

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY
6" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY OR 40 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOOTING WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS
WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2
WOOD LINTELS AND BEAMS
WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS
L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

5		
4		
3		
2	UPDATED FOR LOT 96	SEP 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

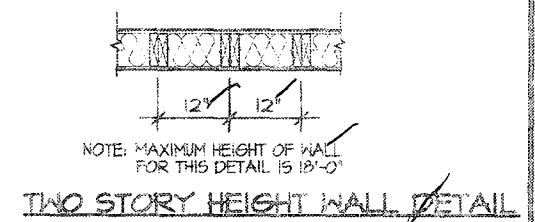
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

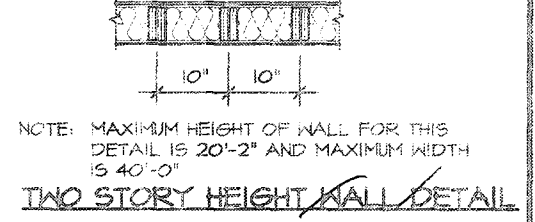
PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

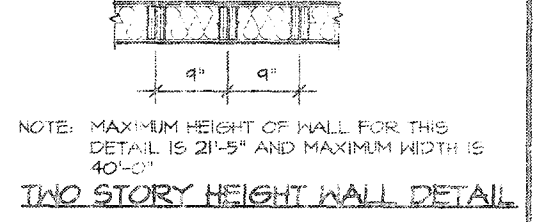
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/W SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



2-1 1/2" x 5 1/2" TIMBERSTRAND (L.S.L.) USE
STUD WALL, SLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



2-1 1/2" x 5 1/2" TIMBERSTRAND (L.S.L.) USE
STUD WALL, SLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	=	1276 Sq. Ft.
SECOND FLOOR AREA	=	1646 Sq. Ft.
TOTAL FLOOR AREA	=	2922 Sq. Ft.
		271.46 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	11 Sq. Ft.
ADD TOTAL OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2933 Sq. Ft.
		272.48 Sq. M.
GROUND FLOOR COVERAGE	=	1276 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	58 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1731 Sq. Ft.
		160.82 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1673 Sq. Ft.
		155.43 Sq. m.

VALLEYCREEK		ELV. 3			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	708.2	65.74	140.54	13.06	19.85 %
LEFT SIDE	1145.57	106.43	69.01	6.41	6.02 %
RIGHT SIDE	1145.57	106.43	47.96	4.46	4.19 %
REAR	682.24	63.34	147.42	13.70	21.61 %
TOTAL	3681.55	342.03	404.98	37.62	11.00 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

CITY OF HAMILTON
Building Division

Permit No. 21-103587

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

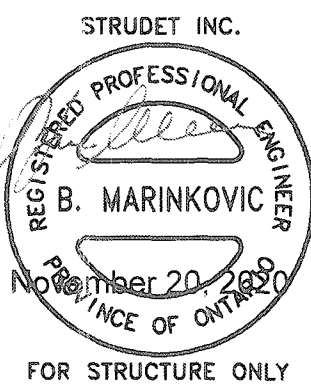
FEB 22 2021

FOR THE BUILDING OFFICIAL

DATE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON



VALLEYCREEK 5 - 96

COMPLIANCE PACKAGE "A1"

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer:

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 960-0746

SHEET TITLE
GENERAL NOTES
& CHARTS

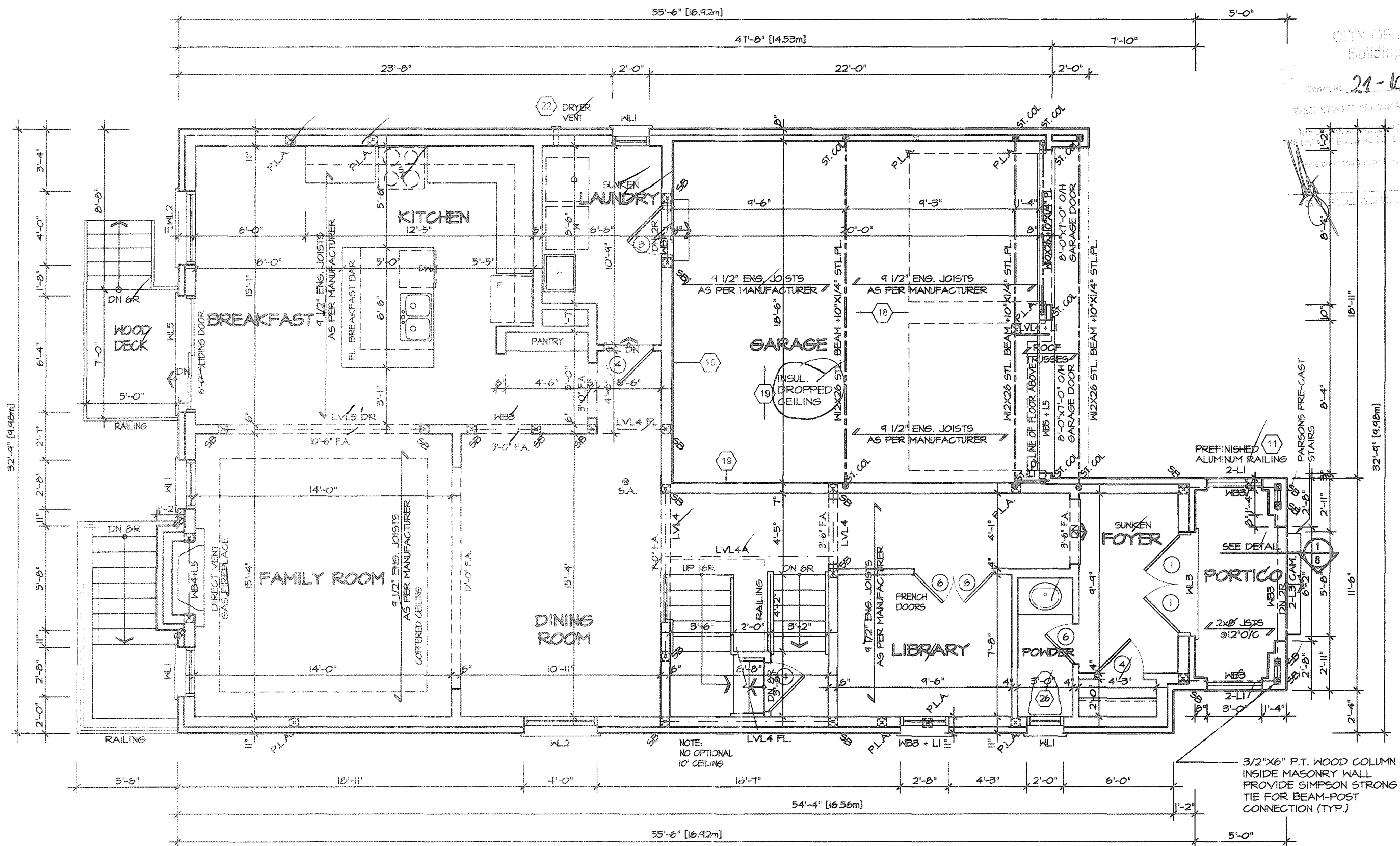
SCALE
BY VG
DATE DEC 2019
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 2,930
PAGE No. 0
PROJECT 12-04-19



PROJECT NAME
RUSSELL GARDENS III



CITY OF HAMILTON
Building Division

21-103582

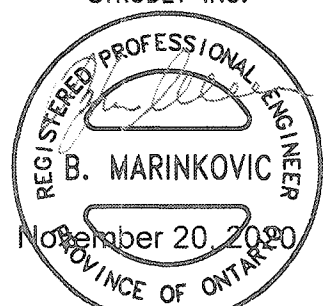
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS
DATE: FEB 22 2021

Notes:

FIRST FLOOR PLAN 3

- Gas fire-place must be CSA/VLC/CCMC approved and installed in accordance to local Utilization code.
- Garage must be tight and gasproof and door to be weather stripping.
- All plumbing is subject to field inspection by City of Hamilton.

STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 08 2020
THIS STAMP CERTIFIES COMPLIANCE WITH THE APPLICABLE DESIGN GUIDELINES ONLY AND DOES NOT FURTHER PROFESSIONAL RESPONSIBILITY

VALLEYCREEK 5 - 96

COMPLIANCE PACKAGE "A1"

REVISIONS	
5.	
4.	
3.	
2.	UPDATED FOR LOT 96 SEP 2020
1.	ISSUED FOR COORDINATION JAN 2020

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746



SHEET TITLE
FIRST FLOOR
ELEVATION 3

SCALE 3/16"=1'-0"
DATE DEC 2019

BY VG
TYPE

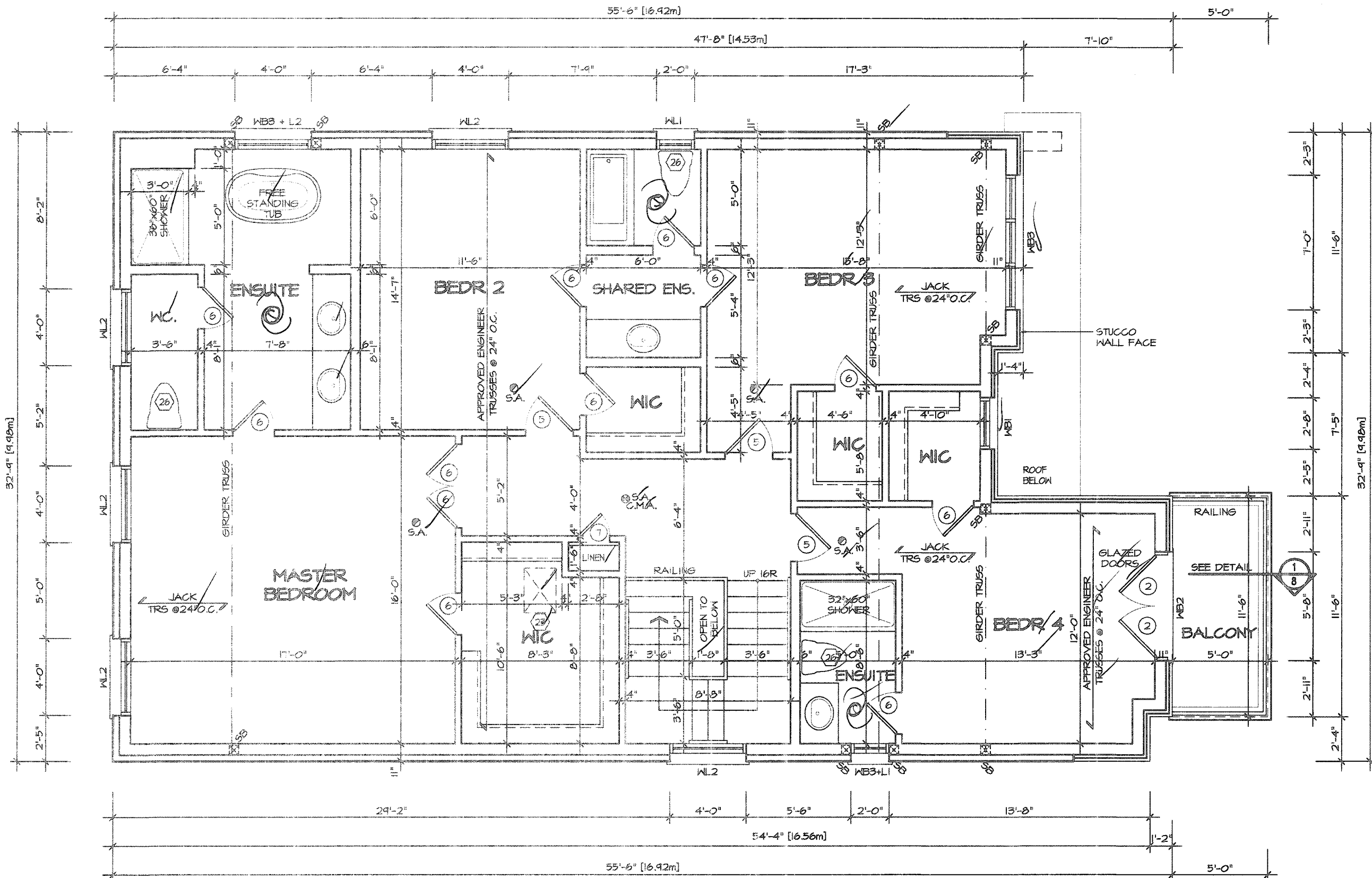
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,930
PROJECT 12-04-19

PAGE No.
2-3

Greenpark

PROJECT NAME
RUSSELL GARDENS III



SECOND FLOOR PLAN 3

CITY OF HAMILTON
Building Division
Permit No. 21-103587
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CANADIAN BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
DATE FEB 22 2021

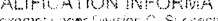
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 08 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not form part of the contract or the responsibility.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 20, 2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

VALLEYCREEK 5 - 96
COMPLIANCE PACKAGE "A1"

5		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code VIKAS GAJJAR NAME  28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE SECOND FLOOR ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSELL GARDENS III
4								
3								
2	UPDATED FOR LOT 96 SEP 2020			SCALE 3/16"=1'-0"	BY VG	AREA 2,930	PAGE No. 3-3	
1	ISSUED FOR COORDINATION JAN 2020			DATE DEC 2019	TYPE	PROJECT 12-04-19		
REVISIONS								

CITY OF HAMILTON
Building Division

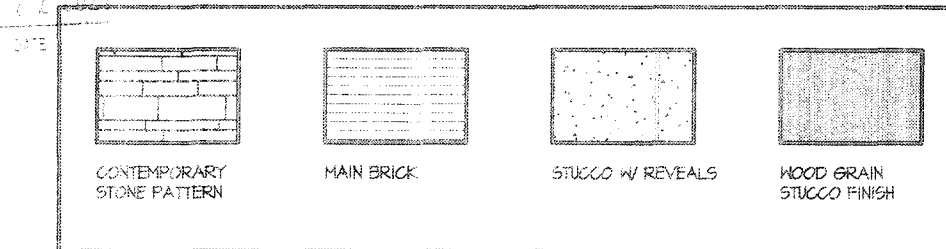
Permit No. 21-103587

THESE STAYED DRAWINGS SHALL BE AVAILABLE ON SITE.

THE CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

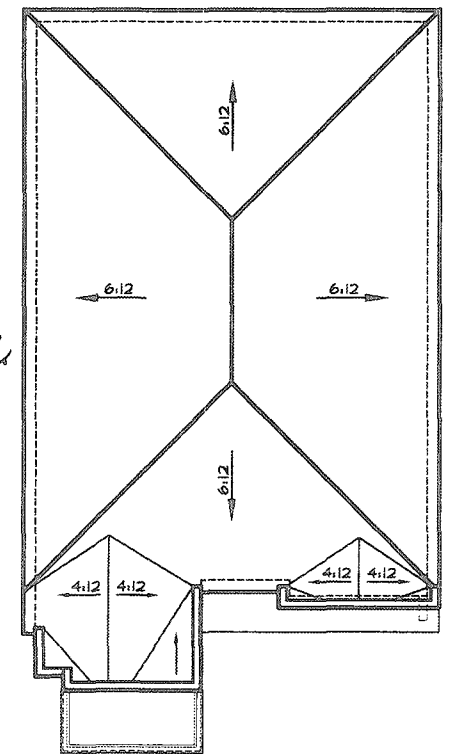
These drawings and/or specifications have been reviewed by:

FE 3 2 2 2021

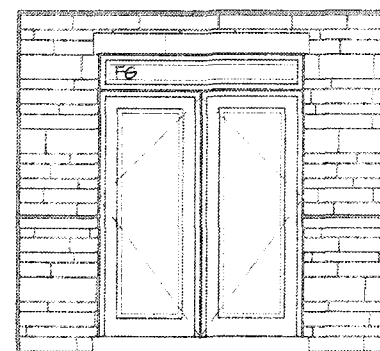


Note:

- Approved CSA/CMC stucco system must be onsite prior installation.
- Provide roof natural ventilation for every 1/300 sq. ft of the insulated roof attic space.



ROOF PLAN 3
Scale: 1/16"=1'-0"



INSIDE PORTICO
ELEVATION 2



FRONT ELEVATION 3

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 20, 2020
This document is for informational purposes only and does not constitute a professional seal or signature.

VALLEYCREEK 5 - 96

COMPLIANCE PACKAGE "A1"

REVISIONS	DATE
2. UPDATED FOR LOT 96	SEP 2020
1. ISSUED FOR COORDINATION	JAN 2020

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION 3
SCALE
3/16"=1'-0"
DATE
DEC 2019

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
BY
VG
AREA
2.930
PAGE No.
4-3
PROJECT
12-04-19

Greenpark.

PROJECT NAME
RUSSELL GARDENS III

Permit No. 21-103507

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

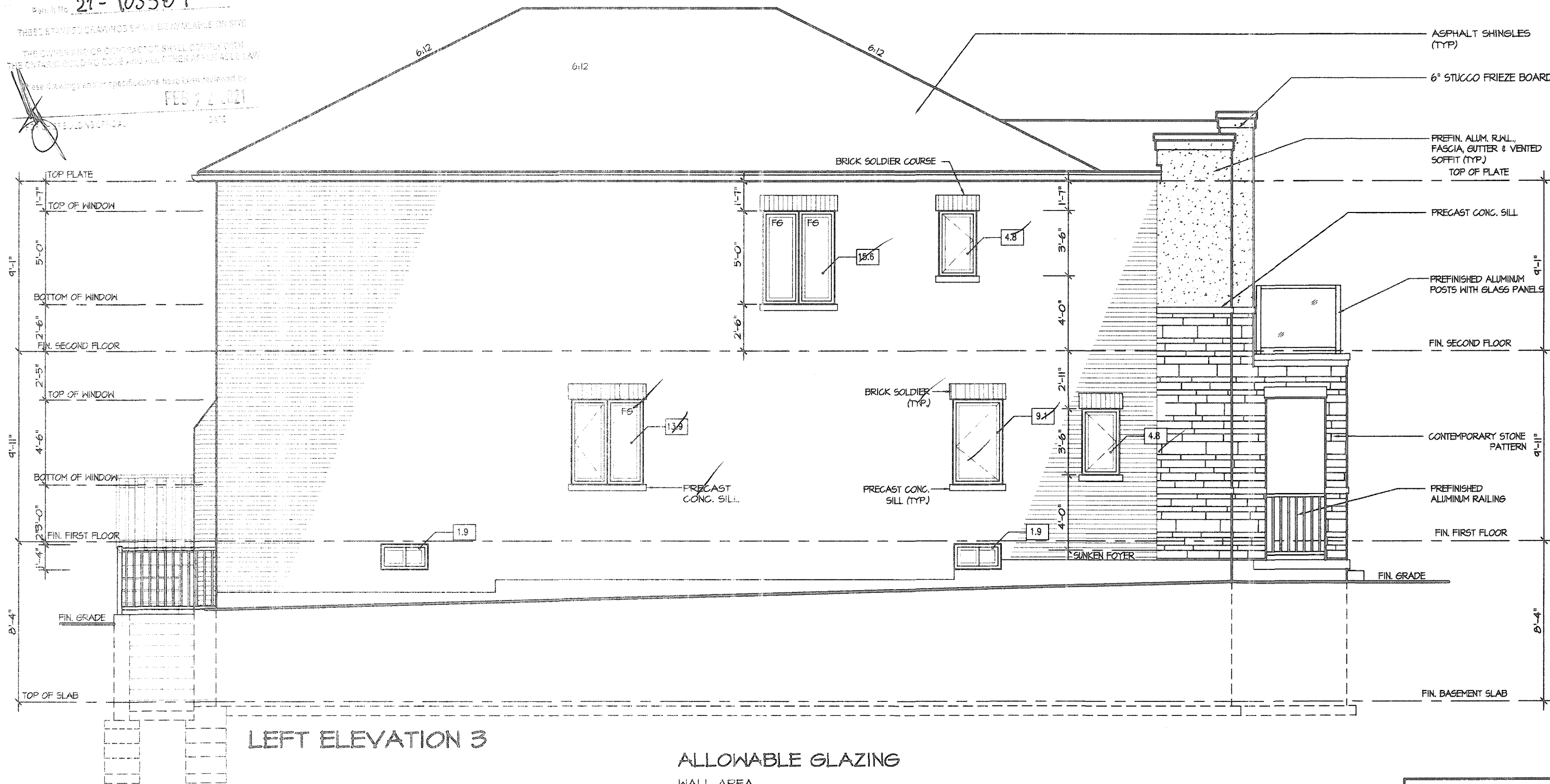
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by

FEB 2 2021

REVIEWS OFFICIAL

DATE



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)

ACTUAL WINDOW AREA

WITH OPTIONAL 32"X24" BASEMENT WINDOWS ACTUAL OPENING AREA

1145.00

80.15

53.90

54.80

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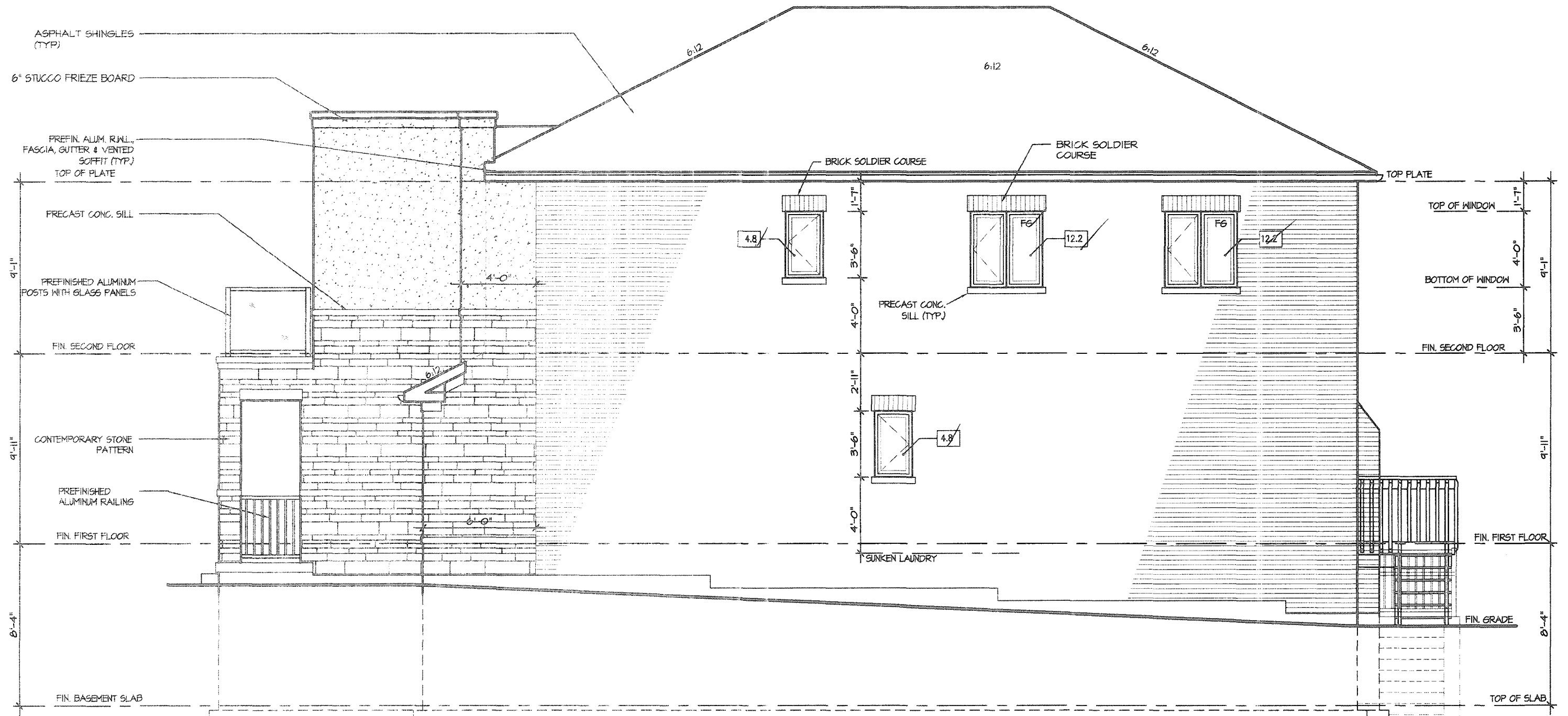
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 01, 2020
This stamp certifies compliance with the applicable
Design Guidelines and does not bear any further
professional responsibility.

VALLEYCREEK 5 - 96

COMPLIANCE PACKAGE "A1"

5 4 3 2 - UPDATED FOR LOT #6 SEP 2020 1 - ISSUED FOR COORDINATION JAN 2020 REVISIONS	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless design is exempt under Division G, Subsection 3.2.5 of the Building Code VIKAS GAJJAR NAME 28770 BCIN SIGNATURE	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4096 F (905) 860-0746 REGION DESIGN INC.	SHEET TITLE LEFT SIDE ELEVATION 3 SCALE 3/16"=1'-0" DATE DEC 2019 BY VG TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED AREA 2,930 PAGE No. 5-3 PROJECT 12-04-19	Greenpark. PROJECT NAME RUSSELL GARDENS III
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RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1145.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	80.15
ACTUAL WINDOW AREA	35.90
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA	37.30

CITY OF HAMILTON
Building Division

Permit No. **21-103587**

THESE STANDARDS SHALL BE AVAILABLE ON SITE

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Architectural Guidelines only and does not constitute a professional responsibility.

VALLEYCREEK 5 - 96

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
1. ISSUED FOR COORDINATION	JAN 2020
2. UPDATED FOR LOT 96	SEP 2020

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division 2, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE RIGHT SIDE ELEVATION 3			
SCALE 3/16"=1'-0"	BY VG	AREA 2,930	PAGE No. 6-3
DATE DEC 2019	TYPE	PROJECT 12-04-19	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.