

STRIP FOOTINGS

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (40x90x6.0L) + 2-2"x8" SFR. No.2
WL2 = 4'-3"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SFR. No.2
WL3 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SFR. No.2
WL4 = 6'-3"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SFR. No.2
WL5 = 6'-4"x3/8" (150x100x10.0L) + 2-2"x12" SFR. No.2
WL6 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SFR. No.2
WL7 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SFR. No.2
WL8 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SFR. No.2
WL9 = 6'-4"x3/8" (150x100x10.0L) + 3-2"x12" SFR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SFR. No.2 (2-38x184 SFR. No.2)
WB2 = 3-2"x8" SFR. No.2 (3-38x184 SFR. No.2)
WB3 = 2-2"x10" SFR. No.2 (2-38x235 SFR. No.2)
WB4 = 3-2"x10" SFR. No.2 (3-38x235 SFR. No.2)
WB5 = 2-2"x12" SFR. No.2 (2-38x286 SFR. No.2)
WB6 = 3-2"x12" SFR. No.2 (3-38x286 SFR. No.2)
WB7 = 5-2"x12" SFR. No.2 (5-38x286 SFR. No.2)
WB8 = 4-2"x10" SFR. No.2 (4-38x235 SFR. No.2)
WB9 = 4-2"x12" SFR. No.2 (4-38x286 SFR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (40x90x6.0L)
L2 = 4'-3"x3'-1/2"x5/16" (100x90x8.0L)
L3 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L)
L4 = 6'-3"x3'-1/2"x3/8" (150x90x10.0L)
L5 = 6'-4"x3/8" (150x100x10.0L)
L6 = 7'-4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

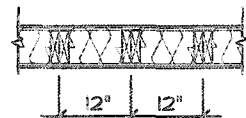
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGERS FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

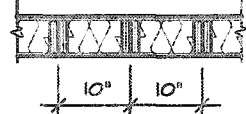
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

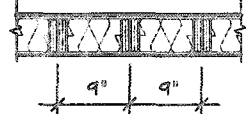
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) USE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

AREA CALCULATIONS

ELEV. 1

GROUND FLOOR AREA	=	1215	Sq. Ft.
SECOND FLOOR AREA	=	1452	Sq. Ft.
TOTAL FLOOR AREA	=	2667	Sq. Ft.
		247.71	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	105	Sq. Ft.
ADD TOTAL OPEN AREAS	=	105	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2772	Sq. Ft.
		257.53	Sq. M.
GROUND FLOOR COVERAGE	=	1215	Sq. Ft.
GARAGE COVERAGE / AREA	=	347	Sq. Ft.
PORCH COVERAGE / AREA	=	54	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1666	Sq. Ft.
		154.78	Sq. m.
TOTAL COVERAGE WO PORCH	=	1612	Sq. Ft.
		149.76	Sq. m.

VALLEYCREEK 3

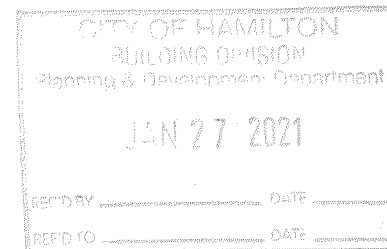
ELV. 1

ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	670.54	62.30	42.73	8.61	13.23 %
LEFT SIDE	1059.86	48.46	86.47	8.03	8.16 %
RIGHT SIDE	1059.86	48.46	32.66	3.03	3.08 %
REAR	682.29	63.34	157.41	14.62	23.07 %
TOTAL	3472.60	322.62	369.27	34.31	10.63 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

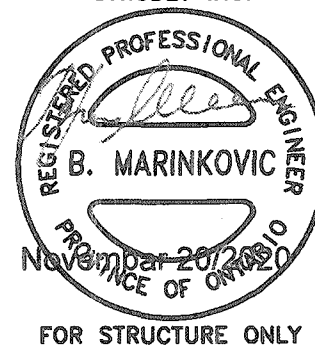
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLABS ± 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



CITY OF HAMILTON
Building Division
21 103596

Permit No. 21 103596
These drawings and specifications have been reviewed by
DATE: MAR 2/21

STRUDET INC.



VALLEYCREEK 3-89

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this
design and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 735-4096
F (905) 880-0746



SHEET TITLE

GENERAL NOTES & CHARTS

SCALE

BY

MB

DATE

DEC 2019

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA

2,772

PROJECT

12-04-19

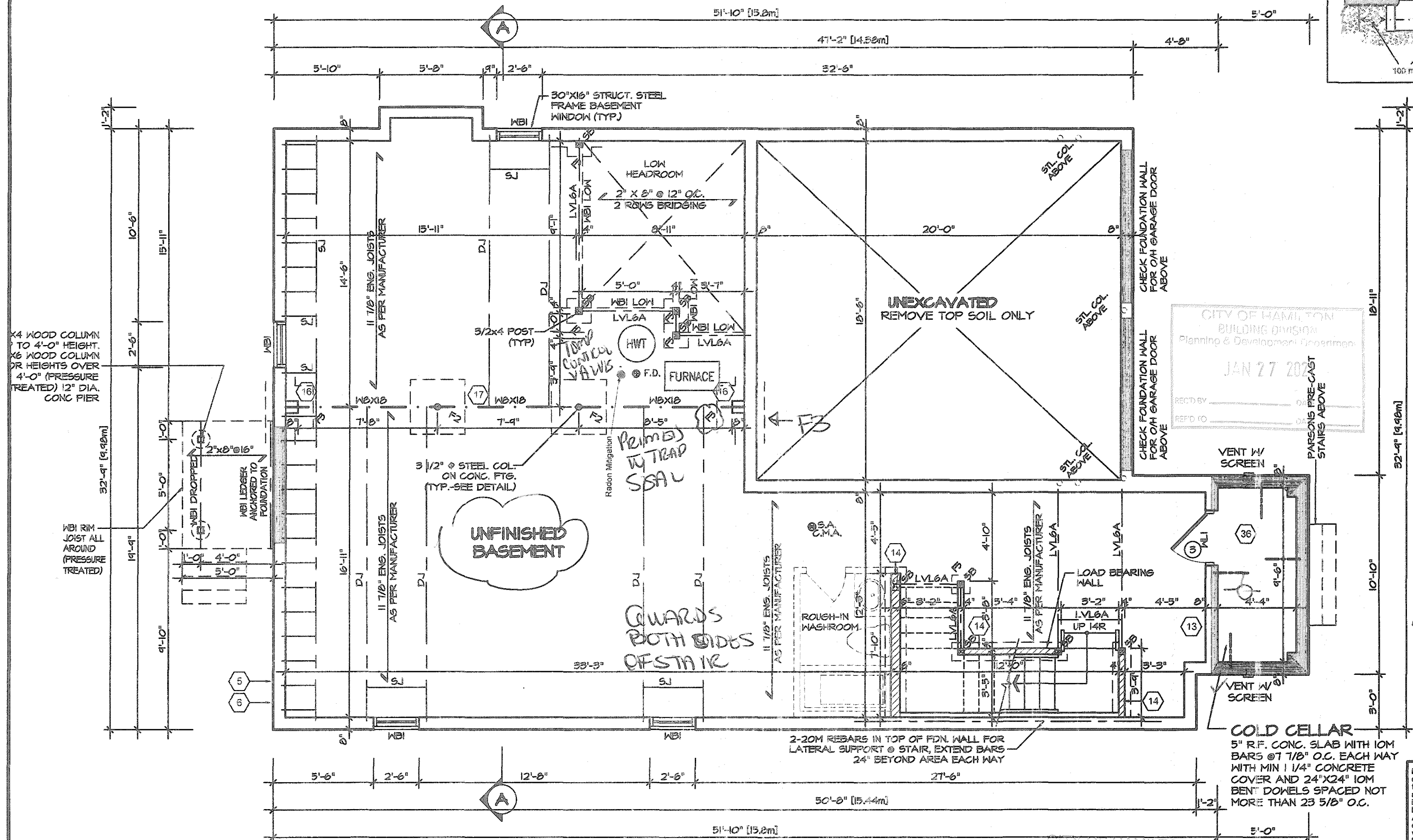
PAGE No.

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PROJECT NAME

RUSSELL GARDENS III



BASEMENT PLAN I

REFER TO FLOOR FRAMING SHOP
DRAWINGS FOR ENGINEERED FRAMING
LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND
TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS
AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7". 2 ROWS FOR SPANS GREATER THAN 7'

ALL DRAWINGS SHALL BE AVAILABLE ON SITE
THE MAJOR CONTRACTOR SHALL COMPLY WITH
THE BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
SM *Mar 2/21*
 FOR CHIEF BUILDING OFFICIAL _____ DATE _____

STRUDET INC.



A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "B. MARINKOVIC" is printed. A handwritten signature is scrawled across the top half of the seal, and the date "November 20/2020" is stamped across the bottom half.

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: DEC 08, 2020

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

VALLEYCREEK 3-89

COMPLIANCE PACKAGE "A1"

5			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 1S6 P (416) 739-4096 F (905) 663-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4						BASEMENT PLAN					PROJECT NAME RUSSELL GARDENS III
3						ELEVATION 1					
2	ISSUED FINAL REFERENCE	MAR 2020				SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 1		
1	ISSUED FOR COORDINATION	JAN 2020				DATE DEC 2019	TYPE	PROJECT 12-04-19			
REVISIONS											

[illegible]

Panel No. 1

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "B. MARINKOVIC" and the number "20128". A stylized signature is written across the top half of the seal, and a stylized "B" is written across the bottom half.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 08, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

COMPLIANCE PACKAGE "A1"

PROJECT NAME
RUSSELL GARDENS III

REVISIONS

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

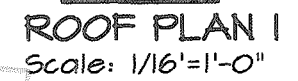
R D I REGION DESIGN INC.

SCALE
3/16"=1'-0"

DATE
DEC 2019

AREA	2,772
PROJECT	12-04-19

3

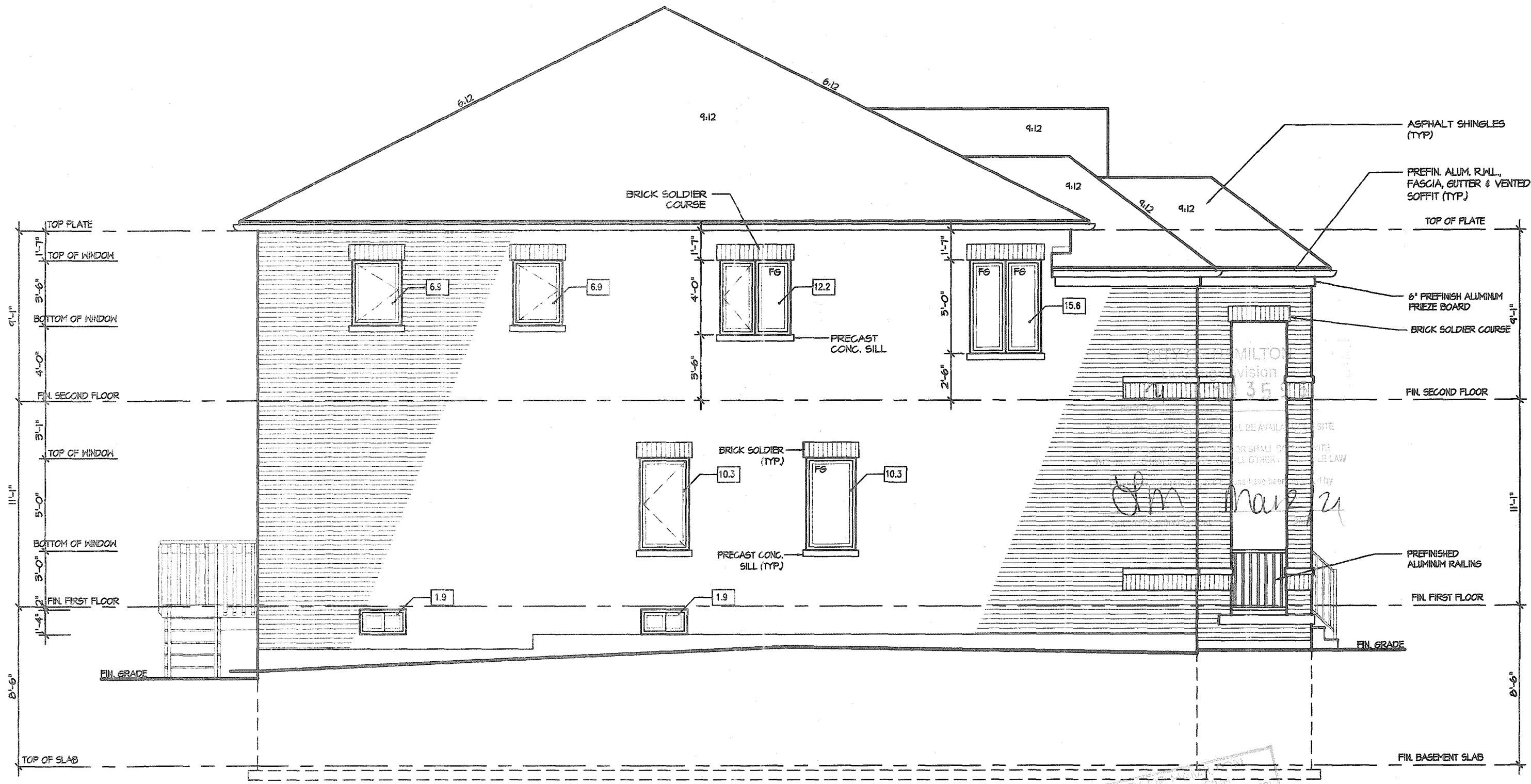


JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY [Signature]
DATE: DEC 28, 2020

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COMPLIANCE PACKAGE "A1"

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4						SCALE	3/16"=1'-0"	BY	MB	AREA	2,772		PAGE No.	4
3						DATE	DEC 2019	TYPE		PROJECT	12-04-19			
2	ISSUED FINAL REFERENCE	MAR 2020												
1	ISSUED FOR COORDINATION	JAN 2020												
REVISIONS			PROJECT NAME RUSSELL GARDENS III											

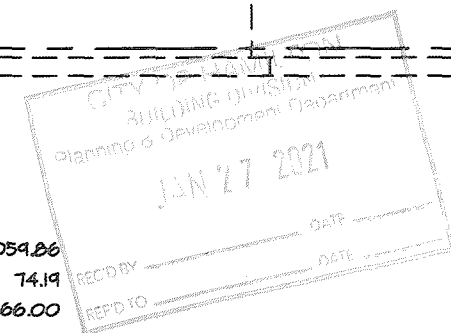


LEFT ELEVATION I

ALLOWABLE GLAZING

WALL AREA
 WALL AREA
 ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)
 ACTUAL WINDOW AREA

1059.86
 74.19
 66.00



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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY: [Signature]
 DATE: DEC 02, 2020
 This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

VALLEYCREEK 3-89

COMPLIANCE PACKAGE "A1"

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4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
 NAME
 28770
 SIGNATURE
 BCIN

REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 738-4096
 F (905) 660-0746



SHEET TITLE
 LEFT SIDE
 ELEVATION 1

SCALE
 3/16"=1'-0"

DATE
 DEC 2019

BY
 MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
 2.772

PAGE No.
 5

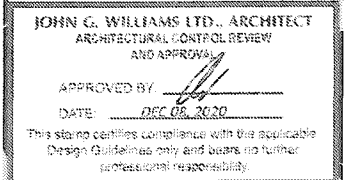
PROJECT
 12-04-19

PROJECT NAME
 RUSSELL GARDENS III





2510



PROJECT NAME **RUSSELL GARDENS III**

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4						RIGHT SIDE ELEVATION 1					PROJECT NAME RUSSELL GARDENS III
3						SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 6		
2	ISSUED FINAL REFERENCE	MAR 2020				DATE DEC 2019	TYPE	PROJECT 12-04-19			
1	ISSUED FOR COORDINATION	JAN 2020									
REVISIONS											



REAR ELEVATION I

CITY OF HAMILTON
Building Division
Report No. 21
103596
STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
BUILDING CODE
FIN. FIRST FLOOR
FIN. GRADE
DATE Mar. 2/21

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JAN 27 2021
RECD BY: DATE:
RECD TO: DATE:

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not bear any further professional responsibility

VALLEYCREEK 3-89

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

5		
4		
3		
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020

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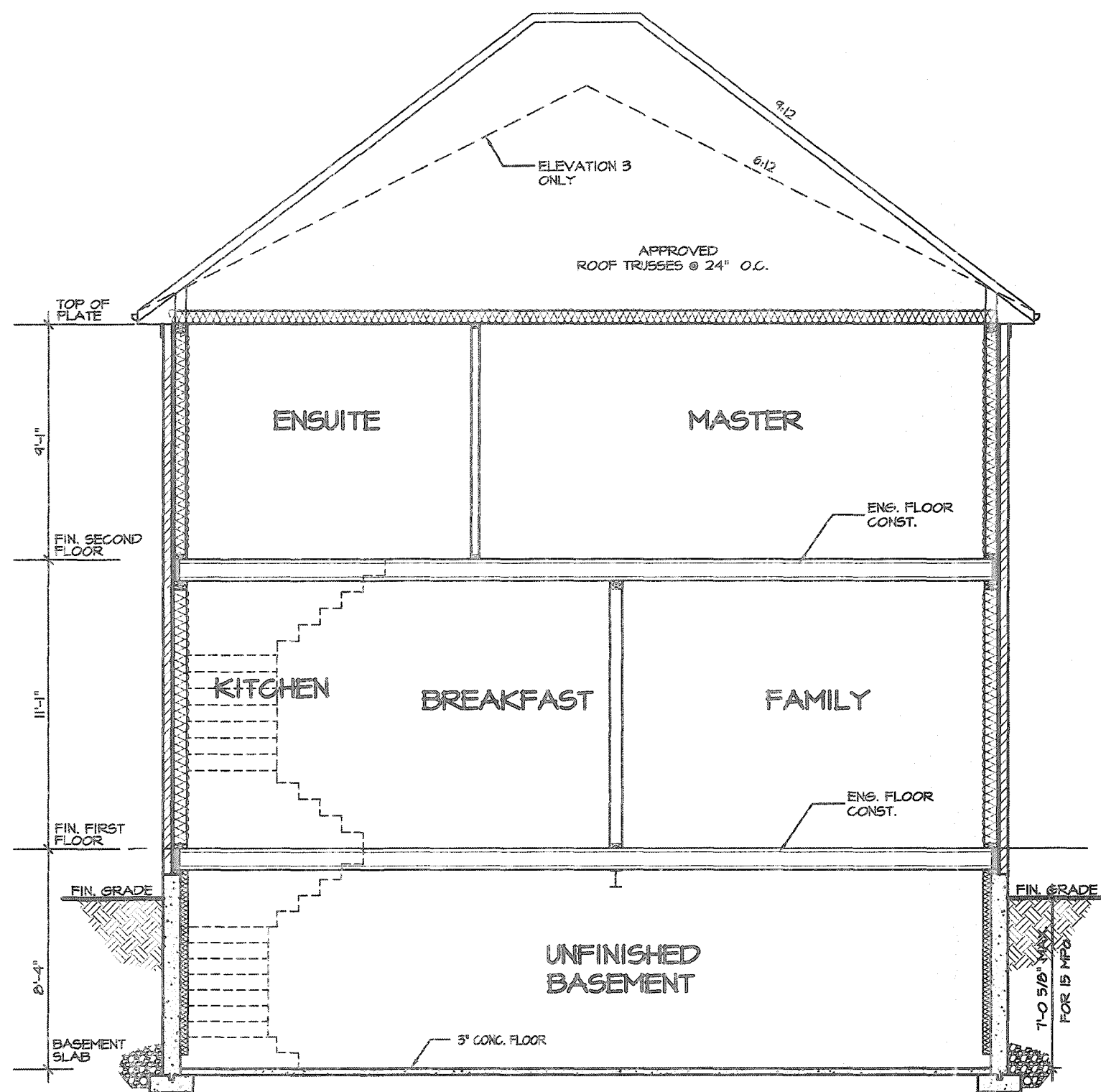
VIKAS GAJJAR
NAME
SIGNATURE
28770
ECIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 960-0746

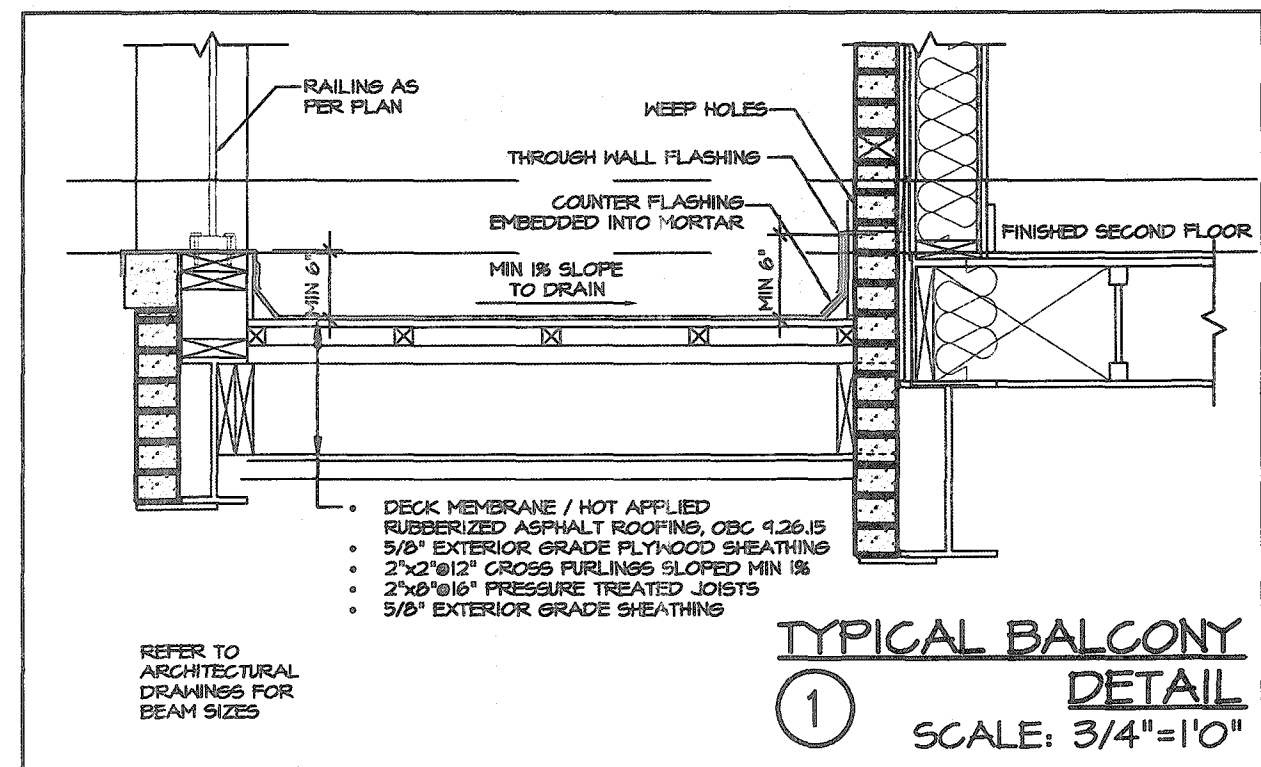


SHEET TITLE
REAR ELEVATION 1
SCALE 3/16"=1'-0"
DATE DEC 2019
BY MB
TYPE
AREA 2,772
PAGE No. 7
PROJECT 12-04-19

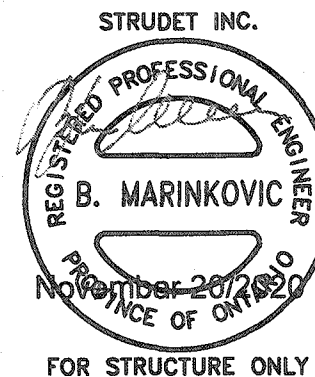
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.



CROSS SECTION



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
JAN 27 2021
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____



CITY OF HAMILTON
Building Division
Permit # 21 103595
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
Jm Mar. 2/21
FOR THE BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

VALLEYCREEK 3-89

COMPLIANCE PACKAGE "A1"

5 4 3 2 ISSUED FINAL REFERENCE MAR 2020 1 ISSUED FOR COORDINATION JAN 2020 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE 28770 BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4036 F (905) 960-0746 REGION DESIGN INC.	SHEET TITLE CROSS SECTION ELEV. 1, 2 & 3 SCALE 3/16"=1'-0" BY MB DATE DEC 2019 TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2772 PAGE No. 8 PROJECT 12-04-19	Greenpark. PROJECT NAME RUSSELL GARDENS III
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