

MOUNTAINASH 6-012
COMPLIANCE PACKAGE 'A1'

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

Permit No. 21-102414

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FEB 17 2021

FOR CHIEF BUILDING OFFICIAL

DATE _____

[illegible]

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 6
13.5m



Greenpark.

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ONTARIO	19014
date JAN 2020	drawing no. BASEMENT PLAN - ELEV. '3'	
drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"
file name 19014-MOUNTAINASH-6-012		A1b

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
1101 AUSTIN BLVD.

APPROVED BY: [Signature]
DATE: DEC 17, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
17			8				
16			7				qualification information
15			6				Richard Vink
14			5	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 13/20	GW	name
13			4	STAIRWAY WIDTH CORRECTED.	AUG 05/20	GW	signature
12			3	ISSUED FOR PERMIT.	APR 13/20	GW	2448
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	80
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW	4265
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *b k k*

Richard Vink *R Vink* 244

name	signature	8
------	-----------	---

VA3 Design Inc. 426

Calendar your weekly self-discipline on the job and report any

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

drawings and specifications are instruments of service and the proper of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

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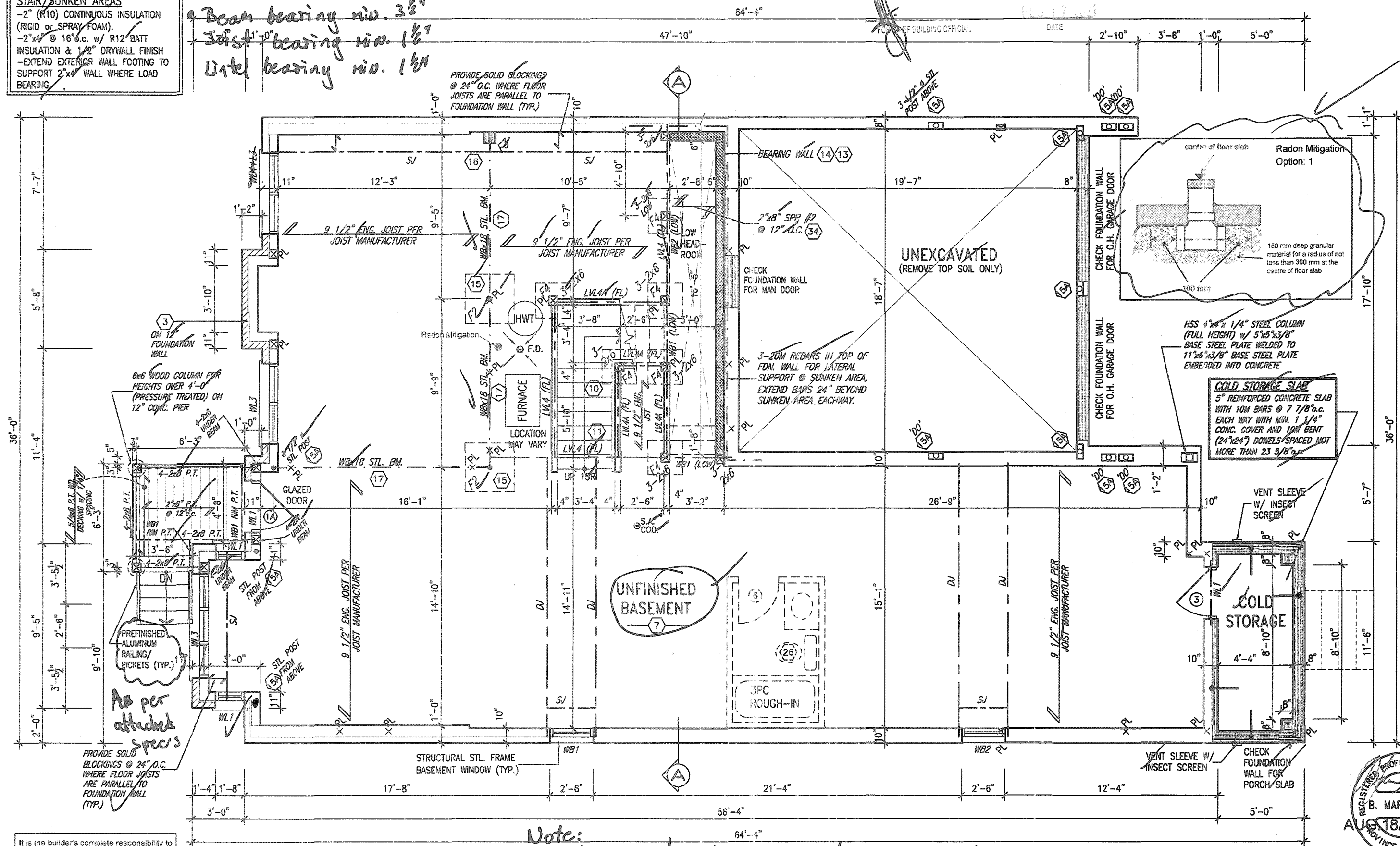
BASEMENT WALL INSULATION (TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING

Notes:
• All plumbing is subject to field inspection by City of Hamilton.
• Footing/Foundation/Piers must bear on undisturbed soil.
• Beam bearing min. 3 1/2"
• Joist bearing min. 1 1/2"
• Lintel bearing min. 1 1/2"

Permit No. **20-102414**
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These drawings and/or specifications have been reviewed by

VENUE CUT
WHEN VENEER CUT IS GREATER THAN 26". A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 12, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

Note:
BASEMENT PLAN - ELEV. '3' separate building permit is required to finish basement space.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
AUG 18/2020
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 6-012
COMPLIANCE PACKAGE 'A1'

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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
v3design.com

Greenpark

MOUNTAINASH 6
13.5m

project name: **RUSSELL GARDENS PH. 3**
municipality: **HAMILTON, ONTARIO**
drawing no.: **19014**
date: **JAN 2020**
checked by: **3/16" = 1'-0"**
scale: **3/16" = 1'-0"**
drawing no.: **A2b**
file name: **19014-MOUNTAINASH-6-012**



STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Permit No. **20-102414**

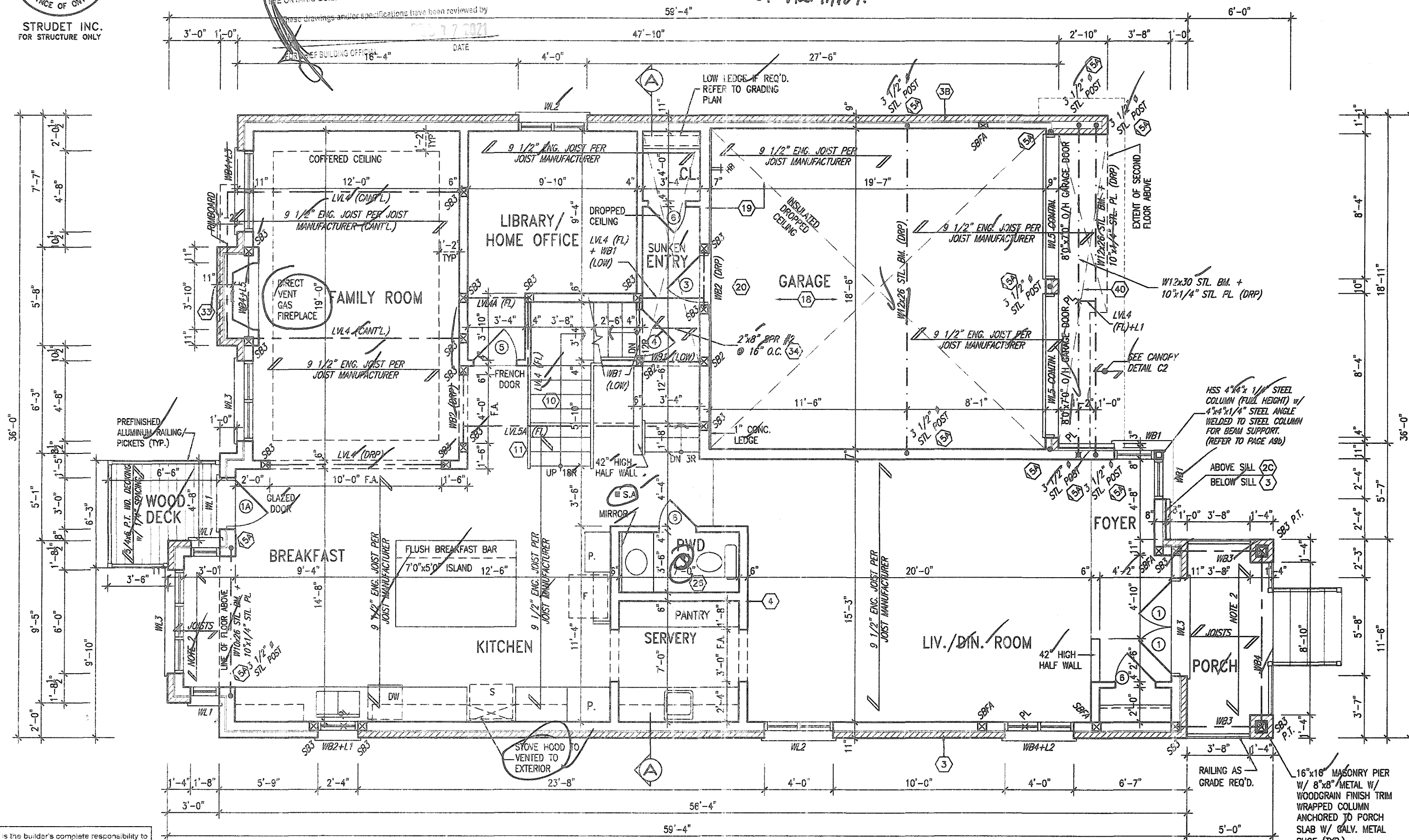
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
DATE **12/2021**

Notes:

- Gas fire-place must be CSA/DLC/CCMC approved and be installed in accordance to local Utilization code.
- All plumbing is subject to field inspection by City of Hamilton.

3409 SF.



GROUND FLOOR PLAN - ELEV. '3'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE **DEC 27, 2020**
This plan certifies compliance with the Architectural Design Guidelines with no further professional responsibility.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
KT-EX-NOTE-2020.dwg

NOTE 2:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

MOUNTAINASH 6-012 COMPLIANCE PACKAGE 'A1'

18		9	
17		8	
16		7	
15		6	
14		5	CUSTOM DRAWINGS PER PURCHASER REQUEST
13		4	STAIRWAY WIDTH CORRECTED
12		3	ISSUED FOR PERMIT
11		2	UPDATED PER ENG & CLIENT COMMENTS
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Richard Vink	signature	24408	BCM
VAS Design Inc.	registration information	42656	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be sealed.			
no.	description	date	by

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		drawing no. 19014	
drawn by BD:BM		file name 19014-MOUNTAINASH-6-012	
checked by 3/16" = 1'-0"		A3b	
DATE - 14-MARCH-2020 BY: JGWS (JGWS) 19014-MOUNTAINASH-6-012.dwg - 14-MARCH-2020 BY: JGWS - 17-2020 - 8.23 AM			

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER DEC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FUTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(f). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. CB-NOTE-2520.dwg

Permit No. 21-102414

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FEB 17 2021

FOR SHIPBUILDING OFFICIAL

DATA

ABOVE SILL 20
BELOW SILL 3

HSS 4"x4"x 1/4" STEEL
COLUMN (FULL HEIGHT) w/
4"x4"x1/4" STEEL ANGLE
WELDED TO STEEL COLUMN
FOR BEAM SUPPORT.
(REFER TO PAGE 99b)

APPROVED ROOF
TRUSSES @ 24" O.C.
CRF ON TOP OF TRUSSES

FLAT ROOF
BELOW

WL5

DE TO SCUPPER



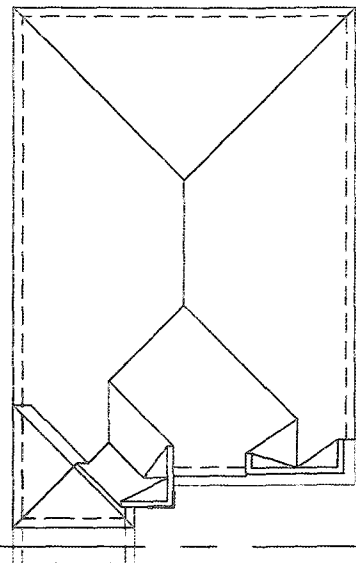
Diagram of a scupper, showing a cross-section of a pipe or structure with a vertical opening labeled "SCUPPER".

 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BO.RIM		SECOND FLOOR PLAN - ELEV. '3' drawing no.	
checked by -		scale 3/16" = 1'-0"	
file name 19014-MOUNTAINASH-6-012		A4b	

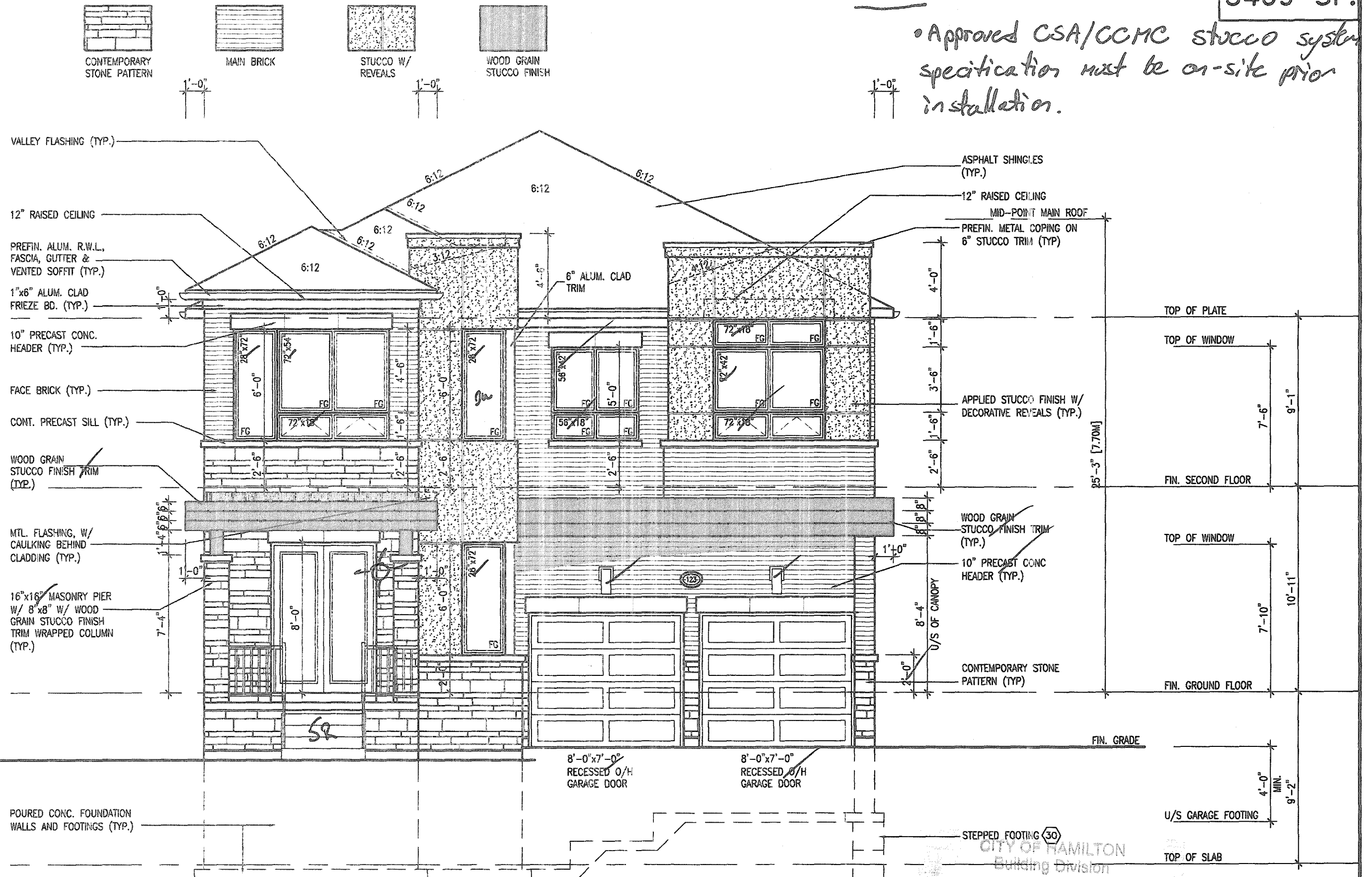
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Note:

- Approved CSA/CCMC stucco system specification must be on-site prior installation.



ROOF PLAN-3



FRONT ELEVATION - ELEV. '3'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTRACT REVIEW
AND APPROVAL

APPROVED BY 

DATE DEC 22 2020

This stamp certifies compliance with the Applicable
Design Guidelines and bears no further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6-012
COMPLIANCE PACKAGE 'A1'

 **Greenpark.**

MOUNTAINASH 6
13.5m

municipality	project no.
MILTON, ONTARIO	19014

FRONT ELEVATION - ELEV. '3'

19014-MOUNTAINASH-6-012

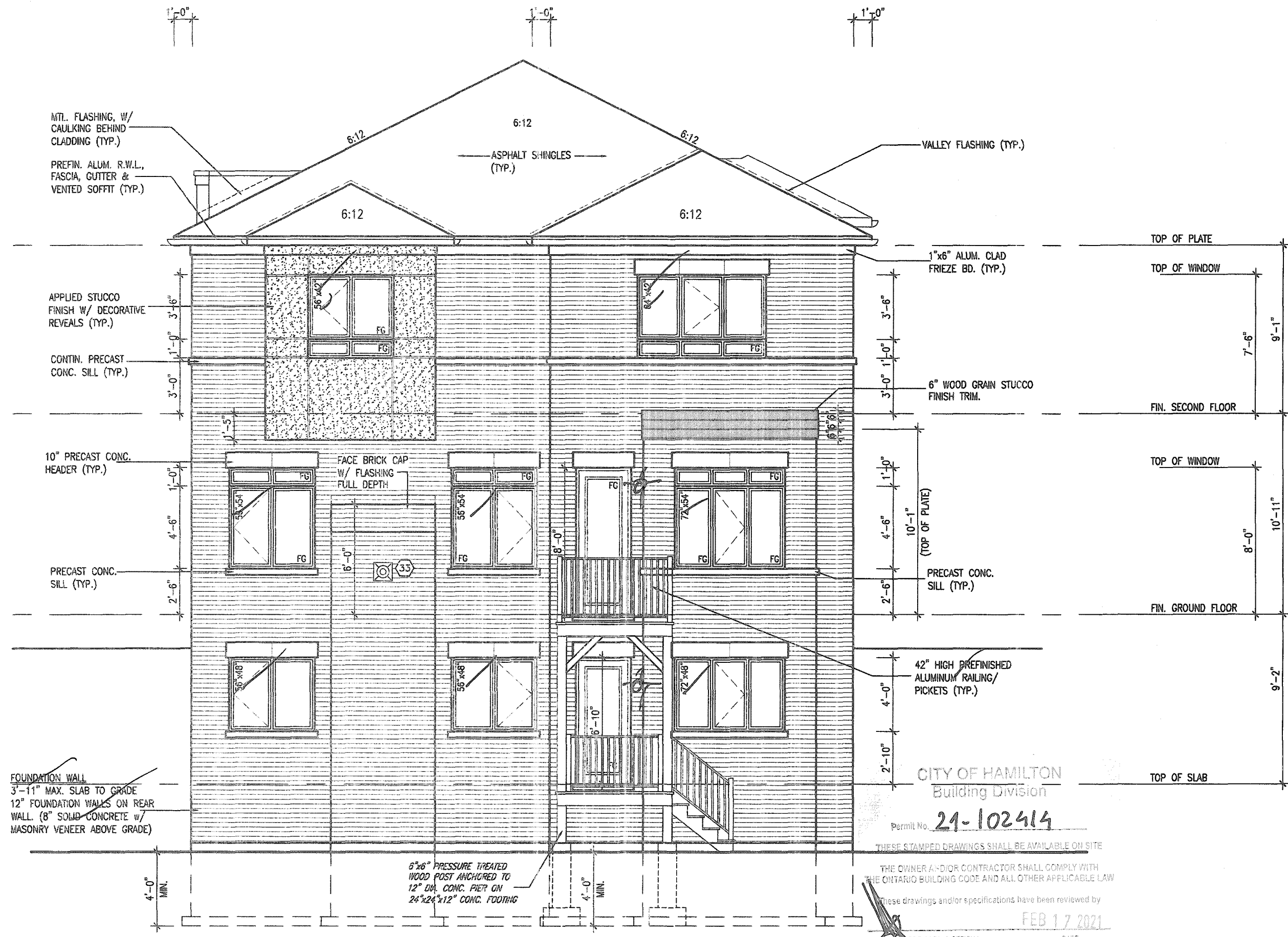
drawing no.

A5b1

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3409 SF.



UPGRADED REAR ELEVATION -
ELEV. '3'

MOUNTAINASH 6-012
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 22, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18		9			
17		8			
16		7			
15		6			
14		5	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 13/20 GW	
13		4	STAIRWAY WIDTH CORRECTED.	AUG 05/20 GW	
12		3	ISSUED FOR PERMIT.	APR 13/20 GW	
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW	
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW	
no.	description	date	by	no.	description

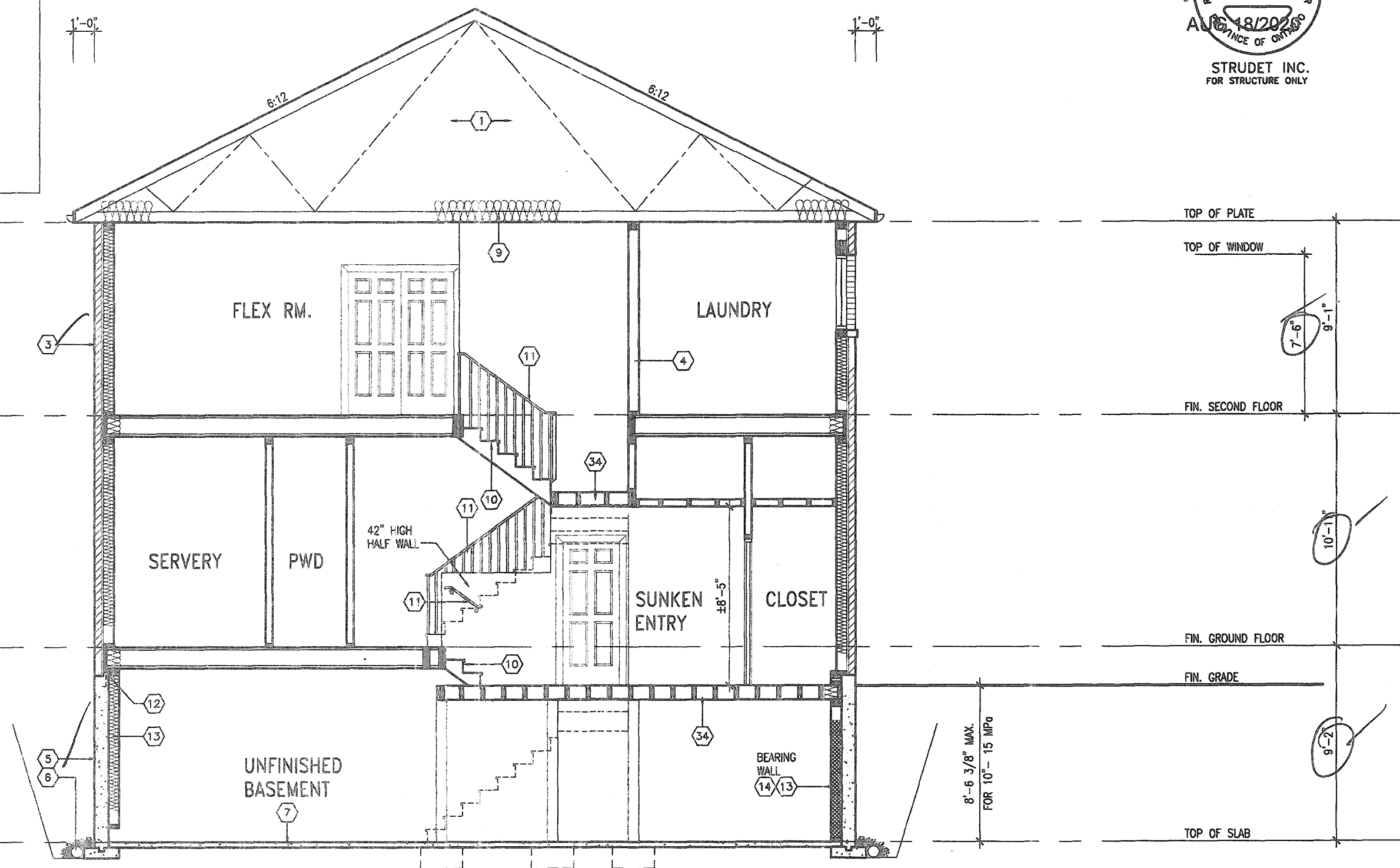
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ONTARIO	project no. 19014	drawing no. A8b
date JAN 2020	checked by BD.BIM	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-6-012
REAR ELEVATION - ELEV '3' STD & OPT. 5 BED			
19014-MOUNTAINASH-6-012			

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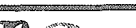
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
No. 4820
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY



CROSS SECTION 'A-A'
(ELEV. '3')

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

MOUNTAINASH 6-012
COMPLIANCE PACKAGE 'A1'

18		9				The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 Greenpark.	MOUNTAINASH 6 13.5m	project no. 19014
17		8								
16		7								
15		6								
14		5	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 13/20	GW	Richards Vink <i>R Vink</i> 24486				
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	none				
12		3	ISSUED FOR PERMIT.	APR 13/20	GW	registration information				
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	VA3 Design Inc. 42658				
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.				
9	no.	description	date	by	inc.	description	date	by	inc.	description

project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO		project no. 19014
date: JAN 2020		cross section CROSS SECTION 'A-A'		drawing no. A9b
drawn by BD,CM	checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-6-012	
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