Inc. 42656

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

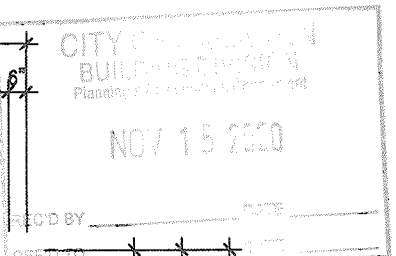
**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
municipality  
HAMILTON, ON.  
date  
JAN. 2020  
checked by  
3/16" = 1'-0"  
drawing no.  
19014-MOUNTAINASH-04  
19014

**MOUNTAINASH 4**  
13.5m  
drawing no.  
19014  
BASEMENT PLAN - ELEV. 2  
A1a

3189 SF.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT [www.plugsafely.ca](http://www.plugsafely.ca)



CITY OF HAMILTON Building Division

Permit No. 20-187707

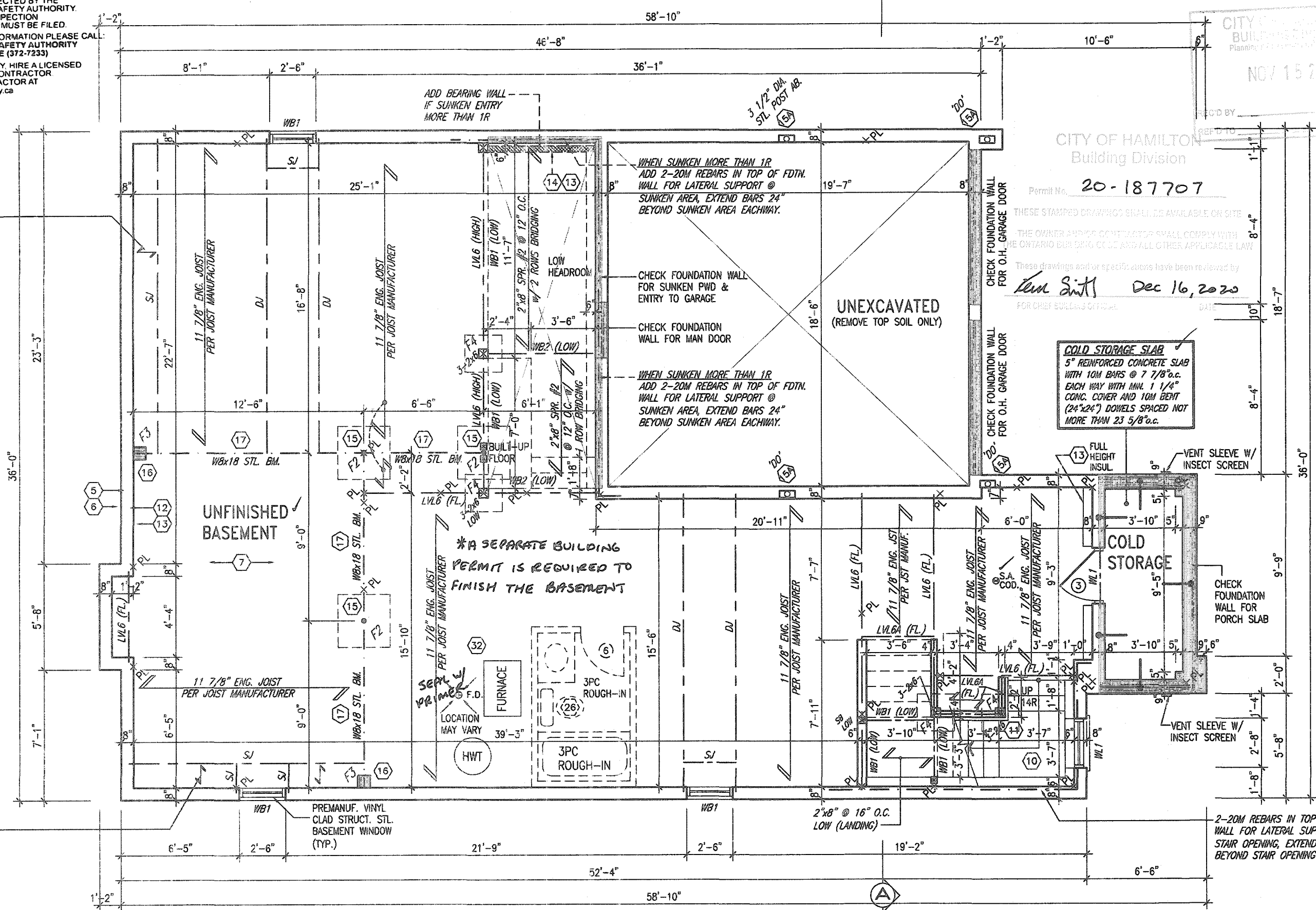
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE. THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and/or specifications have been reviewed by *Ken Smith* Dec 16, 2020 FOR CHIEF BUILDING OFFICIAL

**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN - ELEV. '3'

**BASEMENT INSULATION AT STAIR/SUNKEN AREAS**  
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH - EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

**BASEMENT WALL INSULATION (TYP.)**  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



FOR STRUCTURE ONLY

| no. | description | date | by | no. | description                            | date      | by |
|-----|-------------|------|----|-----|----------------------------------------|-----------|----|
| 18  |             |      |    | 9   |                                        |           |    |
| 17  |             |      |    | 8   |                                        |           |    |
| 16  |             |      |    | 7   |                                        |           |    |
| 15  |             |      |    | 6   |                                        |           |    |
| 14  |             |      |    | 5   |                                        |           |    |
| 13  |             |      |    | 4   |                                        |           |    |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | MAR 31/20 | GW |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 | GW |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
**Richard Vink** 24488  
signature  
name registration information  
**VAS Design Inc.** 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
[vas3design.com](http://vas3design.com)

**MOUNTAINASH 4**  
13.5m

project name  
**RUSSELL GARDENS PH. 3**

date  
**JAN. 2020**

drawn by  
**N.HUR**

checked by  
**3/16" = 1'-0"**

scale  
**3/16" = 1'-0"**

file name  
**19014-MOUNTAINASH-04**

drawing no.  
**A1b**

**MOUNTAINASH 4**  
13.5m

project no.  
**19014**

basement plan - elev. 3





All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

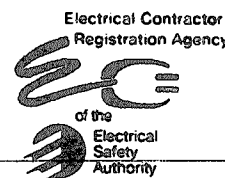
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

## GRAB BAR NOTE:

## STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

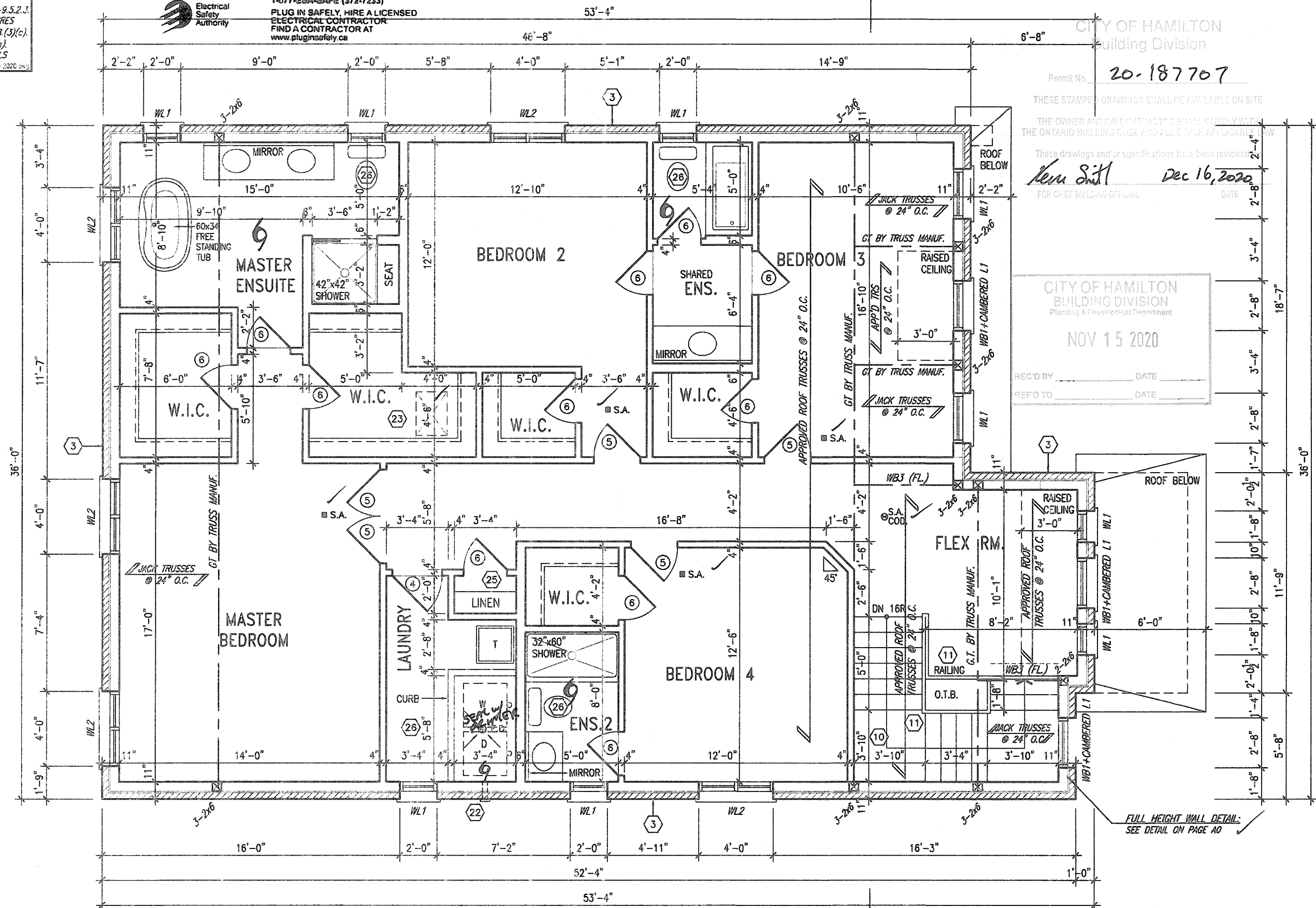
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OSC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8(3)(c) & 3.8.3.8(3)(c). SHOWER 3.8.3.13(2)(g). BATHTUB 3.8.3.13(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

CS-1015-2020 (04)



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (572-7233). PLUG IN SAFELY, HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT [www.plugin safely.ca](http://www.plugin safely.ca)

3189 SF.

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL CITY OF HAMILTON BY-LAWS

These drawings and/or specifications have been reviewed

Kevin Smith  
FOR CHIEF BUILDING OFFICIALDec 16, 2020  
DATECITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REF'D TO: \_\_\_\_\_ DATE: \_\_\_\_\_FULL HEIGHT WALL DETAIL:  
SEE DETAIL ON PAGE A0

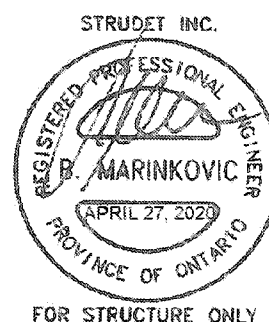
## SECOND FLOOR PLAN - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVALAPPROVED BY: \_\_\_\_\_  
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



|     |             |      |    |                                       |               |
|-----|-------------|------|----|---------------------------------------|---------------|
| 18  |             |      | 9  |                                       |               |
| 17  |             |      | 8  |                                       |               |
| 16  |             |      | 7  |                                       |               |
| 15  |             |      | 6  |                                       |               |
| 14  |             |      | 5  |                                       |               |
| 13  |             |      | 4  |                                       |               |
| 12  |             |      | 3  | ISSUED FOR PERMIT                     | MAR 31/20 GW  |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS     | MAR 19/20 GW  |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 28/20 GW |
| no. | description | date | by | no.                                   | description   |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
signature  
name registration information  
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3  
DESIGN255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

Greenpark.

project name  
RUSSELL GARDENS PH. 3

HAMILTON, ON.

MOUNTAINASH 4  
13.5mproject no.  
19014date  
JAN. 2020

SECOND FLOOR PLAN - ELEV. 1

drawn by  
N.HURchecked by  
3/16" = 1'-0"file name  
19014-MOUNTAINASH-04drawing no.  
A3

416.630.2255 - C:\Users\jgwilliams\Desktop\19014-GREENPARK\UNITS\19014-MOUNTAINASH-04.dwg - Tue - Apr 21 2020 - 6:51 PM

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).  
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED.

GA-2018-2020 CEN

Electrical Contractor  
Registration Agency  
of the  
Electrical  
Safety  
Authority

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.  
FOR MORE INFORMATION PLEASE CALL:  
ELECTRICAL SAFETY AUTHORITY  
1-877-ESA-SAFE (372-7233)  
PLUG IN SAFELY, HIRE A LICENSED  
ELECTRICAL CONTRACTOR.  
FIND A CONTRACTOR AT  
[www.pluginssafely.ca](http://www.pluginssafely.ca)**

5'-8" CITY OF HAMILTON  
Building Division  
Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE 4'-10"

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
 RECD BY \_\_\_\_\_ DATE \_\_\_\_\_  
 16" RAISED PLATE

2C ABOVE SILL  
3 BELOW SILL

4' 2' 4'-5'

RAISED  
CEILING

FLAT  
ROOF

3'-2 $\frac{1}{2}$ "

3'-0"

2" APPROX @ 24" SLOPE 5 11

3'-2 1/2"

16" RAISED PLATE  
SCUPPER

FULL HEIGHT WALL DETAIL:  
SEE DETAIL ON PAGE 40

# MOUNTAIN.

## Greennark

|                 |               |
|-----------------|---------------|
| L GARDENS PH. 3 | HAMILTON, ON. |
|-----------------|---------------|

3/16" = 1'-0" 190

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 21, 2000

This stamp certifies compliance with the applicable  
Design Guidelines, only and bears no further  
professional responsibility.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
APRIL 27, 2020  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

SECOND FLOOR PLAN - ELEV. '29

|                                                                                                                                                                                                                                                                                                               |                       |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
| <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p>                                                                                                                     |                       |
| <p>qualification information</p>                                                                                                                                                                                                                                                                              | <p><i>R. Vink</i></p> |
| <p>Richard Vink</p>                                                                                                                                                                                                                                                                                           | <p>244</p>            |
| <p>name</p>                                                                                                                                                                                                                                                                                                   | <p>signature</p>      |
| <p>registration information</p>                                                                                                                                                                                                                                                                               |                       |
| <p>VA3 Design Inc.</p>                                                                                                                                                                                                                                                                                        | <p>428</p>            |
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All proposed specifications are instruments of service and the property of the Designer which must be returned at the completion of the so drawings are not to be copied.</p> |                       |

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
† 416.630.2255 † 416.630.476  
va3design.com

|                                                                                                                            |            |                                      |    |
|----------------------------------------------------------------------------------------------------------------------------|------------|--------------------------------------|----|
|                                       |            | <b>Greenpark™</b>                    |    |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                               |            | municipality<br><b>HAMILTON, ON.</b> |    |
| date<br><b>JAN. 2020</b>                                                                                                   |            | SECOND FLOOR PLAN                    |    |
| drawn by<br><b>M.HUR</b>                                                                                                   | checked by | scale<br><b>3/16" = 1'-0"</b>        | 19 |
| UNIVERSITY OF MONTREAL - CIVIL ENGINEERING DEPARTMENT - 1205-1205 AVENUE DES MONTELLIERS - MONTRÉAL, QUÉBEC H3T 1J6 CANADA |            |                                      |    |

|                                 |             |
|---------------------------------|-------------|
| MOUNTAINASH 4                   |             |
| 13.5m                           |             |
| project no.<br>19014            |             |
| LAN - ELEV. 2                   | drawing no. |
| file name<br>014-MOUNTAINASH-04 | A3a         |
| date - Apr 21 2003 - 6:51 PM    |             |

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.





STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHTUB IN MAIN BATHROOM PER DBC, DIV. 8-9.5.2.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.8.(3/4) & 3.8.3.9.(3/4)  
SHOWER 3.8.3.13.(2/4); BATHTUB 3.8.3.13.(4/4).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED. GB-NOTE-2020-04

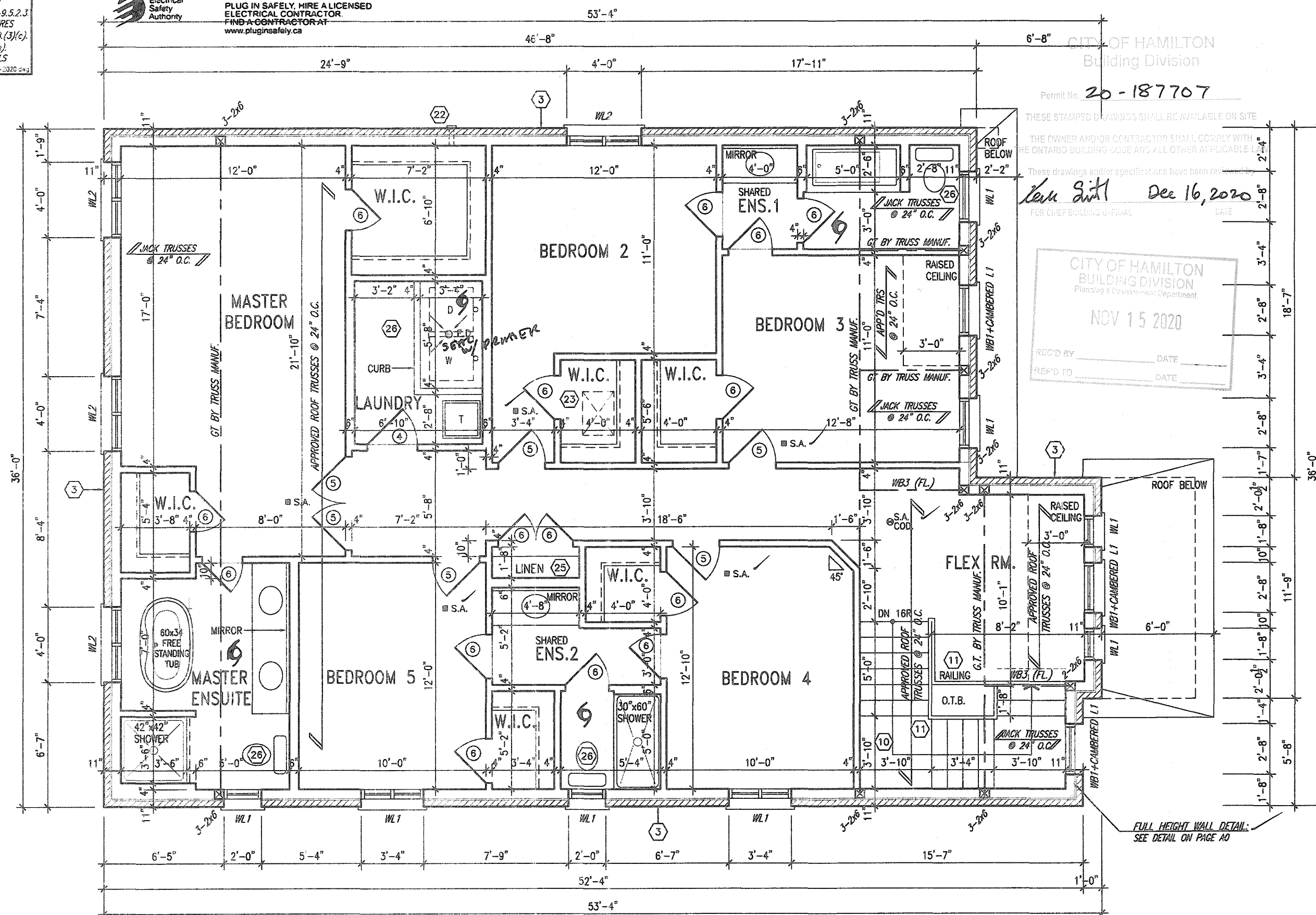
Electrical Contractor  
Registration Agency  
**ESCA**  
of the  
Electrical  
Safety  
Authority

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.**

**FOR MORE INFORMATION PLEASE CALL:  
ELECTRICAL SAFETY AUTHORITY  
1-877-ESA-SAFE (372-7233)**

**PLUG IN SAFELY, HIRE A LICENSED  
ELECTRICAL CONTRACTOR.  
FIND A CONTRACTOR AT  
[www.pluginsafely.ca](http://www.pluginsafely.ca)**

3189 SF.



OPT. SECOND FLOOR PLAN  
5 BEDROOM PLAN - ELEV. '19

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting, plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS  
ARCHITECTURAL CONTROL, REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: SEP 23, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no father  
professional responsibility.

|    |             |      |    |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|----|-------------|------|----|----------------------------------------|-------------|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 18 |             |      | 9  |                                        |             |      | <div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Richard Vink</div> <div></div> <div>name</div> <div>registration information</div> <div>V&amp;S Design Inc.</div> <div>2448</div> <div>BC</div> <div>4265</div> |
| 17 |             |      | 8  |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 16 |             |      | 7  |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 15 |             |      | 6  |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 14 |             |      | 5  |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 13 |             |      | 4  |                                        |             |      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 12 |             |      | 3  | ISSUED FOR PERMIT                      | MAR 31/20   | GW   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 11 |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20   | GW   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 10 |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20  | GW   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| no | description | date | by | no                                     | description | date |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

|                                                                                                                                                                                                                                                                                |           |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                             |           |
| qualification information                                                                                                                                                                                                                                                      |           |
| Richard Vink                                                                                                                                                                                                                                                                   | 2448      |
| name                                                                                                                                                                                                                                                                           | signature |
| registration information                                                                                                                                                                                                                                                       | BC        |
| VAS Design Inc.                                                                                                                                                                                                                                                                | 4265      |
| Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. |           |
| Drawings are not to be used.                                                                                                                                                                                                                                                   |           |

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com



# Greenpark.

Project name: **RUSSELL GARDENS PH. 3**      Municipal: **HAMILTON, ONTARIO**

Site: **AM, 2020**      **OPT. SECOND FLOOR**

Drawn by: **MUR**      checked by: **scale**

**3/16" = 1'-0"**

NOTES: 1. C:\Users\mccord\Documents\19014-CRENSHAW PARK UNITS.19014-MOUNTAINVIEW-24.dwg

|                               |                                          |                             |
|-------------------------------|------------------------------------------|-----------------------------|
| <b>MOUNTAINASH 4</b><br>13.5m |                                          | project no.<br><b>19014</b> |
| PLAN - ELEV. 1                | file name<br><b>19014-MOUNTAINASH-04</b> | drawing no.<br><b>A4</b>    |
| Tue - Apr 21 2020 - 5:51 PM   |                                          |                             |

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER CBC DIV B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.8.(3)/(c) & 3.8.3.8.(3)/(c)  
SHOWER 3.8.3.13.(2)/(g) & 3.8.3.13.(4)/(e)  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.  
CG-NOT-2020-00

**Electrical Contractor  
Registration Agency**



of the  
**Electrical  
Safety  
Authority**

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRIC SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.  
FOR MORE INFORMATION PLEASE CALL:  
ELECTRICAL SAFETY AUTHORITY  
1-877-ESA-SAFE (372-7233)  
PLUG IN SAFELY, HIRE A LICENSED  
ELECTRICAL CONTRACTOR  
FIND A CONTRACTOR AT  
[www.pluginsafely.ca](http://www.pluginsafely.ca)**

3189 SF.

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR(S) WILL COMPLY WITH  
THE ONTARIO BUILDING CODES AND ALL OTHERS APPLICABLE.

These drawings and/or specifications have been reviewed by  
*Kenn Smith* Dec 16, 2020

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_  
16" RAISED PLATE

2C ABOVE SIL  
3 BELOW SIL

RAISED  
CEILING

FLAT  
ROOF  
BELOW

FULL HEIGHT WALL DETAIL  
SEE DETAIL ON PAGE 40

OPT. SECOND FLOOR PLAN  
5 BEDROOM PLAN - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: SEP 22 2009

This stamp certifies compliance with the approach  
Design Guidelines only and bears no further  
consequential responsibility.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
APRIL 27, 2020  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

|    |     |             |      |    |                                       |             |                                                                                                                                                                                    |
|----|-----|-------------|------|----|---------------------------------------|-------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 18 |     |             |      | 9  |                                       |             | The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
| 17 |     |             |      | 8  |                                       |             |                                                                                                                                                                                    |
| 16 |     |             |      | 7  |                                       |             | qualification information                                                                                                                                                          |
| 15 |     |             |      | 6  |                                       |             | <b>Richard Vink</b>                                                                                                                                                                |
| 14 |     |             |      | 5  |                                       |             | name                                                                                                                                                                               |
| 13 |     |             |      | 4  |                                       |             | signature                                                                                                                                                                          |
| 12 |     |             |      | 3  | ISSUED FOR PERMIT                     | MAR 31/20   | GW                                                                                                                                                                                 |
| 11 |     |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.    | MAR 19/20   | GW                                                                                                                                                                                 |
| 10 |     |             |      | 1  | PRELIMINARY ISSUED FOR CLIENT REVIEW. | JAN 28/20   | GW                                                                                                                                                                                 |
| 9  | no. | description | date | by | no.                                   | description | date                                                                                                                                                                               |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.

qualification information

Richard Vink 24

name signature

registration information

V33 Design Inc. 41

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.

[www.v33design.com/art/bm/bm000002](http://www.v33design.com/art/bm/bm000002)

**VA3**  
**DESIGN**  
255 Consumers Rd Suite  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.  
va3design.com

 **Greenpark**

project name  
**RUSSELL GARDENS PH. 3**

date  
**JAN. 2020**

drawn by  
**N.HURV**

checked by  
**3/18" = 1'-0"**

scale  
**OPT. SECOND FL**

ANALYST: M27247461 - C:\Users\ahurvi\Desktop\190114 - GREENPARK\UNIT3\190114 - MOUNTAINASH

|                                                            |                           |                             |
|------------------------------------------------------------|---------------------------|-----------------------------|
| <b>MOUNTAINASH 4</b><br>13.5m                              |                           | project no.<br><b>19014</b> |
| PLAN - ELEV. 2<br>file name<br><b>19014-MOUNTAINASH-04</b> | drawing no.<br><b>A4a</b> |                             |
| Tue - Apr 21 2020 - 5:51 PM                                |                           |                             |

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

**STUD WALL REINFORCEMENT FOR FUTURE** ✓  
**GRAB BARS IN MAIN BATHROOM**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHTUB IN MAIN BATHROOM PER CBC. DIV. 8-9.5.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.6.(3)(c) & 3.8.3.8.(3)(c).  
SHOWER 3.8.3.1.3.(2)(g). BATHTUB 3.8.3.1.3.(4)(g).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED. G3-NY-2020-090

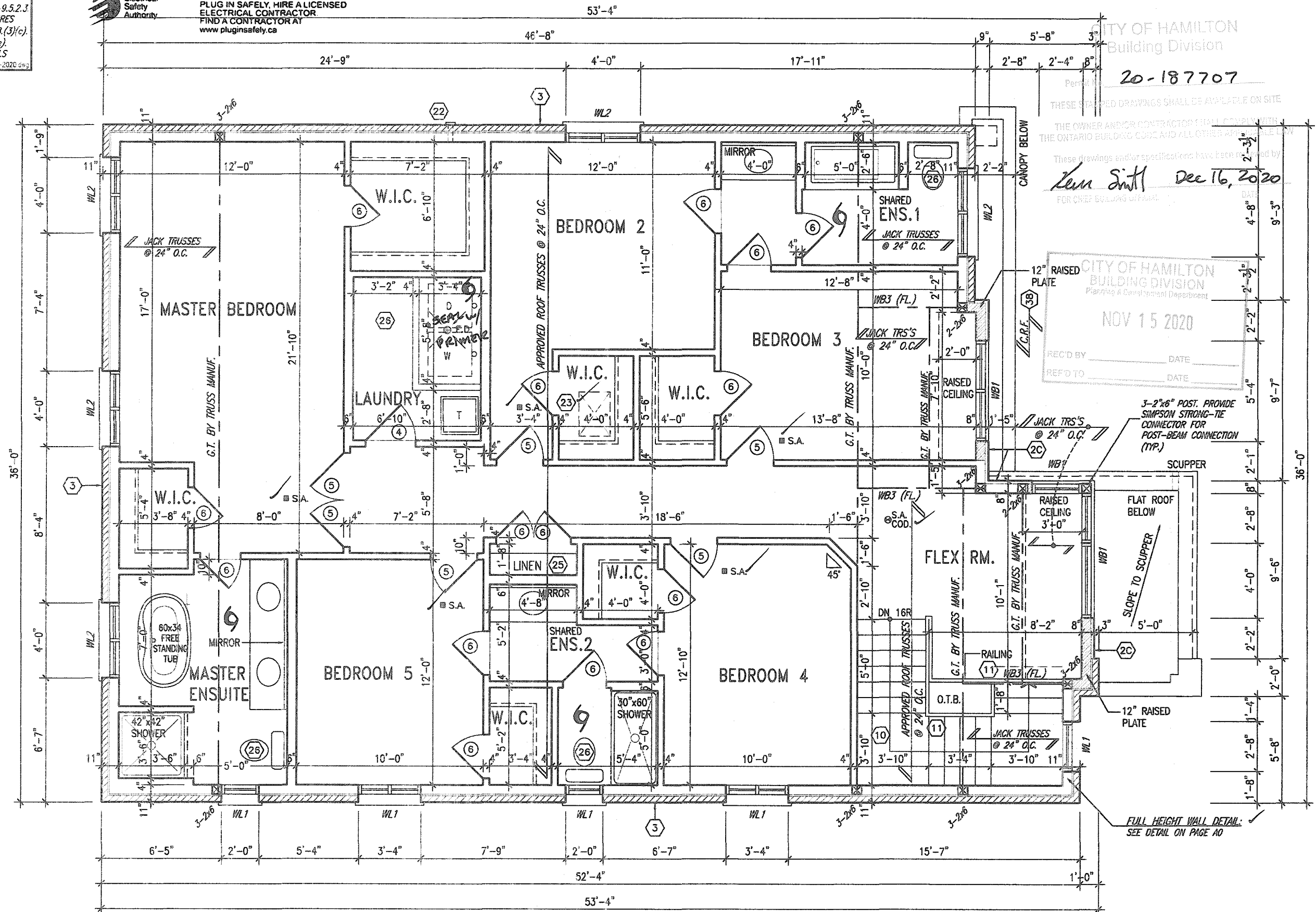
**Electrical Contractor  
Registration Agency**

**of the**

**Electrical  
Safety  
Authority**

**ALL ELECTRICAL INSTALLATIONS  
MUST BE INSPECTED BY THE  
ELECTRICAL SAFETY AUTHORITY.  
SEPARATE INSPECTION  
APPLICATIONS MUST BE FILED.  
FOR MORE INFORMATION PLEASE CALL:  
ELECTRICAL SAFETY AUTHORITY  
1-877-ESA-SAFE (372-7233)  
PLUG IN SAFELY, HIRE A LICENSED  
ELECTRICAL CONTRACTOR.  
FIND A CONTRACTOR AT  
[www.pluginsafely.ca](http://www.pluginsafely.ca)**

3189 SF.



OPT. SECOND FLOOR PLAN  
5 BEDROOM PLAN - ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: SEP 21, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

|     |             |      |    |     |                                        |            |   |
|-----|-------------|------|----|-----|----------------------------------------|------------|---|
| 18  |             |      |    | 9   |                                        |            |   |
| 17  |             |      |    | 8   |                                        |            |   |
| 16  |             |      |    | 7   |                                        |            |   |
| 15  |             |      |    | 6   |                                        |            |   |
| 14  |             |      |    | 5   |                                        |            |   |
| 13  |             |      |    | 4   |                                        |            |   |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT                      | MAR 31/20  | G |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20  | G |
| 10  |             |      |    | 1   | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | G |
| no. | description | date | by | no. | description                            | date       | h |

|                                                                                                                                                                                                                                                                                                                  |           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                               |           |
| qualification information                                                                                                                                                                                                                                                                                        |           |
| Richard Vink                                                                                                                                                                                                                                                                                                     | 244       |
| name                                                                                                                                                                                                                                                                                                             | signature |
| registration information                                                                                                                                                                                                                                                                                         |           |
| VAS Design Inc.                                                                                                                                                                                                                                                                                                  | 428       |
| Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which will be returned at the completion of the project. Drawings are not to be reused. |           |

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com

 **Greenpark.**

project name muni  
**RUSSELL GARDENS PH. 3** **HAMILTON,**

date sheet  
**JAN. 2020** **OPT. SECOND FLOOR**

drawn by scale  
**M.HUR** **3/16" = 1'-0"**

checked by notes  
**MDZ/aut** **15014 - MD INTA - HASS -**

|                                                                                       |                           |
|---------------------------------------------------------------------------------------|---------------------------|
| <b>MOUNTAINASH 4</b><br>13.5m                                                         |                           |
| project no.<br><b>19014</b>                                                           |                           |
| LAN - ELEV. 3<br>file name<br><b>014-MOUNTAINASH-04</b><br>on - Jan 21 2020 - 6:51 PM | drawing no.<br><b>A4b</b> |

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

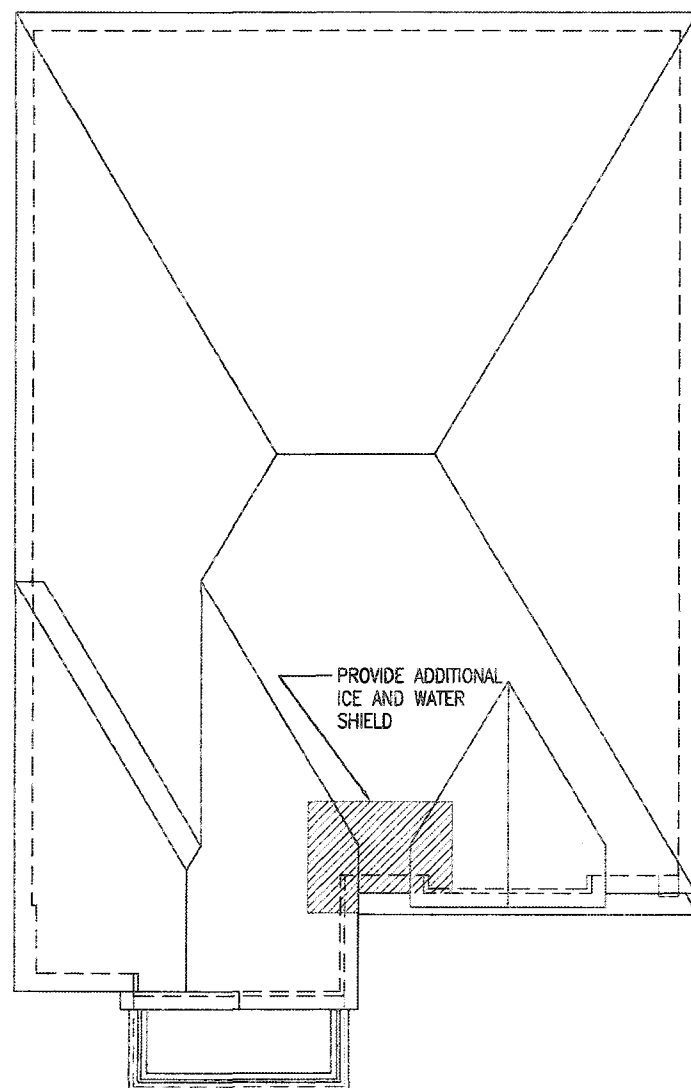
CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

Permit No. 20-187707

These drawings and/or specifications have been reviewed by  
Kenn Smith Dec 16, 2020  
 FOR CHIEF BUILDING OFFICIAL DATE



ROOF PLAN - ELEV. '2'



INSIDE PORTICO  
ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: SEP 21, 2002

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



FRONT ELEVATION - ELEV. '2'

# MOUNTAINASH 4

## COMPLIANCE PACKAGE 'A1'

| 18  |             |      | 9      |                                        |              | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                               |
|-----|-------------|------|--------|----------------------------------------|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 17  |             |      | 8      |                                        |              | qualification information                                                                                                                                                                                                                                                                                        |
| 16  |             |      | 7      |                                        |              | Richard Vink <i>R Vink</i> 24488                                                                                                                                                                                                                                                                                 |
| 15  |             |      | 6      |                                        |              | name registration information BCN                                                                                                                                                                                                                                                                                |
| 14  |             |      | 5      |                                        |              | VAS Design Inc. 42658                                                                                                                                                                                                                                                                                            |
| 13  |             |      | 4      |                                        |              |                                                                                                                                                                                                                                                                                                                  |
| 12  |             |      | 3      | ISSUED FOR PERMIT                      | MAR 31/20 GW |                                                                                                                                                                                                                                                                                                                  |
| 11  |             |      | 2      | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be scaled. |
| 10  |             |      | 1      | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |                                                                                                                                                                                                                                                                                                                  |
| no. | description | date | by no. | description                            | date         | by                                                                                                                                                                                                                                                                                                               |

**VA3 DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
+ 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

**MOUNTAINASH 4**  
13.5m

project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON.** project no.: **1901**

date: **JAN. 2020** drawing title: **FRONT ELEVATION - ELEV. 2**

drawn by: **N.MUR** checked by: **3/16" = 1'-0"** scale: **19014-MOUNTAINASH-04**

A5a

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



3189 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
RECEIVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
RECEIVED TO: \_\_\_\_\_ DATE: \_\_\_\_\_

PARTIAL SIDE  
ELEVATION '1'  
W/ OPT. 2ND FL.  
PLAN (5 BED)

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Kem Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)

PREFIN. MTL. FLASHING, W/  
CAULKING TO MATCH (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER  
HEADER (TYP.)

PRECAST CONC. SILL  
(TYP.)

CONT. PRECAST CONC.  
BAND ON BRICK  
SOLDIER (TYP.)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)

FIN. SECOND FLOOR

1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)

TOP OF WINDOW

2"x8" DIA. COLUMNS ANCHORED  
TO 14"x26" SOLID MASONRY  
PIER (TYP.). PROVIDE SIMPSON  
STRONG-TIE CONNECTOR FOR  
POST-BEAM CONNECTION (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

LEFT SIDE ELEVATION - ELEV. '1'

ALLOWABLE GLAZED OPENINGS 1142.96 sq. ft.  
WALL AREA = 1420 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 80 = 78.40 SQ. FT.  
GLAZING PROVIDED = 65.67 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 68.55 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN  
WALL AREA = 1420 SQ. FT. 1142.96  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 80 = 78.40 SQ. FT.  
GLAZING PROVIDED = 74.23 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 77.11 SQ. FT. (GLASS AREA ONLY)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL DESIGN REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
This stamp certifies compliance with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT                      | MAR 31/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG. & CLIENT COMMENTS.    | MAR 19/20 GW |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488 BCN  
signature  
V3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

V3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

Greenpark.  
project name  
RUSSELL GARDENS PH. 3  
checked by  
JAN. 2020  
scale  
3/16" = 1'-0"

MOUNTAINASH 4  
13.5m  
project no.  
19014  
LEFT SIDE ELEVATION - ELEV. '1'  
19014-MOUNTAINASH-04  
A6

|          |      |
|----------|------|
| REC'D BY | DATE |
| REC'D TO | DATE |

Permit No. 20-187207

These drawings and/or specifications have been reviewed by  
Kenn Smith Dec 16, 208  
FOR CRIP & SONS, INC. DATE

— ASPHALT SHINGLES (TYP.)

— PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

TOP OF PLATE  
U/S OF SOFFT

TOP OF PLATE

TOP OF WINDOW

— STUCCO FINISH (TYP.)

— 20" HIGH DECOR.  
PREMANUF. MTL RAILING  
(TYP.)

— PREFIN. METAL COPING  
ON 4" PRECAST BAND  
(TYP.)

FIN. SECOND FLOOR

SCUPPER

—10" PRECAST CONC.  
HEADER (TYP.)

TOP OF WINDOW

1952 (1953)

—STONE VENEER (TYP.)

FIN. GROUND FLOOR

FIN GRADE

—POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

ALLOWABLE GLAZED OPENINGS 1142.96 sq ft  
WALL AREA = 1125 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 80 = 78.64 SQ. FT.  
GLAZING PROVIDED ✓ = 65.67 SQ. FT. (GLASS AREA ONLY)

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 68.55 SQ. FT. (GLASS AREA ONLY)

|                                                           |   |                                      |
|-----------------------------------------------------------|---|--------------------------------------|
| <u>ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN</u> |   |                                      |
| WALL AREA                                                 | = | 1123 SQ. FT. 1142.96 ft <sup>2</sup> |
| LIMITING DISTANCE                                         | = | 1.2 M (7%)                           |
| GLAZING ALLOWED                                           | = | 80 = 78.64 SQ. FT.                   |
| GLAZING PROVIDED                                          | = | 74.23 SQ. FT. (GLASS AREA ONLY)      |
| <u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>             |   |                                      |
| GLAZING PROVIDED W/ OPT.                                  |   |                                      |
| 30"x24" BASEMENT WINDOWS                                  | = | 77.11 SQ. FT. (GLASS AREA ONLY)      |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

|                          |       |
|--------------------------|-------|
| Richard Vink             | 24488 |
| name                     | BCIN  |
| registration information |       |
| VAS Dastan Inc.          | 42658 |

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
† 416.630.2255 † 416.630.4782  
va3design.com

# Greenpark.

**MOUNTAINASH 4**  
13.5m

|                                                                                                                                                          |                       |               |                               |               |             |      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|---------------|-------------------------------|---------------|-------------|------|
| project name                                                                                                                                             | RUSSELL GARDENS PH. 3 |               | municipality                  | HAMILTON, ON. | project no. | 1901 |
| date                                                                                                                                                     | JAN. 2020             |               | LEFT SIDE ELEVATION - ELEV. 2 |               | drawing no. |      |
| drawn by                                                                                                                                                 | checked by            | scale         | file name                     |               | A6a         |      |
| M.HUR                                                                                                                                                    |                       | 3/16" = 1'-0" | 1901a-MOUNTAINASH-04          |               |             |      |
| <small>           ANNEAL MOUNTAINASH - C:\Users\mhur\OneDrive\1901a-CPCTURB\UNIT\1901a-MOUNTAINASH-04.dwg - Tue, Apr 21, 2020 - 6:51 PM         </small> |                       |               |                               |               |             |      |

All drawings, specifications, related documents and design are the copyright property of V33 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V33 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: SEP 25 1992

This stamp certifies compliance with the applicable  
Design Guidelines, only and does not form  
part of the record drawings.

LEFT SIDE ELEVATION - ELEV. '2'

|    |             |      |    |    |                                        |           |    |
|----|-------------|------|----|----|----------------------------------------|-----------|----|
| 18 |             |      |    | 9  |                                        |           |    |
| 17 |             |      |    | 8  |                                        |           |    |
| 16 |             |      |    | 7  |                                        |           |    |
| 15 |             |      |    | 6  |                                        |           |    |
| 14 |             |      |    | 5  |                                        |           |    |
| 13 |             |      |    | 4  |                                        |           |    |
| 12 |             |      |    | 3  | ISSUED FOR PERMIT                      | MAR 31/20 | GW |
| 11 |             |      |    | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 | GW |
| 10 |             |      |    | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW |
| no | description | date | by | no | description                            | date      | by |

3189 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

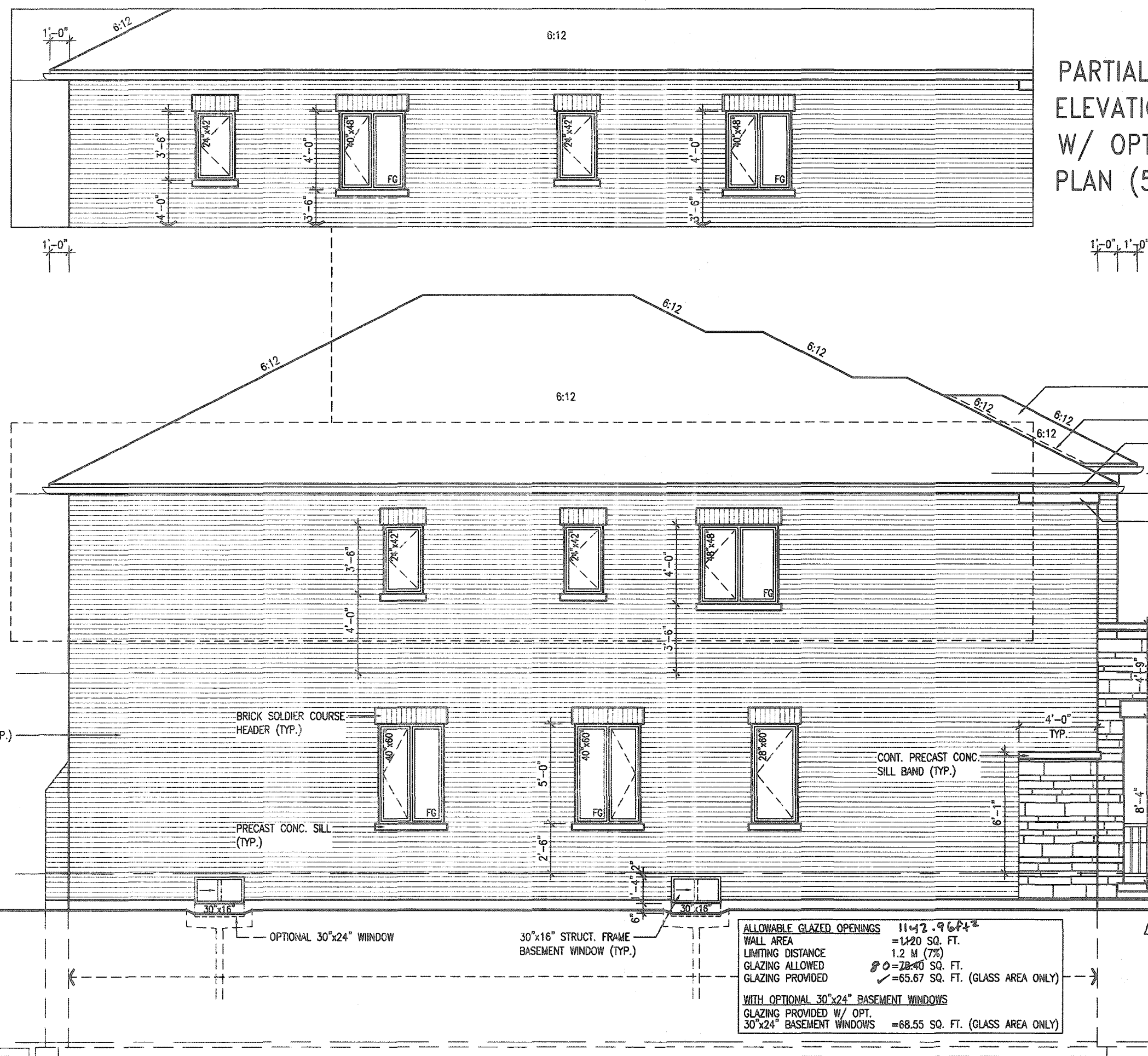
CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICER DATE

PARTIAL SIDE  
ELEVATION '3'  
W/ OPT. 2ND FL.  
PLAN (5 BED)



ASPHALT SHINGLES (TYP.)  
VALLEY FLASHING (TYP.)  
PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)  
TOP OF PLATE  
U/S OF SOFFIT  
TOP OF PLATE  
1"x6" ALUM. CLAD  
FRIEZE BD. (TYP.)  
TOP OF WINDOW  
9'-1"  
7'-6"  
PREFIN. METAL COPING  
(TYP.)  
FIN. SECOND FLOOR  
10" PRECAST CONC.  
HEADER (TYP.)  
TOP OF WINDOW  
10'-1"  
7'-6"  
CONTEMPORARY  
STONE PATTERN  
FIN. GROUND FLOOR  
FIN. GRADE  
8'-6"  
POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)  
TOP OF SLAB  
RAILING AS  
GRADE REQ'D.

LEFT SIDE ELEVATION - ELEV. '3'

ALLOWABLE GLAZED OPENINGS 1142.96 sq. ft.  
WALL AREA = 1420 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 80 = 28.40 SQ. FT.  
GLAZING PROVIDED ✓ = 65.67 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 68.55 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN  
WALL AREA = 1420 SQ. FT. 1142.96  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED 80 = 28.40 SQ. FT.  
GLAZING PROVIDED ✓ = 74.23 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 77.11 SQ. FT. (GLASS AREA ONLY)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
This stamp certifies compliance with the applicable Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

|     |             |      |    |                                        |               |
|-----|-------------|------|----|----------------------------------------|---------------|
| 18  |             |      | 9  |                                        |               |
| 17  |             |      | 8  |                                        |               |
| 16  |             |      | 7  |                                        |               |
| 15  |             |      | 6  |                                        |               |
| 14  |             |      | 5  |                                        |               |
| 13  |             |      | 4  |                                        |               |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | MAR 31/20 GW  |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW  |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN. 28/20 GW |
| no. | description | date | by | no.                                    | description   |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink *[Signature]* 24488  
name  
registration information  
VA3 Design Inc. 42658

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
HAMILTON, ON.  
date  
JAN. 2020  
drawn by  
N.HUR  
checked by  
3/16" = 1'-0"

**MOUNTAINASH 4**  
13.5m  
project no.  
19014  
drawing no.  
A6b  
19014-MOUNTAINASH-04  
19014-MOUNTAINASH-04.dwg - Thu - Jul 2 2020 - 6:51 PM



All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

NOV 15 2020

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. **20-187707**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL DATE

3189 SF.

PARTIAL SIDE  
ELEVATION '3'  
W/ OPT. 2ND FL.  
PLAN (5 BED)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

4" PREFIN. MTL.  
CAPPED PARAPET (TYP.)

TOP OF PLATE  
U/S OF SOFFIT

6" ALUM. CLAD  
TRIM

APPLIED STUCCO FINISH W/  
REVEALS AS SHOWN

SCUPPER

RAILING AS  
GRADE REQ'D.

STEPPED FOOTING

FLUSH STL. BEAM  
LOCATION

WOOD GRAIN STUCCO  
FINISH (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONTEMPORARY  
STONE PATTERN

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

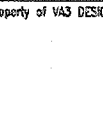
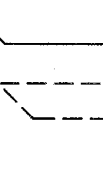
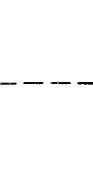
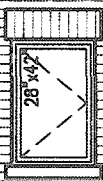
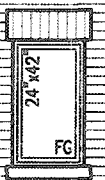
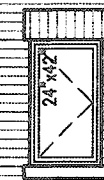
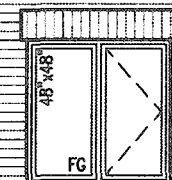
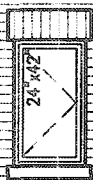
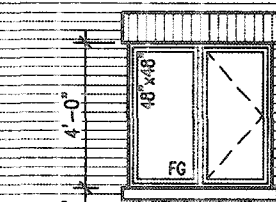
CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)

CONT. PRECAST CONC.  
SILL BAND (TYP.)



ALLOWABLE GLAZED OPENINGS  $1000 \pm$   
WALL AREA = 980 SQ. FT.  
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED  $70 = 68.80$  SQ. FT.  
GLAZING PROVIDED = 43.06 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 44.50 SQ. FT. (GLASS AREA ONLY)

ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN  
WALL AREA = 980 SQ. FT.  $1000 \pm$   
LIMITING DISTANCE 1.2 M (7%)  
GLAZING ALLOWED  $70 = 68.80$  SQ. FT.  
GLAZING PROVIDED = 27.22 SQ. FT. (GLASS AREA ONLY)  
WITH OPTIONAL 30"x24" BASEMENT WINDOWS  
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 28.66 SQ. FT. (GLASS AREA ONLY)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

FACE BRICK (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

30"x16" STRUCT. FRAME  
BASEMENT WINDOW (TYP.)

OPTIONAL 30"x24" WINDOW

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

RIGHT SIDE ELEVATION - ELEV. '3'

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS, P. ENG., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 23, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | MAR 31/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |
| no. | description | date | by | no.                                    | description  |

|                                                                                                                                                                                    |                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |                    |
| qualification information                                                                                                                                                          |                    |
| Richard Vink                                                                                                                                                                       | 24488              |
| name                                                                                                                                                                               | BCIN               |
| registration information                                                                                                                                                           |                    |
| VAS Design Inc.                                                                                                                                                                    | 42658              |
| name                                                                                                                                                                               |                    |
| signature                                                                                                                                                                          | <i>[Signature]</i> |
| date                                                                                                                                                                               |                    |

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 1.416.630.4782  
vasdesign.com

**Greenpark.**  
project name  
**RUSSELL GARDENS PH. 3**  
municipality  
**HAMILTON, ON.**  
date  
**JAN. 2020**  
drawn by  
**N.HUR**  
checked by  
**3/16" = 1'-0"**  
scale  
**19014-MOUNTAINASH-04**  
drawing no.  
**A7b**

**MOUNTAINASH 4**  
13.5m  
project no.  
**19014**  
drawing no.  
**A7b**



3189 SF.

PARTIAL REAR  
ELEVATION '1'  
W/ OPT. 2ND FL.  
PLAN (5 BED)



CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICER DATE



REAR ELEVATION - ELEV. '1'

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

|     |             |      |                                        |            |             |
|-----|-------------|------|----------------------------------------|------------|-------------|
| 18  |             | 9    |                                        |            |             |
| 17  |             | 8    |                                        |            |             |
| 16  |             | 7    |                                        |            |             |
| 15  |             | 6    |                                        |            |             |
| 14  |             | 5    |                                        |            |             |
| 13  |             | 4    |                                        |            |             |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | MAR 31/20  | GW          |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20  | GW          |
| 10  |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | GW          |
| no. | description | date | by                                     | no.        | description |

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
municipality  
HAMILTON, ON.  
date  
JAN. 2020  
drawn by  
N.HUR  
checked by  
3/16" = 1'-0"  
19014-MOUNTAINASH-04

MOUNTAINASH 4  
13.5m  
project no.  
19014  
drawing no.  
A8

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3189 SF.

PARTIAL REAR  
ELEVATION '2'  
W/ OPT. 2ND FL.  
PLAN (5 BED)



CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE  
HEADER (TYP.)

PRECAST CONC. SILL  
(TYP.)

FACE BRICK CAP  
W/ FLASHING  
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

REAR ELEVATION - ELEV. '2'

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site-noting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 22, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

|     |             |      |                                        |           |             |
|-----|-------------|------|----------------------------------------|-----------|-------------|
| 18  |             | 9    |                                        |           |             |
| 17  |             | 8    |                                        |           |             |
| 16  |             | 7    |                                        |           |             |
| 15  |             | 6    |                                        |           |             |
| 14  |             | 5    |                                        |           |             |
| 13  |             | 4    |                                        |           |             |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | MAR 31/20 | GW          |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 | GW          |
| 10  |             | 1    | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW          |
| no. | description | date | by                                     | no.       | description |

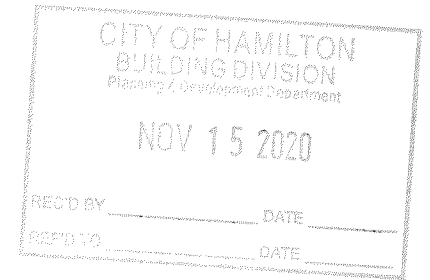
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
Vink  
Vink Design Inc. 42658  
BCIN  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
municipality  
HAMILTON, ON.  
date  
JAN. 2020  
drawn by  
N.HUR  
checked by  
3/16" = 1'-0"  
19014-MOUNTAINASH-04  
APPROVED BY: *[Signature]*  
DATE: APR 21 2020 - 6:51 PM

**MOUNTAINASH 4**  
13.5m  
project no.  
19014  
drawing no.  
A8a

PARTIAL REAR  
ELEVATION '3'  
W/ OPT. 2ND FL.  
PLAN (5 BED)



Permit No. 20-187707

These drawings and specifications have been reviewed by  
*Kenn Smith* Dec 16, 2020  
 FOR CHIEF ENGINEER DATE

TOP OF PLATE

TOP OF WINDOW

9-1<sup>n</sup>

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

REAR ELEVATION - ELEV. '3'

**MOUNTAINASH 4**  
**COMPLIANCE PACKAGE 'A1'**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY \_\_\_\_\_  
DATE SEP 21, 2000

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

|                                                                                                                                                                                    |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|------|----|----------------------------------------------------|-------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| 18                                                                                                                                                                                 |             |      | 9  |                                                    |             | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |    |
| 17                                                                                                                                                                                 |             |      | 8  |                                                    |             |                                                                                                                                                                                    |    |
| 16                                                                                                                                                                                 |             |      | 7  |                                                    |             |                                                                                                                                                                                    |    |
| 15                                                                                                                                                                                 |             |      | 6  |                                                    |             |                                                                                                                                                                                    |    |
| 14                                                                                                                                                                                 |             |      | 5  |                                                    |             |                                                                                                                                                                                    |    |
| 13                                                                                                                                                                                 |             |      | 4  |                                                    |             |                                                                                                                                                                                    |    |
| 12                                                                                                                                                                                 |             |      | 3  | ISSUED FOR PERMIT.                                 | MAR 31/20   | GW                                                                                                                                                                                 |    |
| 11                                                                                                                                                                                 |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.                 | MAR 19/20   | GW                                                                                                                                                                                 |    |
| 10                                                                                                                                                                                 |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW.             | JAN 28/20   | GW                                                                                                                                                                                 |    |
| no.                                                                                                                                                                                | description | date | by | no.                                                | description | date                                                                                                                                                                               | by |
|                                                                                                                                                                                    |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
| The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
| Richard Vink<br><i>R Vink</i><br>signature<br>BCIN 24488<br>qualification information<br>VA3 Design Inc.<br>expirations information 42658                                          |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
| <b>VA3 DESIGN</b>                                                                                                                                                                  |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
| 255 Consumers Rd Suite 120<br>Toronto ON M2J 1P4<br>t 416.630.2255 / 416.630.4782<br>va3design.com                                                                                 |             |      |    |                                                    |             |                                                                                                                                                                                    |    |
| <b>Greenpark.</b>                                                                                                                                                                  |             |      |    | <b>MOUNTAINASH 4</b><br>13.5m                      |             |                                                                                                                                                                                    |    |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                                                                                       |             |      |    | municipality<br><b>HAMILTON, ON.</b>               |             | project no.<br><b>19014</b>                                                                                                                                                        |    |
| date<br><b>JAN. 2020</b>                                                                                                                                                           |             |      |    | drawing title<br><b>REAR ELEVATION - ELEV. 3</b>   |             |                                                                                                                                                                                    |    |
| drawn by<br><b>M.HURZ</b>                                                                                                                                                          |             |      |    | checked by<br><b>scale</b><br><b>3/16" = 1'-0"</b> |             | (file name)<br><b>19014-MOUNTAINASH-04</b>                                                                                                                                         |    |
| ALNAC W/AMT/MT - P:\Users\mohd\Documents\19014-GREENPARK\19014-MOUNTAINASH-04.dwg - Tue 4 Apr 21 2020 - 5:51 PM                                                                    |             |      |    |                                                    |             |                                                                                                                                                                                    |    |

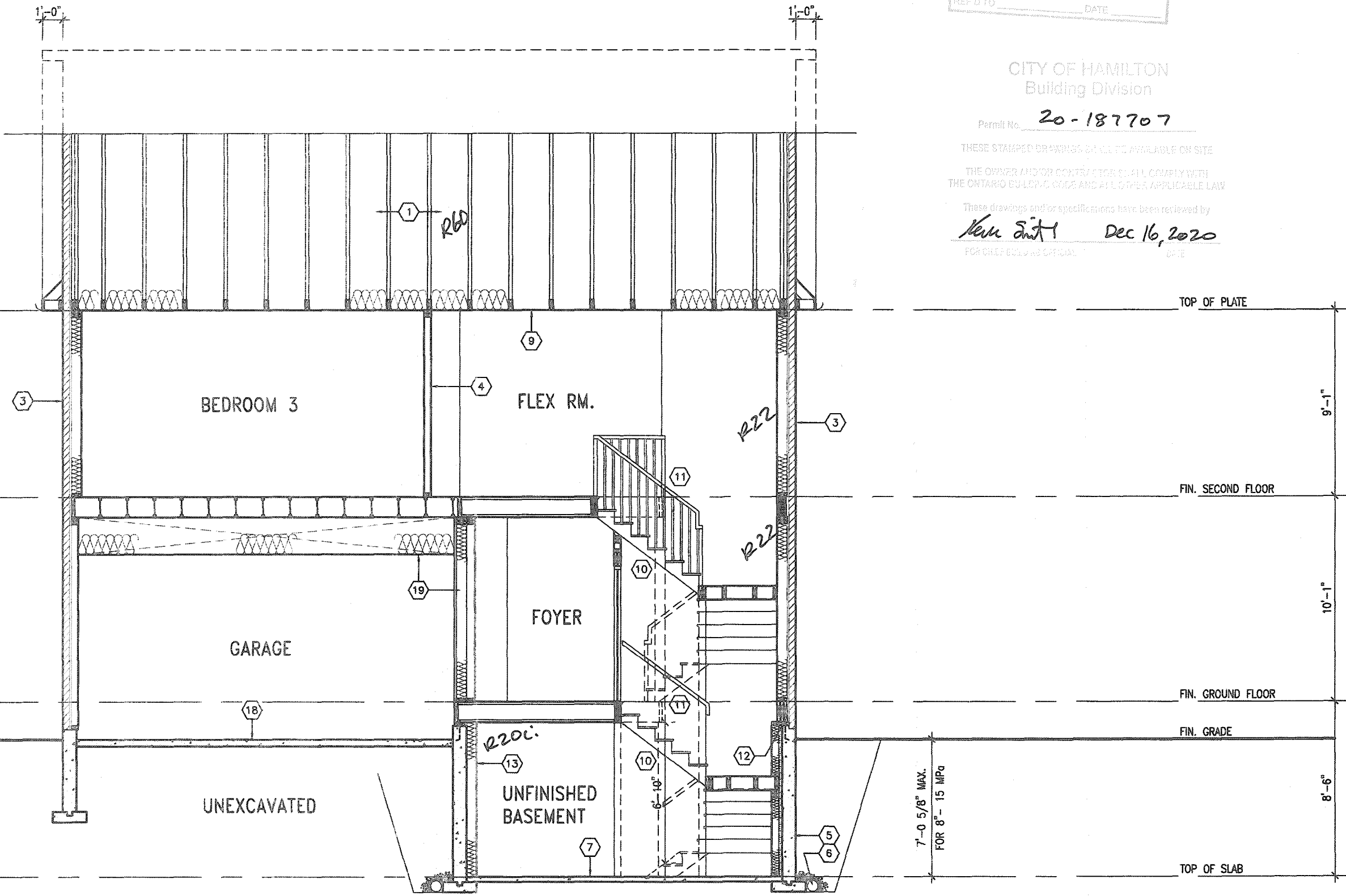
All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



3189 SF.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division  
Permit No. **20-187707**  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL DATE



CROSS SECTION A-A - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | MAR 31/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
BOIN  
registration information  
VAS Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
vasdesign.com

|                                              |                                      |                               |                          |
|----------------------------------------------|--------------------------------------|-------------------------------|--------------------------|
| <b>Greenpark.</b>                            |                                      | <b>MOUNTAINASH 4</b><br>13.5m |                          |
| project name<br><b>RUSSELL GARDENS PH. 3</b> | municipality<br><b>HAMILTON, ON.</b> | project no.<br><b>19014</b>   | drawing no.<br><b>A9</b> |
| date<br><b>JAN. 2020</b>                     |                                      |                               |                          |
| crossed by<br><b>3/16" = 1'-0"</b>           |                                      |                               |                          |
| drawing no.<br><b>19014-MOUNTAINASH-04</b>   |                                      |                               |                          |
| date<br><b>Apr 21, 2020 - 6:51 PM</b>        |                                      |                               |                          |

3189 SF.



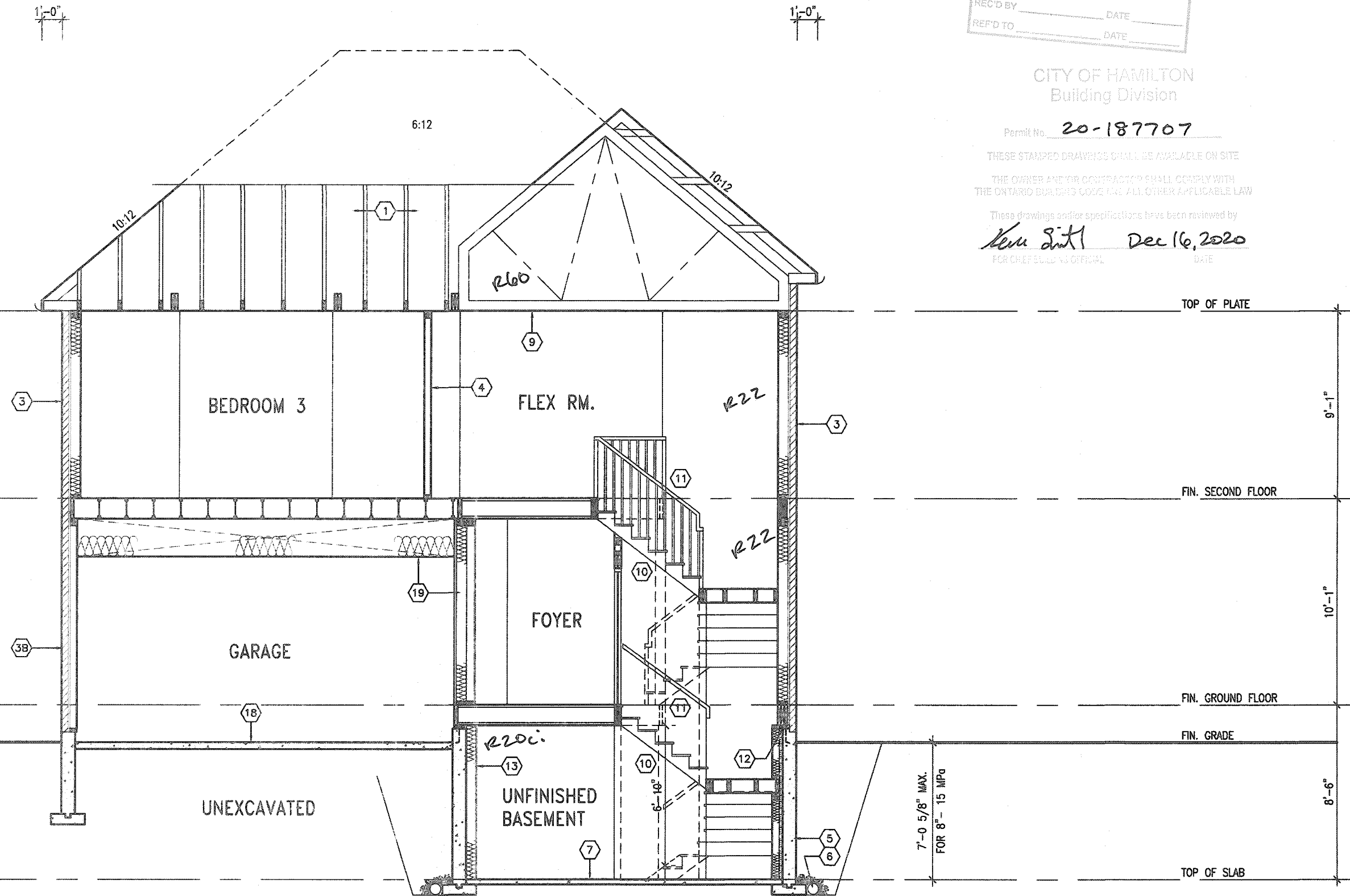
CITY OF HAMILTON  
Building Division

Permit No. **20-187707**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

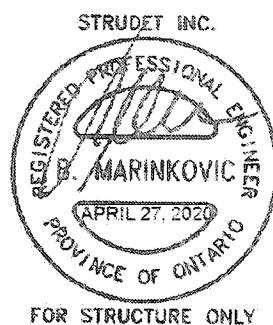
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Ken Smith* Dec 16, 2020  
FOR CHIEF ENGINEER OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



CROSS SECTION A-A - ELEV. '2'

# MOUNTAINASH 4 COMPLIANCE PACKAGE 'A1'

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT.                     | MAR 31/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW |
| 10  |             |      | 1  | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |
| no. | description | date | by | no.                                    | description  |

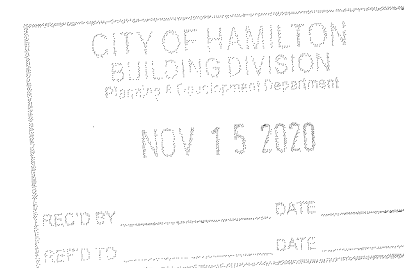
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
RUSSELL GARDENS PH. 3  
date  
JAN. 2020  
drawn by  
N.HUR  
checked by  
3/16" = 1'-0"  
municipality  
HAMILTON, ON.

**MOUNTAINASH 4**  
13.5m  
project no.  
19014  
drawing no.  
A9a  
CROSS SECTION A-A - ELEV. 2  
19014-MOUNTAINASH-04  
JAN 21 2020 6:31 PM

3189 SF.



CITY OF HAMILTON  
Building Division

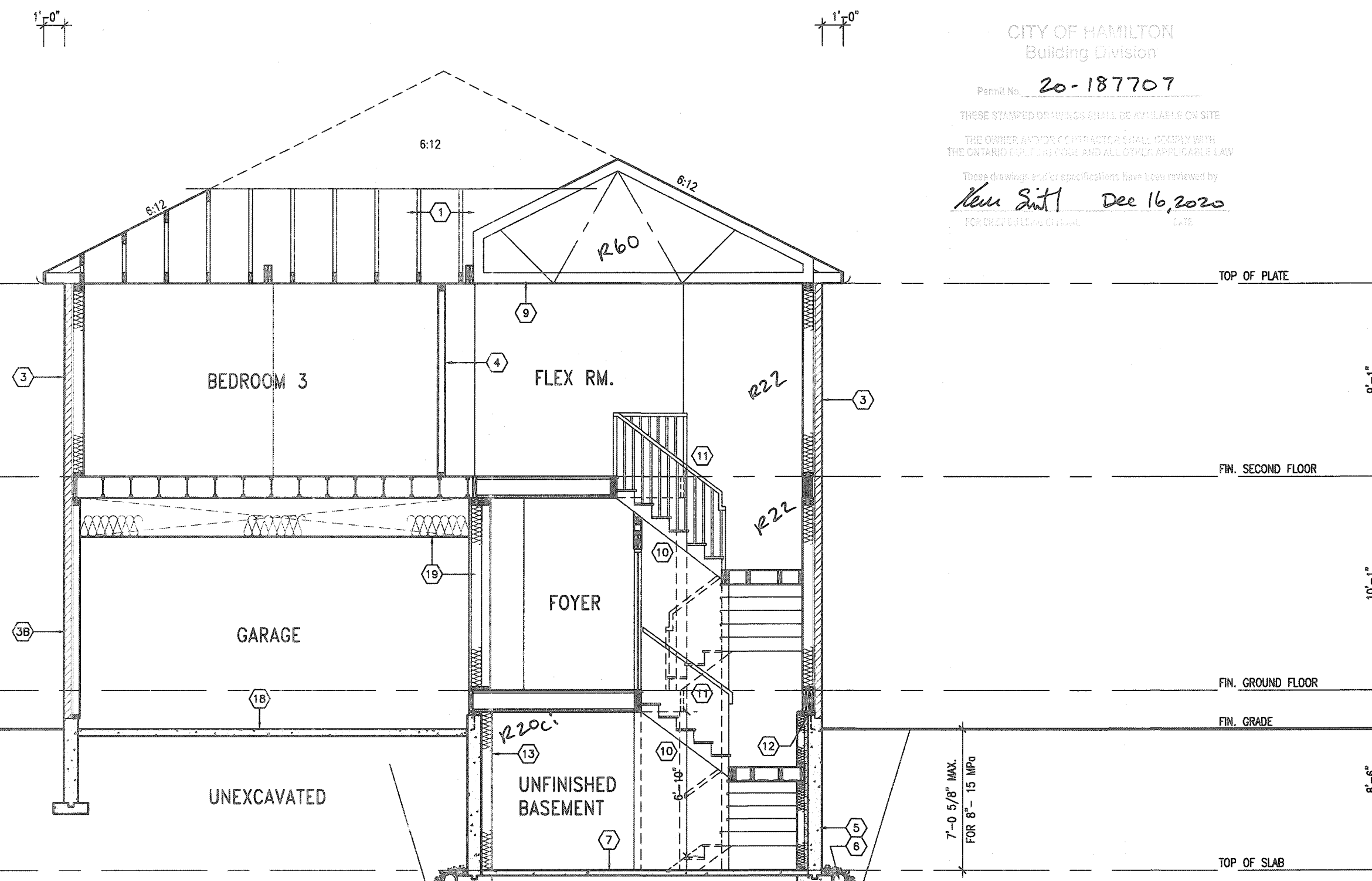
Permit No. **20-187707**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

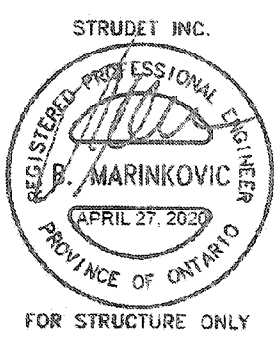
*Ken Smith* Dec 16, 2020  
FOR CHIEF ENGINEER/ARCHITECT



CROSS SECTION A-A - ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



FOR STRUCTURE ONLY

|     |             |      |                                        |            |             |
|-----|-------------|------|----------------------------------------|------------|-------------|
| 18  |             | 9    |                                        |            |             |
| 17  |             | 8    |                                        |            |             |
| 16  |             | 7    |                                        |            |             |
| 15  |             | 6    |                                        |            |             |
| 14  |             | 5    |                                        |            |             |
| 13  |             | 4    |                                        |            |             |
| 12  |             | 3    | ISSUED FOR PERMIT                      | MAR 31/20  | GW          |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20  | GW          |
| 10  |             | 1    | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | GW          |
| no. | description | date | by                                     | no.        | description |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
**RUSSELL GARDENS PH. 3**  
drawn by  
JAN. 2020  
checked by  
N.HUR  
scale  
3/16" = 1'-0"

**MOUNTAINASH 4**  
13.5m  
project no.  
19014  
drawing no.  
**A9b**  
CROSS SECTION A-A - ELEV. 3  
19014-MOUNTAINASH-04  
DATE: 21/2020 - 6:51 PM



3189 SF.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:  
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENUEER CUT  
WHEN VENUEER CUT IS GREATER THAN 26" A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS  
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION  
(TYP) (13)  
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

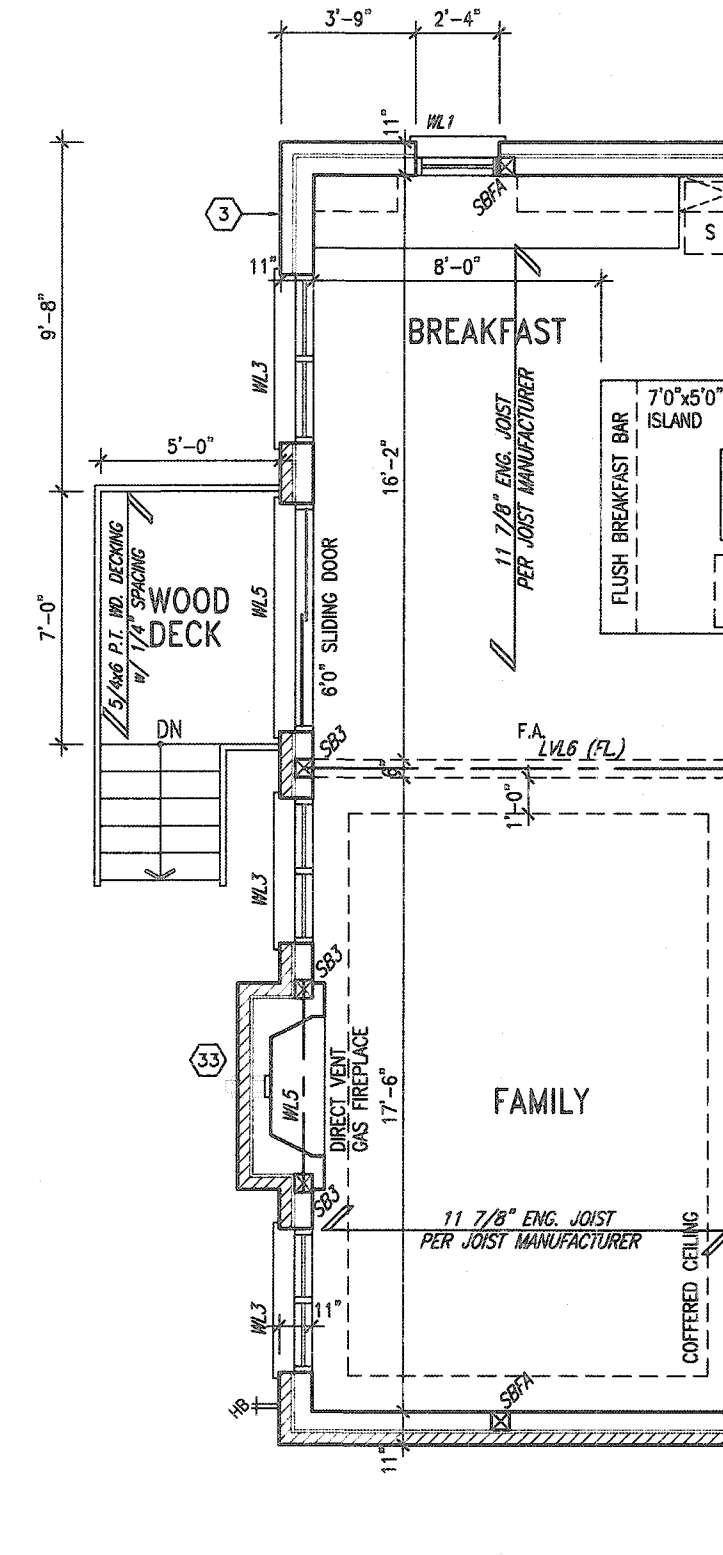
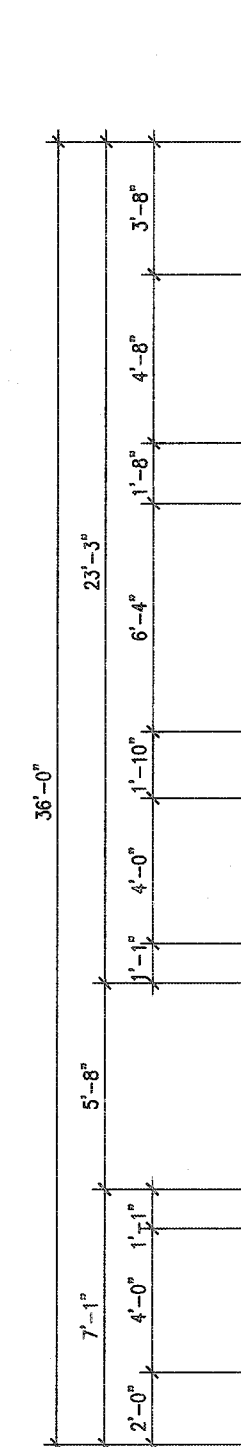
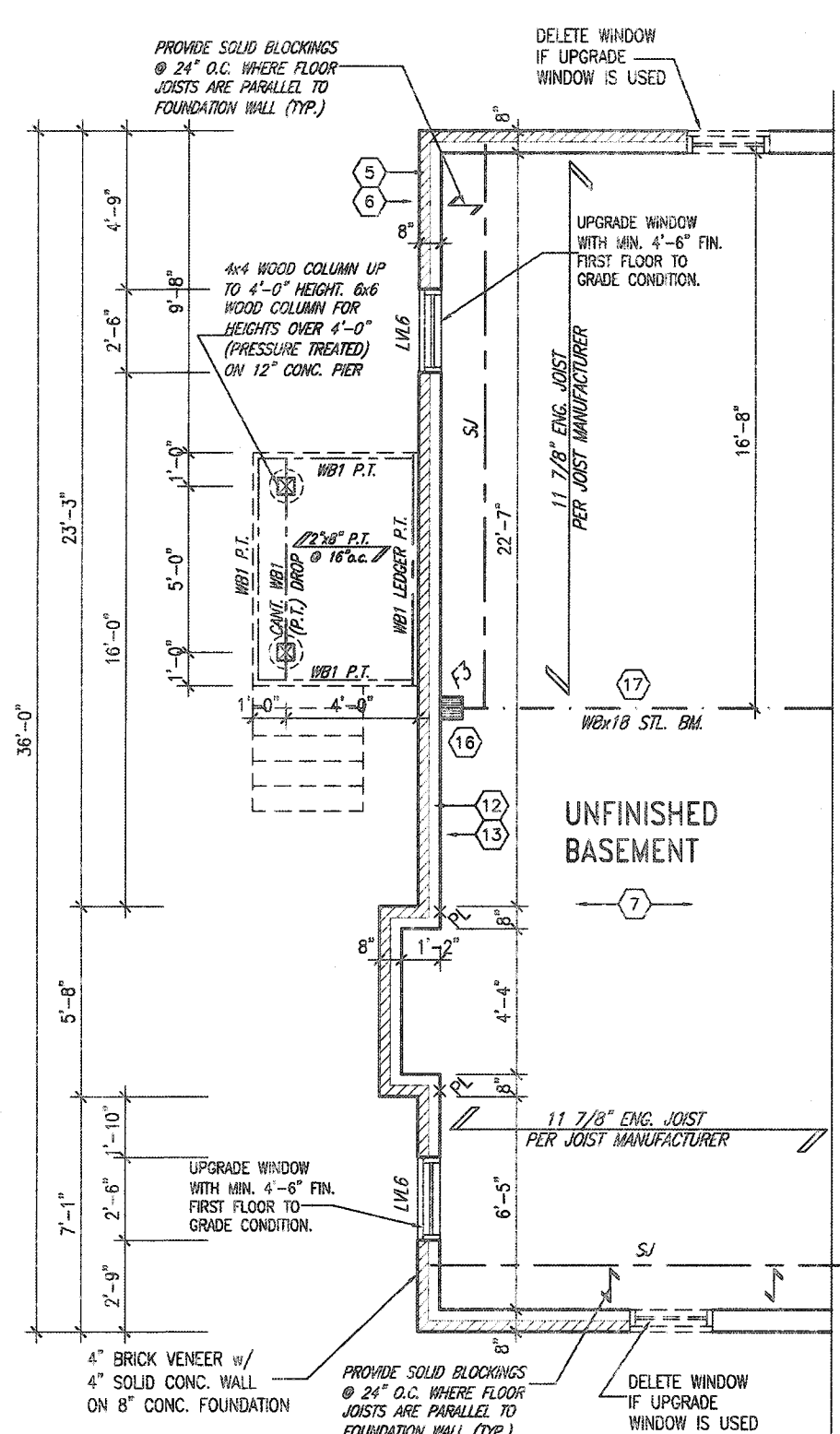
BASEMENT INSULATION AT STAIR/SUNKEN AREAS  
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).  
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH  
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: SEP 27, 2020  
This stamp certifies compliance with the applicable Design Guidelines and does not constitute a professional responsibility.

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
APRIL 27, 2020  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY



CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
REC'D BY: [Signature] DATE: [Blank]  
REF: [Blank] DATE: [Blank]

CITY OF HAMILTON  
Building Division  
Permit No. 20-187207  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO ZONING BY-LAW AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
[Signature] Dec 16, 2020  
FOR CHIEF BUILDING OFFICER DATE

PARTIAL BASEMENT PLAN - DECK NOT REQUIRED  
PARTIAL GROUND FLOOR PLAN  
DECK CONDITION

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

|     |             |      |    |     |                                        |            |    |  |  |
|-----|-------------|------|----|-----|----------------------------------------|------------|----|--|--|
| 18  |             |      |    | 9   |                                        |            |    |  |  |
| 17  |             |      |    | 8   |                                        |            |    |  |  |
| 16  |             |      |    | 7   |                                        |            |    |  |  |
| 15  |             |      |    | 6   |                                        |            |    |  |  |
| 14  |             |      |    | 5   |                                        |            |    |  |  |
| 13  |             |      |    | 4   |                                        |            |    |  |  |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT.                     | MAR 31/20  | GW |  |  |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20  | GW |  |  |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 | GW |  |  |
| no. | description | date | by | no. | description                            | date       | by |  |  |

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488 BCN  
name registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark.  
MOUNTAINASH 4  
13.5m  
project name  
RUSSELL GARDENS PH. 3  
HAMILTON, ON.  
project no.  
19014  
drawing no.  
A10  
date  
JAN. 2020  
PARTIAL PLANS - DECK CONDITION  
drawn by  
checked by  
scale  
3/16" = 1'-0"  
file name  
19014-MOUNTAINASH-04  
date  
JAN 21 2020 - 6:51 PM

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3189 SF.

PARTIAL REAR  
ELEVATION '1'  
W/ OPT. 2ND FL.  
PLAN (5 BED)

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 15 2020  
RECD BY: DATE:  
REF: OF: DATE:

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by  
*Karen Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-6" FIN. FIRST FLOOR TO  
GRADE CONDITION.

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT. 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

EXTERIOR RAILINGS:  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

DECK NOT REQUIRED  
REAR ELEVATION '1'-  
DECK CONDITION  
ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: *[Date]*  
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

|     |             |      |    |                                        |               |
|-----|-------------|------|----|----------------------------------------|---------------|
| 18  |             |      | 9  |                                        |               |
| 17  |             |      | 8  |                                        |               |
| 16  |             |      | 7  |                                        |               |
| 15  |             |      | 6  |                                        |               |
| 14  |             |      | 5  |                                        |               |
| 13  |             |      | 4  |                                        |               |
| 12  |             |      | 3  | ISSUED FOR PERMIT                      | MAR 31/20 GW  |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 GW  |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN. 28/20 GW |
| 9   |             |      |    |                                        |               |
| 8   |             |      |    |                                        |               |
| 7   |             |      |    |                                        |               |
| 6   |             |      |    |                                        |               |
| 5   |             |      |    |                                        |               |
| 4   |             |      |    |                                        |               |
| 3   |             |      |    |                                        |               |
| 2   |             |      |    |                                        |               |
| 1   |             |      |    |                                        |               |
| no. | description | date | by | no.                                    | description   |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
signature  
name registration information  
VA3 Design Inc. 42656

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.** MOUNTAINASH 4  
13.5m  
project name  
RUSSELL GARDENS PH. 3 HAMILTON, ON. project no.  
19014  
date  
JAN. 2020 REAR ELEV. 1- DECK CONDITION drawing no.  
drawn by  
N.HUR 3/16" = 1'-0" 19014-MOUNTAINASH-04  
checked by  
A:\MVF\MTAINASH - C:\Users\amur\OneDrive\19014-MOUNTAINASH-04.dwg - Tue - Apr 21 2020 - 6:51 PM  
A11

3189 SF.

PARTIAL REAR  
ELEVATION '2'  
W/ OPT. 2ND FL.  
PLAN (5 BED)

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Permit Department  
NOV 15 2020  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. 20-187707

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

*Ken Smith* Dec 16, 2020  
FOR CHIEF BUILDING OFFICER DATE

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE  
HEADER (TYP.)

PRECAST CONC. SILL  
(TYP.)

FACE BRICK CAP  
W/ FLASHING  
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-6" FIN. FIRST FLOOR TO  
GRADE CONDITION.

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT. 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

EXTERIOR RAILINGS:  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

REAR ELEVATION '2'-  
DECK CONDITION

DECK NOT REQUIRED

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter of this any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: SEP 21, 2020  
The owner certifies compliance with the applicable  
Design Guidelines and any other applicable  
professional responsibility.

|    |             |      |                                        |           |             |
|----|-------------|------|----------------------------------------|-----------|-------------|
| 18 |             | 9    |                                        |           |             |
| 17 |             | 5    |                                        |           |             |
| 16 |             | 7    |                                        |           |             |
| 15 |             | 6    |                                        |           |             |
| 14 |             | 5    |                                        |           |             |
| 13 |             | 4    |                                        |           |             |
| 12 |             | 3    | ISSUED FOR PERMIT.                     | MAR 31/20 | GW          |
| 11 |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 | GW          |
| 10 |             | 1    | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW          |
| no | description | date | by                                     | no        | description |

The undersigned has reviewed and taken responsibility for this design  
and has the qualifications and meets the requirements set out in the  
Ontario Building Code to be a Designer.  
qualification information  
Richard Vink *[Signature]* 24488  
BCIN  
registration information  
VAS Design Inc. 42658  
Contractor must verify all dimensions on the job and report any  
discrepancy to the Designer before proceeding with the work. All  
drawings and specifications are instruments of service and the property  
of the Designer which must be returned at the completion of the work.  
Drawings are not to be scaled.

VAS  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
vo3design.com

Greenpark.  
project name  
RUSSELL GARDENS PH. 3  
municipality  
HAMILTON, ON.  
date  
JAN. 2020  
drawn by  
N.HUR  
checked by  
3/16" = 1'-0"  
19014-MOUNTAINASH-04

MOUNTAINASH 4  
13.5m  
project no.  
19014  
drawing no.  
A11a



3189 SF.

PARTIAL REAR  
ELEVATION '3'  
W/ OPT. 2ND FL.  
PLAN (5 BED)

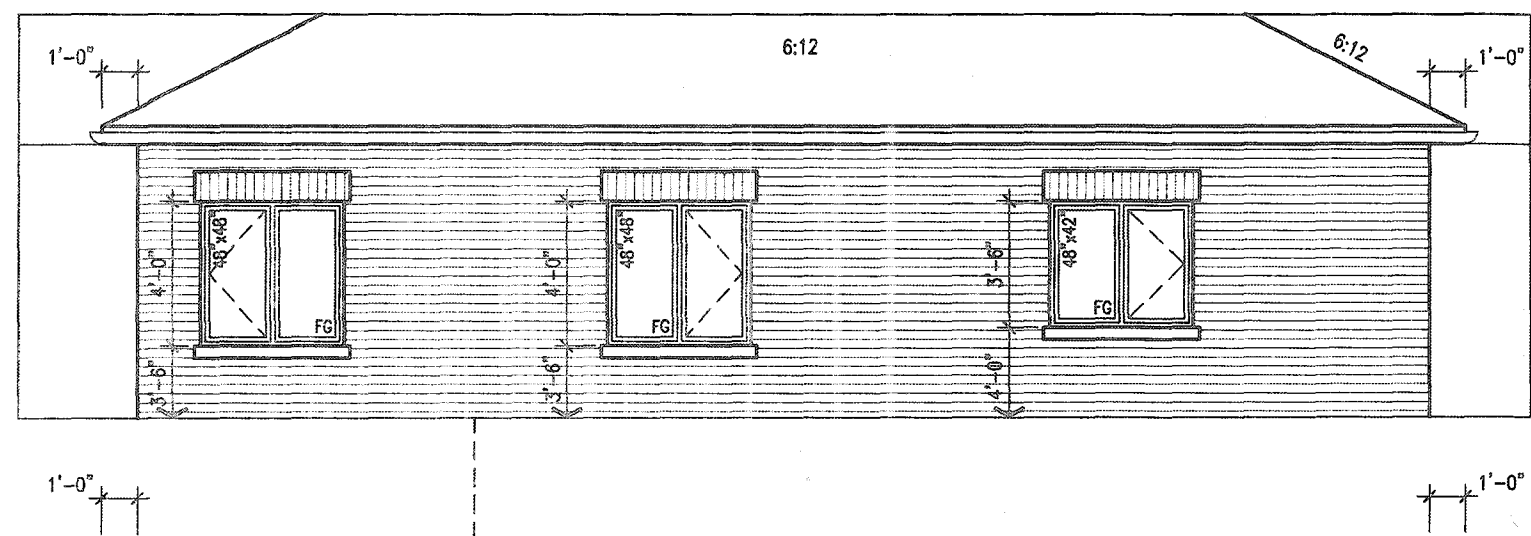


CITY OF HAMILTON  
Building Division

Permit No. **26-187707**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Kent Smith* **Dec 16, 2020**  
FOR CHIEF BUILDING OFFICER DATE



ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,  
FASCIA, GUTTER &  
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE  
HEADER (TYP.)

PRECAST CONC. SILL  
(TYP.)

FACE BRICK CAP  
W/ FLASHING  
FULL DEPTH

FACE BRICK (TYP.)

POURED CONC. FOUNDATION  
WALLS & FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADE BASEMENT WINDOWS  
ON REAR WALL WITH MIN.  
4'-6" FIN. FIRST FLOOR TO  
GRADE CONDITION.

4x4 WOOD COLUMN UP TO  
4'-0" HEIGHT. 6x6 WOOD  
COLUMN FOR HEIGHTS OVER  
4'-0" (PRESSURE TREATED)  
ON 12" CONC. PIER

**EXTERIOR RAILINGS:**  
3'-6" HIGH RAILING IF LANDING IS MORE  
THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN LANDING  
IS LESS THAN 5'-11" ABOVE ADJACENT  
FINISHED GRADE.

DECK NOT REQUIRED

REAR ELEVATION '3'-  
DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **SEP 21 2020**  
This stamp certifies compliance with the applicable  
Design Guidelines only and does not constitute  
architectural responsibility.

|     |             |      |                                        |           |             |
|-----|-------------|------|----------------------------------------|-----------|-------------|
| 18  |             | 9    |                                        |           |             |
| 17  |             | 8    |                                        |           |             |
| 16  |             | 7    |                                        |           |             |
| 15  |             | 6    |                                        |           |             |
| 14  |             | 5    |                                        |           |             |
| 13  |             | 4    |                                        |           |             |
| 12  |             | 3    | ISSUED FOR PERMIT.                     | MAR 31/20 | GW          |
| 11  |             | 2    | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 19/20 | GW          |
| 10  |             | 1    | PRELIMINARY. ISSUED FOR CLIENT REVIEW. | JAN 28/20 | GW          |
| no. | description | date | by                                     | no.       | description |

The undersigned has reviewed and takes responsibility for this design  
and has the qualifications and made the requirements set out in the  
Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
signature  
same  
registration information  
VAS Design Inc. 42656  
Contractor must verify all dimensions on the job and report any  
discrepancy to the Designer before proceeding with the work. All  
drawings and specifications are instruments of service and the property  
of the Designer which must be returned at the completion of the work.  
Drawings are not to be scaled.

**VAS  
DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

project name  
**RUSSELL GARDENS PH. 3**

drawn by  
**N.HUR**

checked by  
**3/15" = 1'-0"**

date  
**JAN. 2020**

REAR ELEV. 3- DECK CONDITION

19014-MOUNTAINASH-04

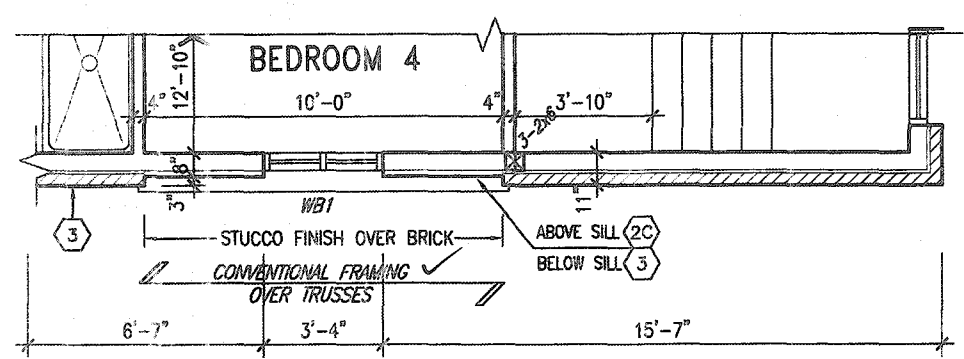
**A11b**

**MOUNTAINASH 4**  
13.5m

project no.  
**19014**

drawing no.

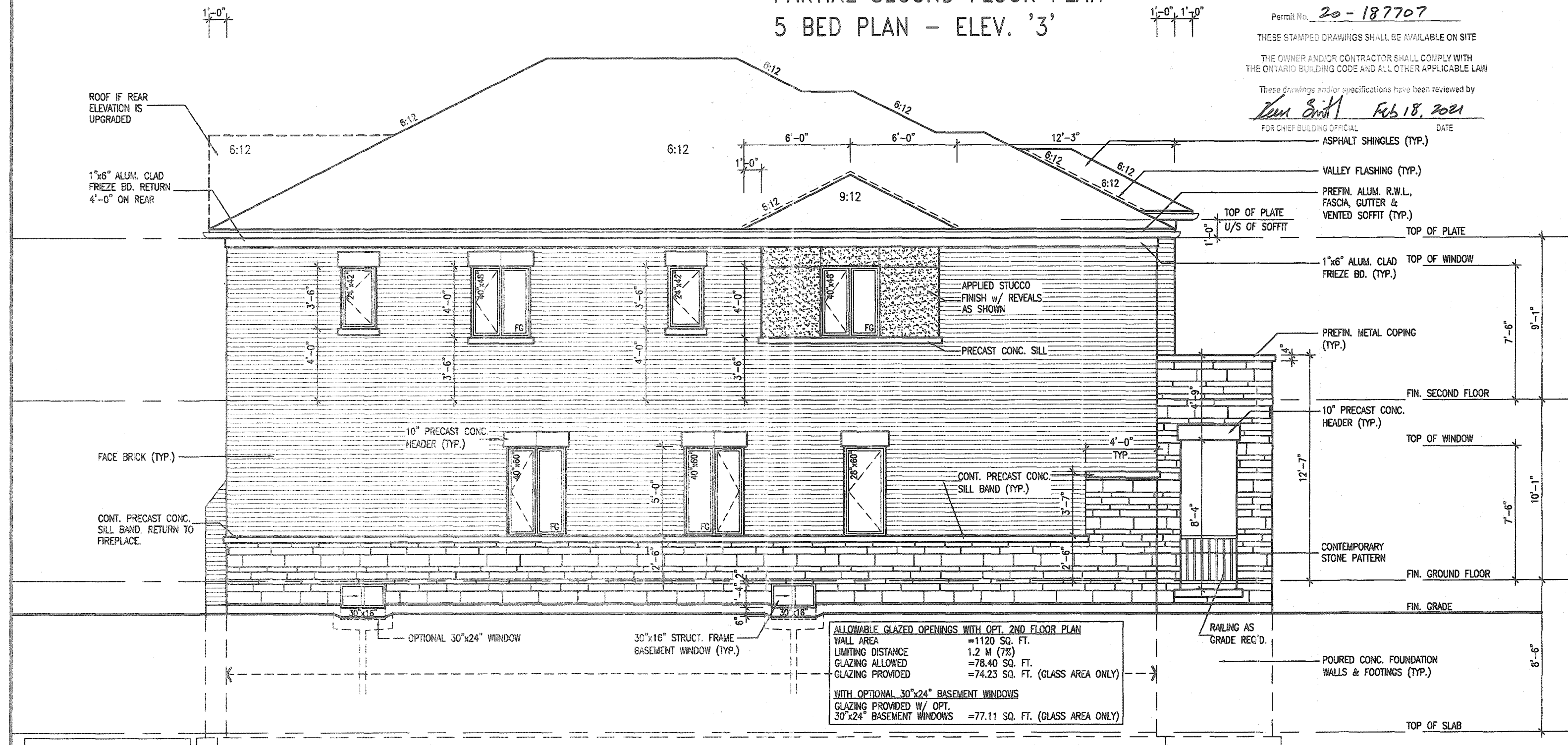
3189 SF.



CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 05 2021  
REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REF'D TO: \_\_\_\_\_ DATE: \_\_\_\_\_

PARTIAL SECOND FLOOR PLAN  
5 BED PLAN - ELEV. '3'

CITY OF HAMILTON  
Building Division  
Permit No. **20-187707**  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
**Ken Smith** Feb 18, 2021  
FOR CHIEF BUILDING OFFICIAL DATE



| ALLOWABLE GLAZED OPENINGS WITH OPT. 2ND FLOOR PLAN |                                  |
|----------------------------------------------------|----------------------------------|
| WALL AREA                                          | =1120 SQ. FT.                    |
| LIMITING DISTANCE                                  | 1.2 M (7%)                       |
| GLAZING ALLOWED                                    | =78.40 SQ. FT.                   |
| GLAZING PROVIDED                                   | =74.23 SQ. FT. (GLASS AREA ONLY) |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS             |                                  |
| GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS  | =77.11 SQ. FT. (GLASS AREA ONLY) |

UPGRADED LEFT SIDE ELEVATION - 1794 315 lots  
ELEV. '3' (5 BED PLAN)

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: **02/22/2021**  
The stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

| no. | description | date | by | no. | description                           | date       | by |
|-----|-------------|------|----|-----|---------------------------------------|------------|----|
| 18  |             |      |    | 8   |                                       |            |    |
| 17  |             |      |    | 9   |                                       |            |    |
| 16  |             |      |    | 7   |                                       |            |    |
| 15  |             |      |    | 6   |                                       |            |    |
| 14  |             |      |    | 5   |                                       |            |    |
| 13  |             |      |    | 4   |                                       |            |    |
| 12  |             |      |    | 3   | ISSUED FOR PERMIT                     | MAR 31/20  | GW |
| 11  |             |      |    | 2   | UPDATED PER ENG & CLIENT COMMENTS     | MAR 13/20  | GW |
| 10  |             |      |    | 1   | PRELIMINARY, ISSUED FOR CLIENT REVIEW | JAN. 28/20 | GW |

The undersigned has reviewed and takes responsibility for this design and has the conditions and meets the requirements set out in the Ontario Building Code to be a Designer.  
certification information  
**Richard Vink** 24488  
signature  
name  
registration information  
VA3 Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

|                                                                                                                            |                                      |
|----------------------------------------------------------------------------------------------------------------------------|--------------------------------------|
|                                                                                                                            | <b>MOUNTAINASH 4</b><br>13.5m        |
| project name<br><b>RUSSELL GARDENS PH. 3</b>                                                                               | municipality<br><b>HAMILTON, ON.</b> |
| date<br><b>JAN. 2020</b>                                                                                                   | project no.<br><b>19014</b>          |
| drawn by<br><b>N.HUR</b>                                                                                                   | drawing no.<br><b>A12b</b>           |
| checked by<br><b>3/16" = 1'-0"</b>                                                                                         | 19014-MOUNTAINASH-04                 |
| CREG - H:\ARCHIVE\WORKING\2019\19014\GREENPARK\SHOES\44 MOUNTAINASH\19014-MOUNTAINASH-04.dwg - Wed - Oct 21 2020 - 6:51 PM |                                      |

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 05 2021  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

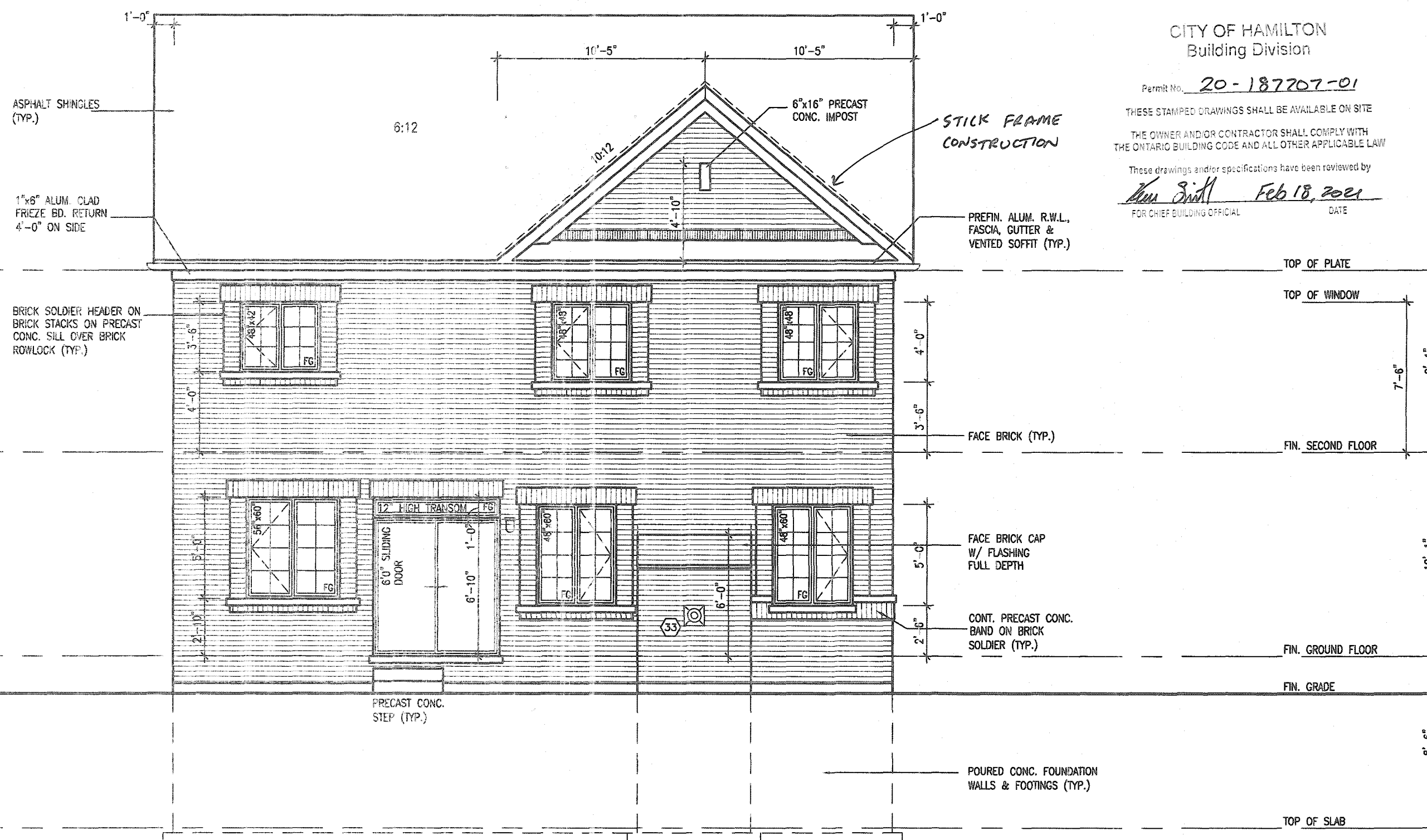
Permit No. 20-187707-01

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by \_\_\_\_\_

Kenn Smith Feb 18, 2021  
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION -  
ELEV. '1' (4 BED PLAN)  
(FOR LOT 195)

# MOUNTAINASH 4

## COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

[illegible]

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



3189 SF.

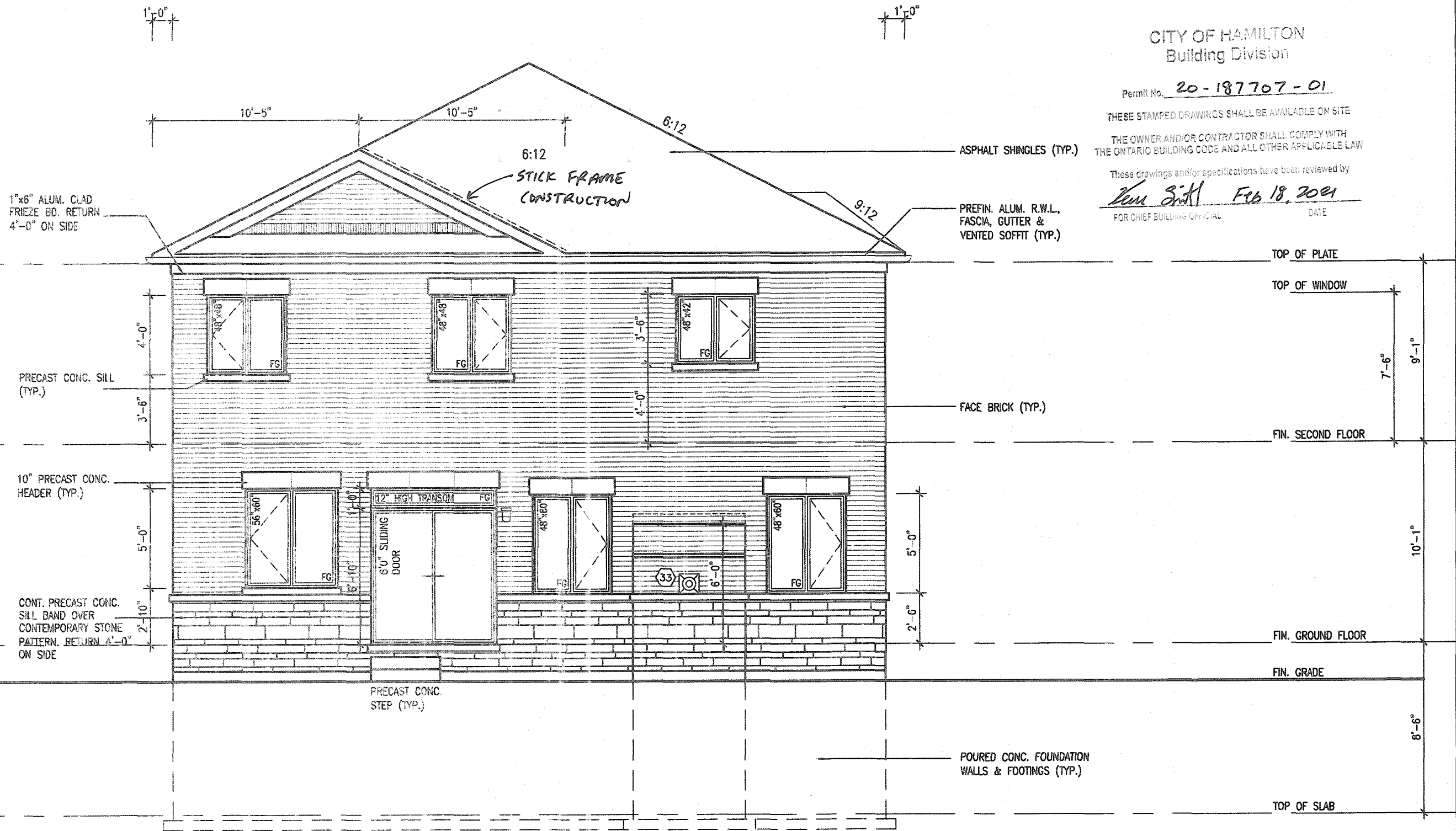
CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 05 2021  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF HAMILTON  
Building Division

Permit No. 20-187707-01

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*Ken Smith* Feb 18, 2021  
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION - Lot 323  
ELEV. '3' (5 BED PLAN)

MOUNTAINASH 4  
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: *NOV 12, 2020*  
This stamp certifies compliance with the applicable design guidelines only and does not confer professional responsibility.

|     |             |      |    |                                        |              |
|-----|-------------|------|----|----------------------------------------|--------------|
| 18  |             |      | 9  |                                        |              |
| 17  |             |      | 8  |                                        |              |
| 16  |             |      | 7  |                                        |              |
| 15  |             |      | 6  |                                        |              |
| 14  |             |      | 5  |                                        |              |
| 13  |             |      | 4  |                                        |              |
| 12  |             |      | 3  | ISSUED FOR PERMIT                      | MAR 31/20 GW |
| 11  |             |      | 2  | UPDATED PER ENG & CLIENT COMMENTS.     | MAR 13/20 GW |
| 10  |             |      | 1  | PRELIMINARY, ISSUED FOR CLIENT REVIEW. | JAN 28/20 GW |
| 9   |             |      |    |                                        |              |
| 8   |             |      |    |                                        |              |
| 7   |             |      |    |                                        |              |
| 6   |             |      |    |                                        |              |
| 5   |             |      |    |                                        |              |
| 4   |             |      |    |                                        |              |
| 3   |             |      |    |                                        |              |
| 2   |             |      |    |                                        |              |
| 1   |             |      |    |                                        |              |
| 0   |             |      |    |                                        |              |
| no. | description | date | by | no.                                    | description  |

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualifier information  
Richard Vink 24486  
BCN  
signature  
VAS Design Inc. 42658  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2235 f 416.630.4782  
vasdesign.com

**Greenpark**  
project name  
RUSSELL GARDENS PH. 3  
municipality  
HAMILTON, ON.  
drawing no.  
19014  
date  
JAN. 2020  
checked by  
N.HUR  
scale  
3/16" = 1'-0"  
19014-MOUNTAINASH-04  
drawing no.  
A13b

