

2943 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa
 FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
 POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
 FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1/2" x 3'-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3'-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3'-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
 LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
 LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
 LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
 LVL8 = 2-1 3/4" x 14" (2-45x356)
 LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3'-1/2" x 3'-1/2" x 1/4" L (90x90x6.0L)
 L2 = 4" x 3'-1/2" x 5/16" L (100x90x8.0L)
 L3 = 5" x 3'-1/2" x 5/16" L (125x90x8.0L)
 L4 = 6" x 3'-1/2" x 3/8" L (150x90x10.0L)
 L5 = 6" x 4" x 3/8" L (150x100x10.0L)
 L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
 BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
 ROOF FRAMING INFORMATION UNLESS OTHERWISE
 NOTED.

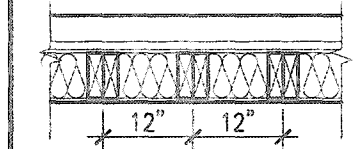
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
 FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
 ENGINEERED FLOOR FRAMING INFORMATION AND
 DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT
WALL DETAIL**

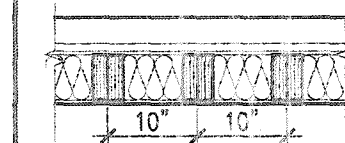
2-2"x8" STUD WALL NAILED TOGETHER AND
 SPACED @ 12" O.C. FULL HEIGHT, 6/16" SOLID
 BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
 EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
 DETAIL IS 16'-0" AND MAX. SUPPORTED
 LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT**WALL DETAIL**

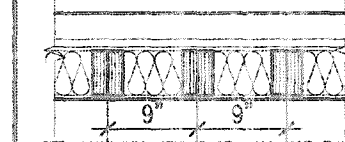
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
 STUD WALL GLUED & NAILED TOGETHER AND
 SPACED MAX. @ 10" O.C. FULL HEIGHT, 6/16" SOLID
 BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
 EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
 DETAIL IS 20'-2" AND MAX. SUPPORTED
 LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT**WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
 STUD WALL GLUED & NAILED TOGETHER AND
 SPACED MAX. @ 9" O.C. FULL HEIGHT, 6/16" SOLID
 BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
 EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
 DETAIL IS 21'-6" AND MAX. SUPPORTED
 LENGTH OF TRUSS IS 40'-0".

It is the builder's complete responsibility to
 ensure that all plans submitted for approval
 fully comply with the Architectural Guidelines
 and all applicable regulations and requirements
 including zoning provisions and any provisions
 in the subdivision agreement. The Control
 Architect is not responsible in any way for
 examining or approving site (lotting) plans or
 working drawings with respect to any zoning or
 building code or permit matter, or that any
 house can be properly built or located on its lot.

This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the City of
 Hamilton.

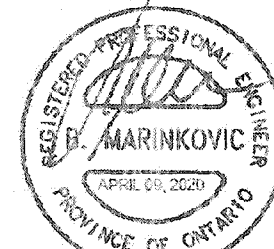
THE MINIMAL THERMAL PERFORMANCE OF BUILDING
 ENVELOPE AND EQUIPMENT SHALL CONFORM TO
 THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
 PER OBC SUPPLEMENTARY STANDARD SB-12,
 SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face
Minimum RSI (R) value	(R60)	of exterior walls
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE
Minimum RSI (R) value	(R20ci)	R12+R10ci.
Edge of Below Grade Slab	1.76	RIGID INSUL.
≤600mm below grade	(R10)	
Minimum RSI (R) value		
Windows & Sliding glass		
Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat	Minimum 1 OR Maximum 2 Required	
Recovery Unit (DWHR)	Dependent on number of showers installed.	
	Refer to SB12-3.1.1.2 for information	

ci- Denotes Continuous Insulation without framing interruption.

STRUDET INC.



FOR STRUCTURE ONLY

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

MOUNTAINASH 11S ELEV. 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	789.69 S.F.	157.83 S.F.	19.99 %
LEFT SIDE	1065.28 S.F.	249.99 S.F.	23.47 %
RIGHT SIDE	1039.50 S.F.	30.00 S.F.	2.89 %
REAR	769.43 S.F.	177.94 S.F.	23.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		19.9 S.F.	
TOTAL SQ. FT.	3663.90 S.F.	595.86 S.F.	16.26 %
TOTAL SQ. M.	340.38 S.M.	55.36 S.M.	16.26 %

AREA CALCULATIONS ELEV '3'

GROUND FLOOR AREA	1298 SF
SECOND FLOOR AREA	1661 SF
TOTAL FLOOR AREA	2959 SF
	(274.90 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	2959 SF
	(274.90 m2)
GROUND FLOOR COVERAGE	1305 SF
GARAGE COVERAGE/AREA	390 SF
PORCH COVERAGE/AREA	121 SF
COVERAGE W/ PORCH	1816 SF
	(168.71 m2)
COVERAGE W/O PORCH	1695 SF
	(157.47 m2)

**MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'**

VAS DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 / 416.630.4782
 vasdesign.com

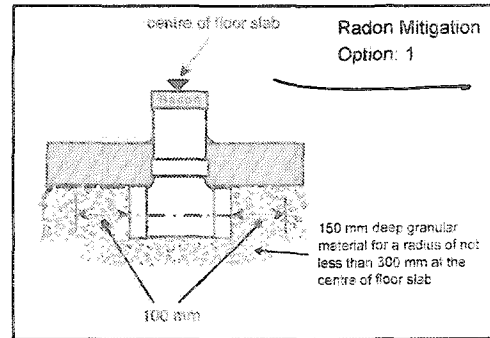
Greenpark.
 project name
RUSSELL GARDENS PH. 3
 municipality
HAMILTON

MOUNTAINASH 11S
 13.5m
 project no.
19014

date JAN. 2020	drawn by GW	checked by 3/16" = 1'-0"	scale 19014-MOUNTAINASH-11S	GENERAL NOTES & CHARTS	drawing no. A0
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2943 SF.



PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

WHEN SUNKEN MORE THAN 12" ADD 2-20M REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ SUNKEN AREA, EXTEND BARS 24" BEYOND SUNKEN AREA EACHWAY.

CHECK FOUNDATION WALL FOR SUNKEN LAUNDRY

HEARING WALL ON WIDENED FOOTING

CHECK FOUNDATION WALL FOR MAN DOOR

WHEN SUNKEN MORE THAN 12" ADD 2-20M REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ SUNKEN AREA, EXTEND BARS 24" BEYOND SUNKEN AREA EACHWAY.

UNEXCAVATED (REMOVE TOP SOIL ONLY)

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

CITY OF HAMILTON Building Division

Permit No. 21-103609
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAR 09 2021
FOR CHIEF BUILDING OFFICIAL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: 03/06/2020
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.



BASEMENT PLAN - ELEV. 3

MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'

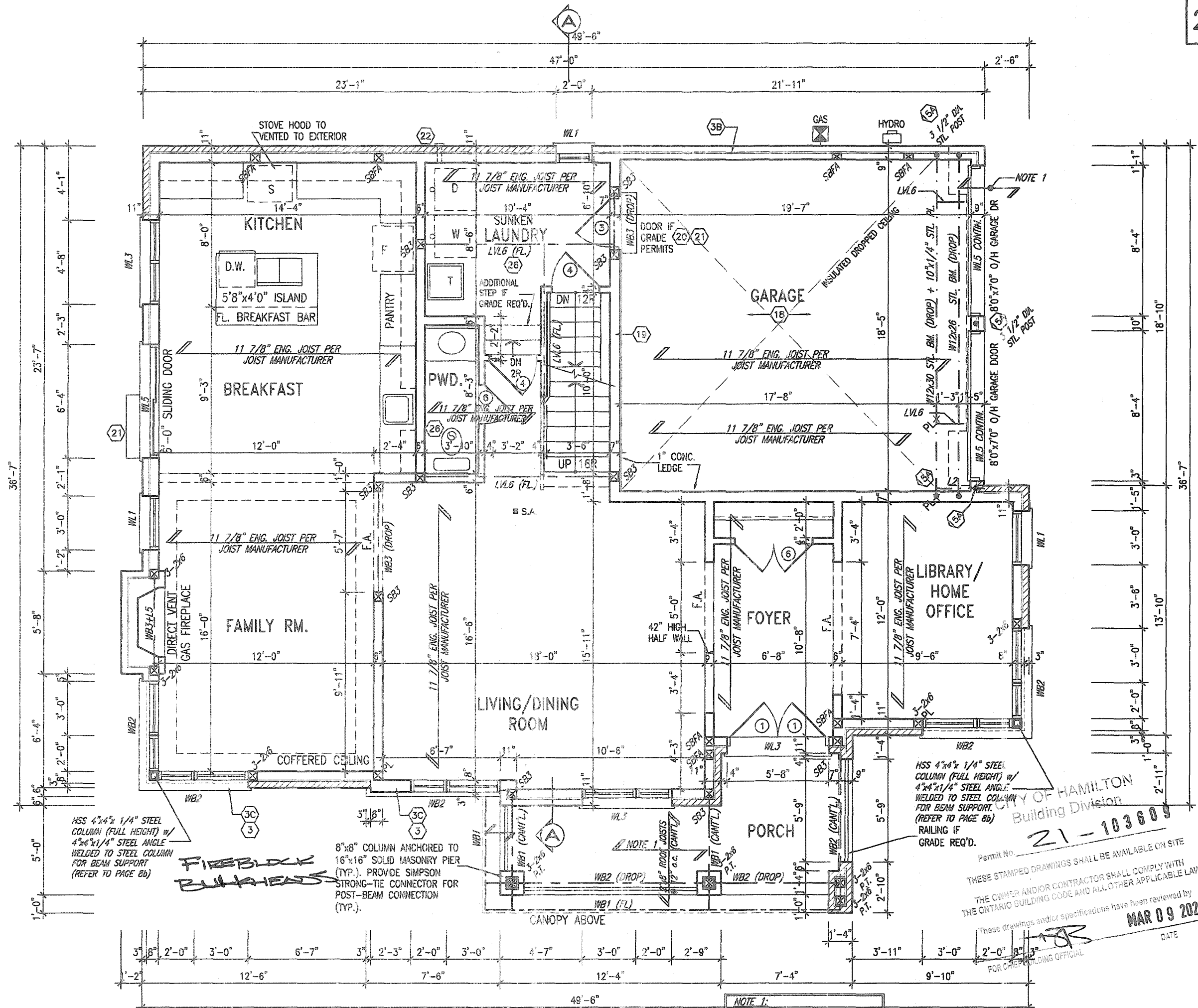
18				9					
17				8					
16				7					
15				6					
14				5					
13				4					
12				3	ISSUED FOR PERMIT.	APR 09/20	GW		
11				2	UPDATED PER CLIENT COMMENTS.	APR 08/20	GW		
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	MAR. 03/20	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
2448B
ECN
42659
name
registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON
date
JAN. 2020
drawn by
GW
checked by
[Signature]
scale
3/16" = 1'-0"
19014-MOUNTAINASH-11S
MAR 9 2021 - 9:28 AM

MOUNTAINASH 11S
13.5m
project no.
19014
drawing no.
A1b



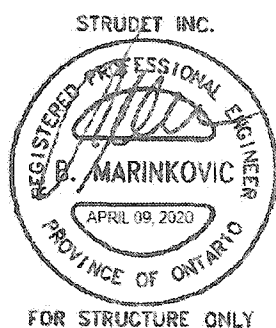
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: DEC 02, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURE ONLY

GROUND FLOOR PLAN - ELEV. 3

NOTE 1:
FLAT ROOF FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. ROOF JS
 w/ 2"x6" @ 12" O.C. P.T.
 DIAGONALLY CUT CROSS PURLINS
 w/ 5/8" EXTERIOR GRADE
 SHEATHING + SINGLE PLY ROOF
 MEMBRANE (SLOPE TO DRAIN)

MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'

18				8		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	APR 09/20
11				2	UPDATED PER CLIENT COMMENTS.	APR 05/20
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	MAR 03/20
no.	description	date	by	no.	description	date

GW	signature	_____	_____
GW	name	_____	_____
GW	registration information	_____	_____
GW	signature	<i>R. Vink</i>	2448
GW	name	_____	BC
GW	registration information	_____	_____
GW	VA3 Design Inc.	_____	4265
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. When issued, they must be returned at the completion of the work.	_____	_____
GW	Drawings are not to be copied	_____	_____

VA3

DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH. 3

date	JAN. 2020
drawn by	GW
checked by	AMNAF MOZAMBIQUE

municipality
HAMILTON

GROUND FLOOR PLAN - ELEV. 3

file name
19014-MOUNTAINASH-11S
Sched - Thu - Apr 9 2020 - 9:28 AM

MOUNTAINASH 11S
13.5m

project no.
9014

drawing no.

A2b |

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HSS 4"x4"x 1/4" STEEL COLUMN (FULL HEIGHT) w/ 4"x4"x1/4" STEEL ANGLE WELDED TO STEEL COLUMN FOR BEAM SUPPORT (REFER TO PAGE 6b)

HSS 4"x4"x 1/4" STEEL COLUMN (FULL HEIGHT) w/ 4"x4"x1/4" STEEL ANGLE WELDED TO STEEL COLUMN FOR BEAM SUPPORT (REFER TO PAGE 6b)

CITY OF HAMILTON Building Division

Permit No. 21-103

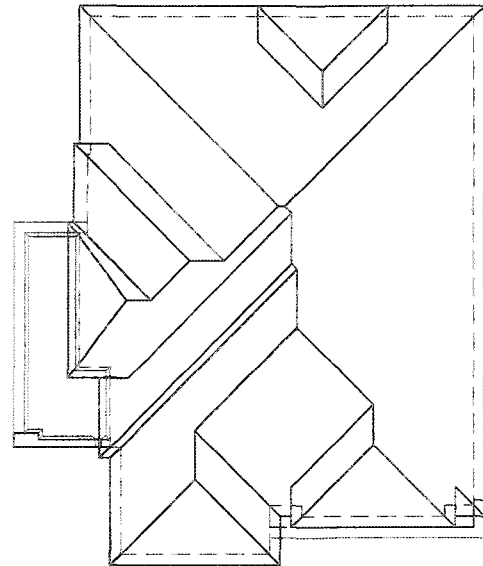
THESE STAMPED DRAWINGS SHALL BE AVAILABLE TO THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHERS.

These drawings and/or specifications have been approved by:

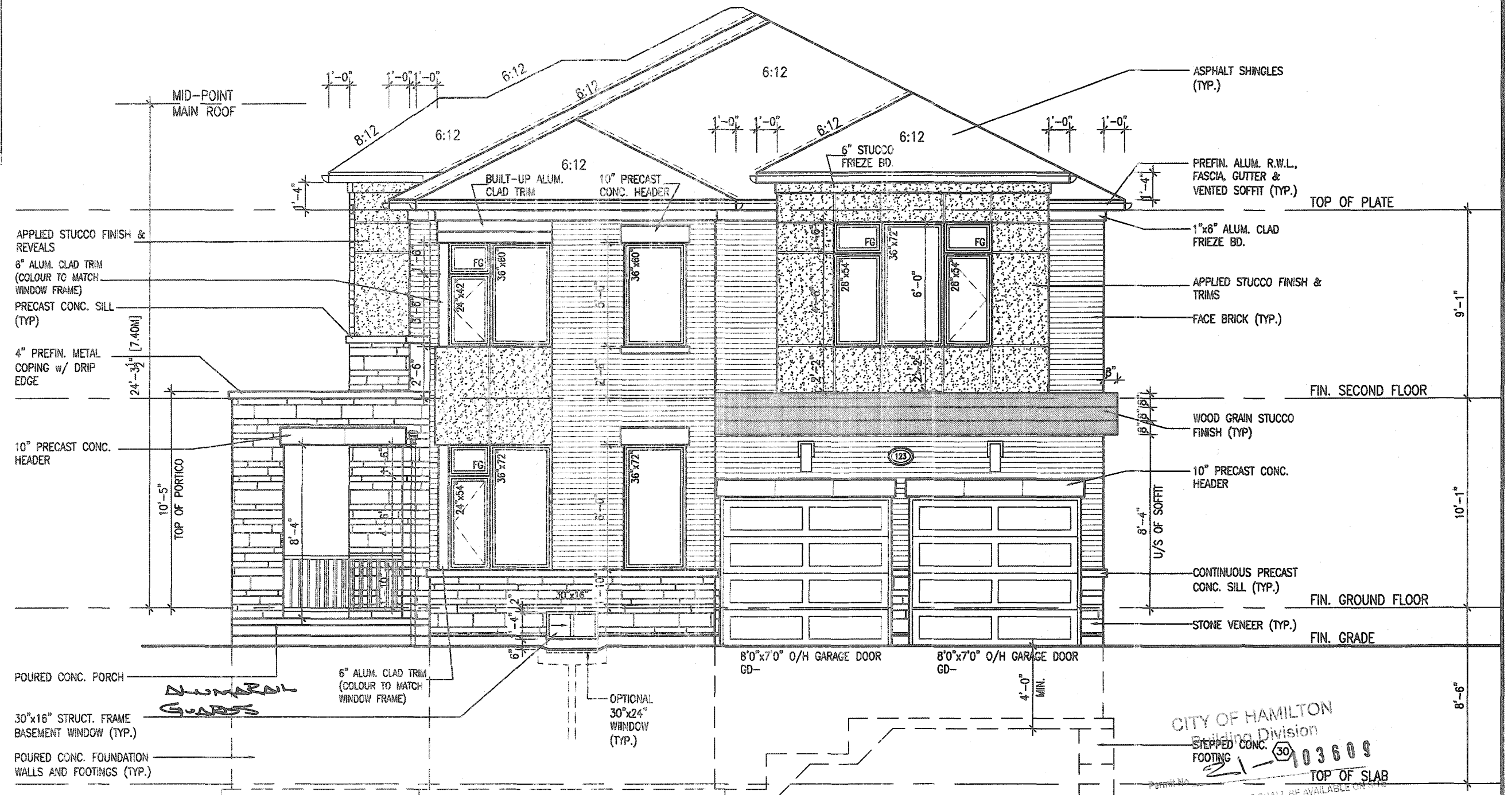
FOR CHIEF BUILDING OFFICIAL

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2943 SF.



ROOF PLAN '3'



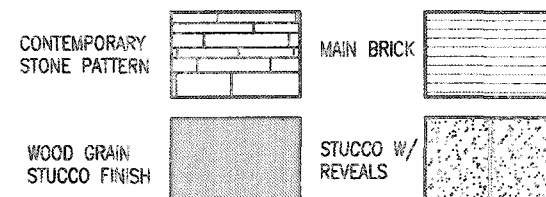
FRONT ELEVATION '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE DEC 08, 2020
This stamp certifies compliance with the applicable
Design Guidelines, only and bears no further
professional responsibility.



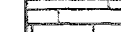
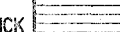
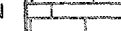
18				9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.	
17				8			
16				7		qualification information	
15				6			
14				5		Richard Vink	2448
13				4		name signature	EC
12				3	ISSUED FOR PERMIT	VAS Design Inc.	4265
11				2	UPDATED PER CLIENT COMMENTS.	APR 09/20 CW	
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	MAR. 03/20 CW	
9	no.	description	date	by	no.	description	date by

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo3design.com

MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'

 Greenpark.		MOUNTAINASH 11S 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON	
date AN, 2020		project no. 19014	
drawn by W		drawing no. A4b	
checked by C. N. M. (C. N. M.)		scale 3/16" = 1'-0"	
title 19014-MOUNTAINASH-11S		file name 19014-MOUNTAINASH-11S	

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CONTEMPORARY STONE PATTERN		MAIN BRICK	
WOOD GRAIN STUCCO FINISH		STUCCO W/ REVEALS	



MOUNTAINASH 11S	
13.5m	
project no.	19014
drawing no.	A5b
2014 - MOUNTAINASH - 11S File name Map - Jul 6 2020 - 12:07 PM	

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CONTEMPORARY
STONE PATTERN

MAIN BRICK

WOOD GRAIN
STUCCO FINISH

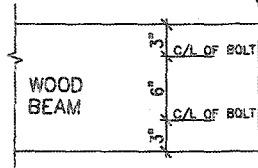
STUCCO w/
REVEALS



2943 SF.

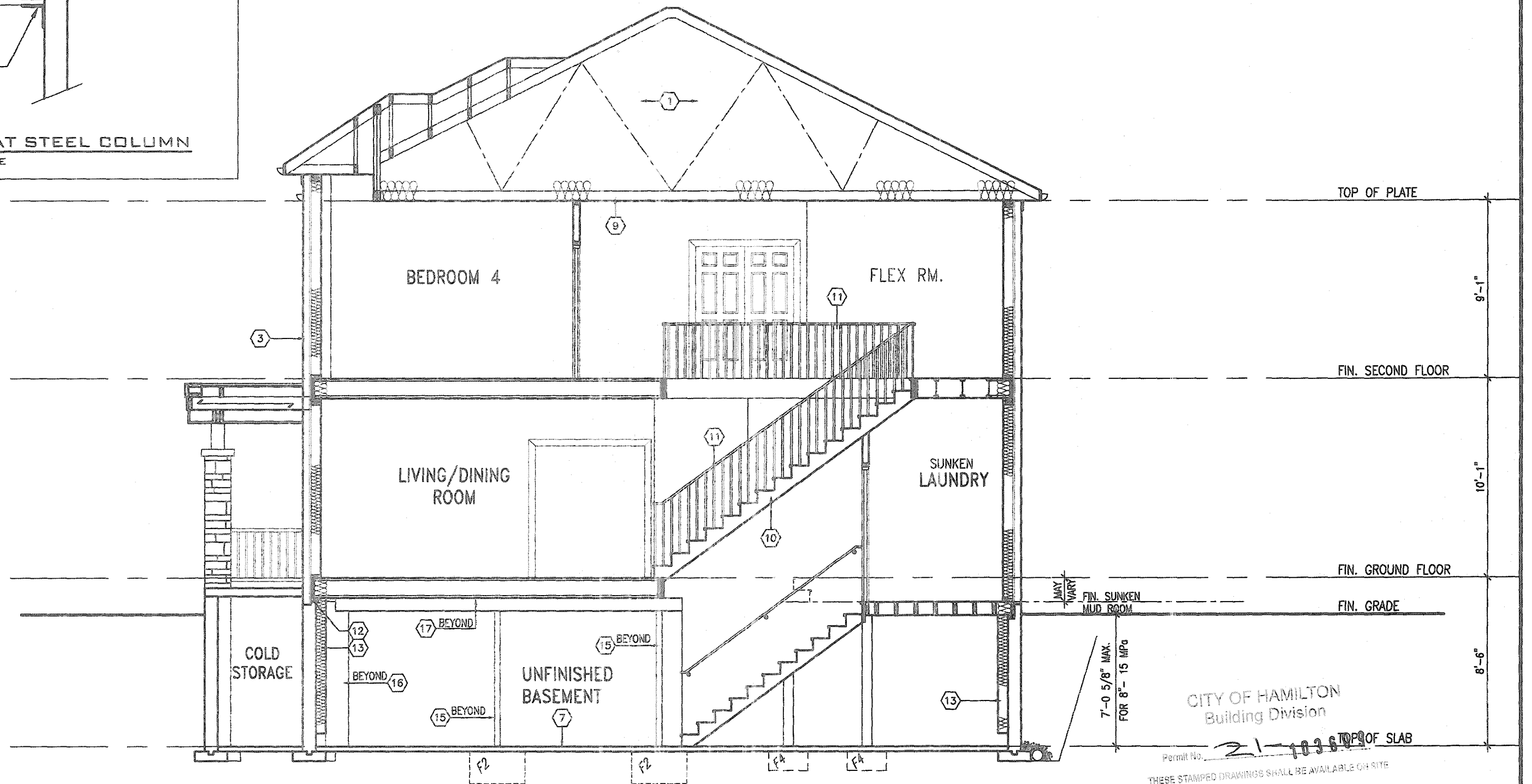
10" HIGH x 1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN. BEAM
BOLTED TO PLATE WITH
2-1/2" DIA. BOLTS.

HSS 4"x4"x 1/4" STEEL
COLUMN (FULL HEIGHT)

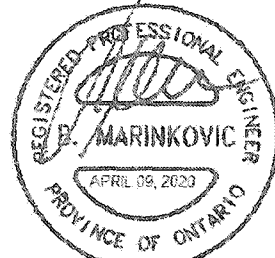


4"x4"x1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN FOR
BEAM SUPPORT

ELEV.
WOOD LINTEL AT STEEL COLUMN
SCALE: NOT TO SCALE



STRUDET INC.



FOR STRUCTURE ONLY

CROSS SECTION 'A-A'
ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

CITY OF HAMILTON
Building Division
Permit No. **21-10369**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAR 09 2021
FOR CHIEF BUILDING OFFICIAL

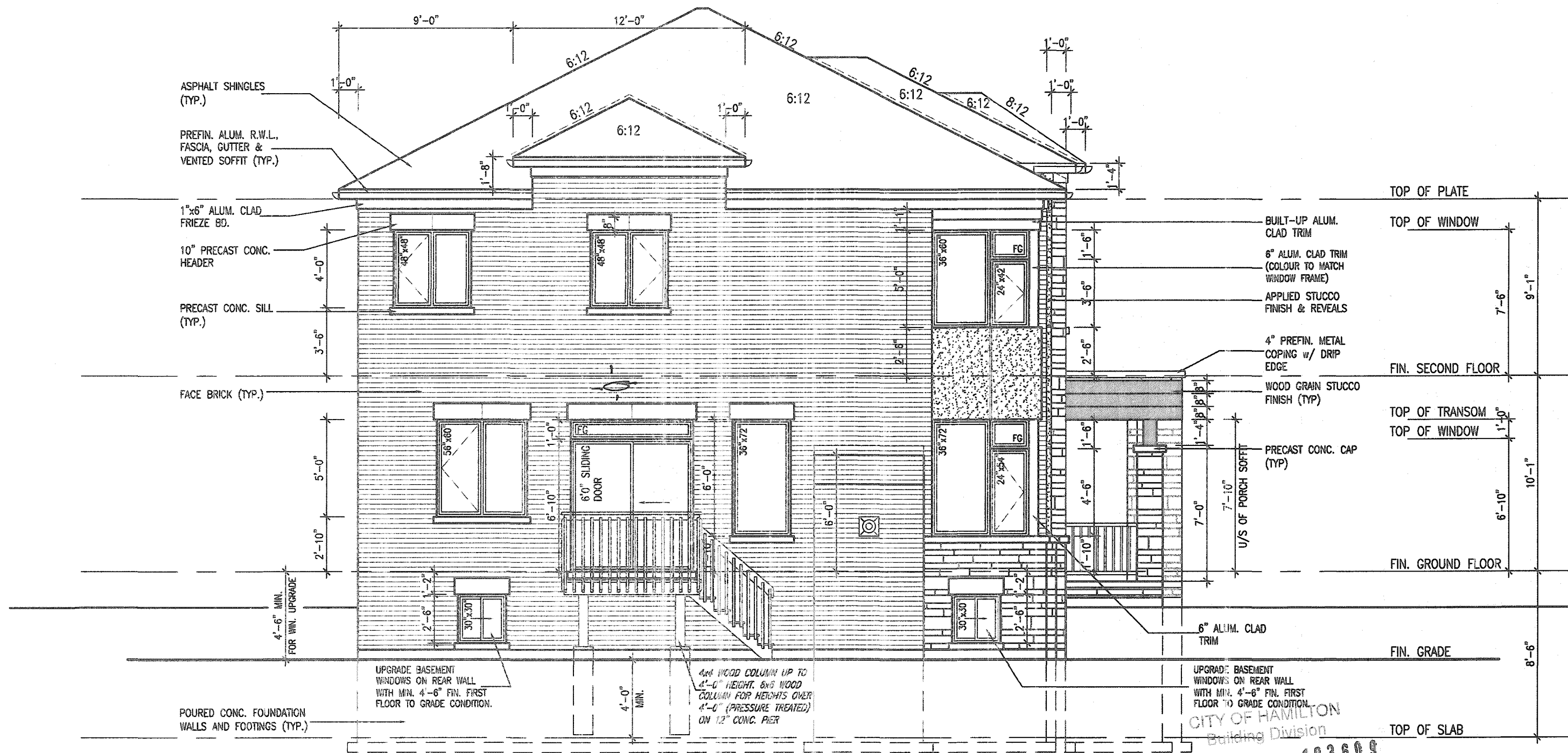
MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'

18.			9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. signature 26486 42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 f 416.630.4782 va3-design.com	Greenpark. project name RUSSELL GARDENS PH. 3 municipality HAMILTON date JAN. 2020 drawn by GW checked by 3/16" = 1'-0"	SECTION A-A- ELEV. 3 19014-MOUNTAINASH-11S drawing no. A8b
17.			8.						
16.			7.						
15.			6.						
14.			5.			Richard Vink signature 26486 42658	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	SECTION A-A- ELEV. 3 19014-MOUNTAINASH-11S drawing no. A8b	
13.			4.						
12.			3.	ISSUED FOR PERMIT.	APR 09/20 GW				
11.			2.	UPDATED PER CLIENT COMMENTS.	APR 09/20 GW				
10.			1.	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 04/20 GW				
no.	description	date	by	no.	description	date	by		

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2943 SF.



REAR ELEVATION '3'-
DECK CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 08, 2020
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT.	APR 09/20	GW
11				2	UPDATED PER CLIENT COMMENTS.	APR 09/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB 04/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS3
DESIGN
235 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vas3design.com

Permit No. 21-103609
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL
DATE: MAR 09 2021

MOUNTAINASH 11S
COMPLIANCE PACKAGE 'A1'

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON	project no.	19014
date	JAN. 2020	drawn by	GW	checked by	3/16" = 1'-0"
file name	19014-MOUNTAINASH-11S	drawing no.	A10b		