

3125 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa. NATIVE SOIL. 90 KPa. ENGINEERED FILL SOIL.
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)
WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)
WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)
L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

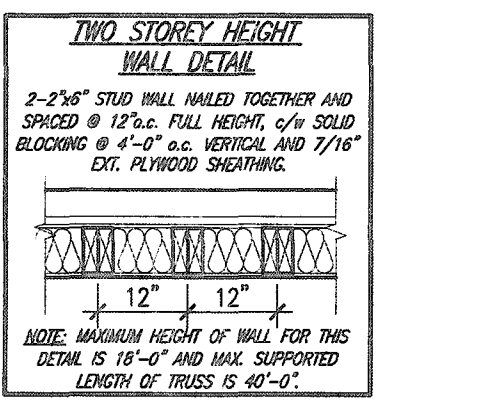
DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0" CEILING	10' OR MORE CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" - 7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

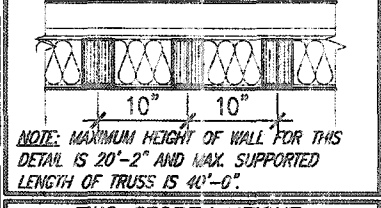
NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

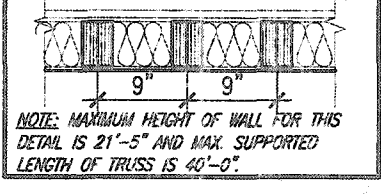
NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



TWO STOREY HEIGHT WALL DETAIL
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



TWO STOREY HEIGHT WALL DETAIL
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



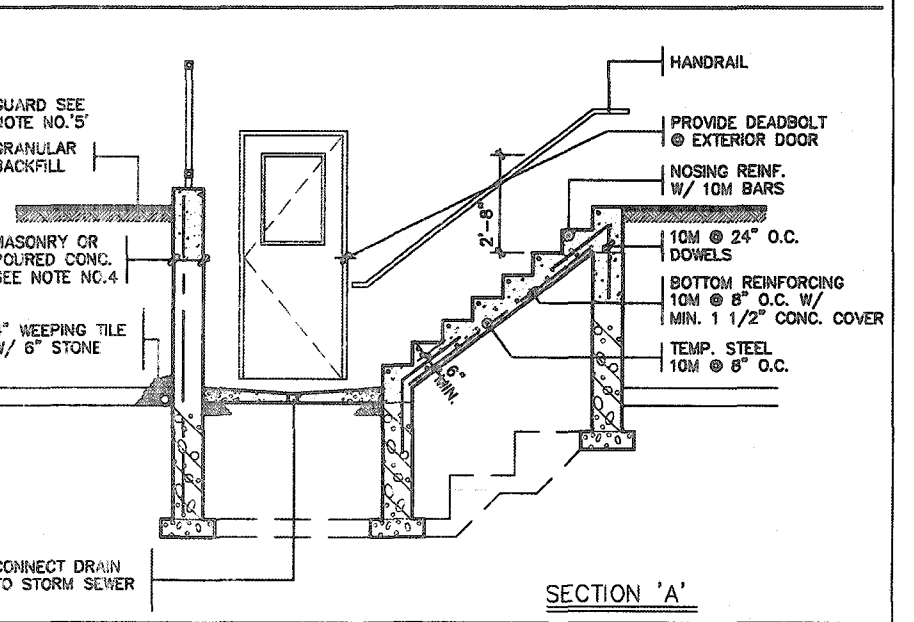
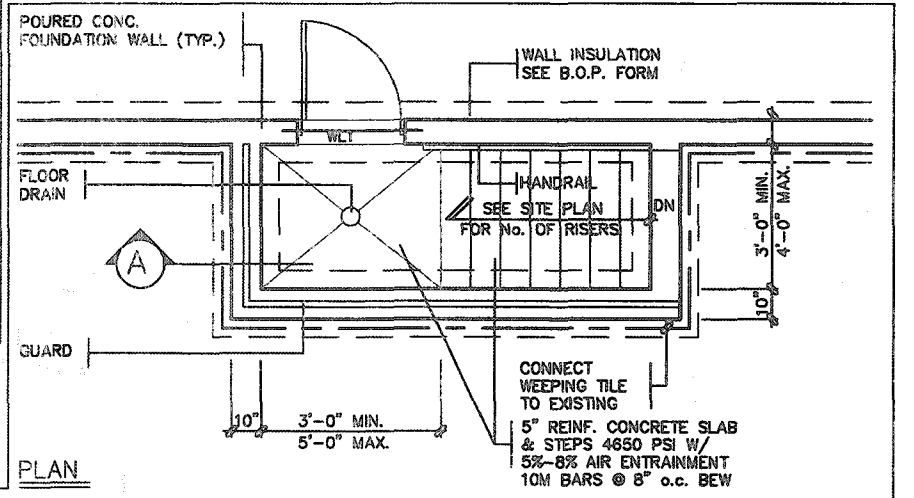
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Walls Above Grade	1.76 (R10)	RIGID INSUL.
Minimum RSI (R) value	0.23	
Windows & Sliding glass	0.49	
Doors	0.8	NATURAL GAS
Maximum U-value	0.8	NATURAL GAS
Skylights	75%	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci - Denotes Continuous Insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
MOUNTAINASH 12-156, ELEV. 3		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	806.74 S.F.	165.03 S.F.	20.46 %
LEFT SIDE	1105.85 S.F.	228.97 S.F.	20.71 %
RIGHT SIDE	1099.85 S.F.	35.33 S.F.	3.21 %
REAR	798.74 S.F.	164.61 S.F.	20.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3811.18 S.F.	593.94 S.F.	15.58 %
TOTAL SQ. M.	354.07 S.M.	55.18 S.M.	15.58 %



- GENERAL NOTES**
- FOOTINGS**
16"x6" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.
 - CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF (32MPa) 4650 PSI @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT
 - EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/4" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
 - RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. & 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
 - GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

BASEMENT WALK-UP
PLAN, SECTION & NOTES
SCALE: N.T.S.

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1377 SF	
SECOND FLOOR AREA	1726 SF	
TOTAL FLOOR AREA	3103 SF	(288.28 m2)
FIRST FLOOR OPEN AREA	XX SF	
SECOND FLOOR OPEN AREA	14 SF	
ADD TOTAL OPEN AREAS	+14 SF	
ADD FINISHED BSMT AREA	+XX SF	
GROSS FLOOR AREA	3117 SF	(289.58 m2)
GROUND FLOOR COVERAGE	1383 SF	
GARAGE COVERAGE/AREA	390 SF	
PORCH COVERAGE/AREA	45 SF	
COVERAGE W/ PORCH	1818 SF	(168.90 m2)
COVERAGE W/O PORCH	1773 SF	(164.72 m2)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

CITY OF HAMILTON BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
SEP 17 2020
PROF. OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON Building Division
Permit No. 21-105976
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
Feb 22, 2021
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 12-156 COMPLIANCE PACKAGE 'A1'

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.830.2255 f 416.830.4782
vasdesign.com

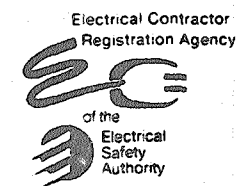
Greenpark
MOUNTAINASH 12
13.5m
19014

RUSSELL GARDENS PH. 3
HAMILTON
JANUARY 2020
drawn by _____ checked by _____ scale 3/16" = 1'-0"
19014-MOUNTAINASH-12-156
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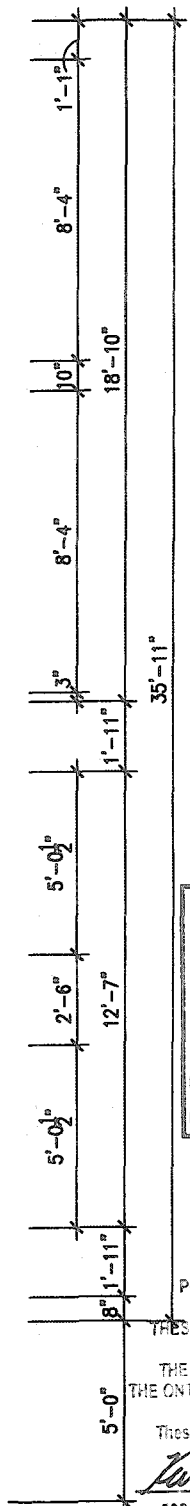
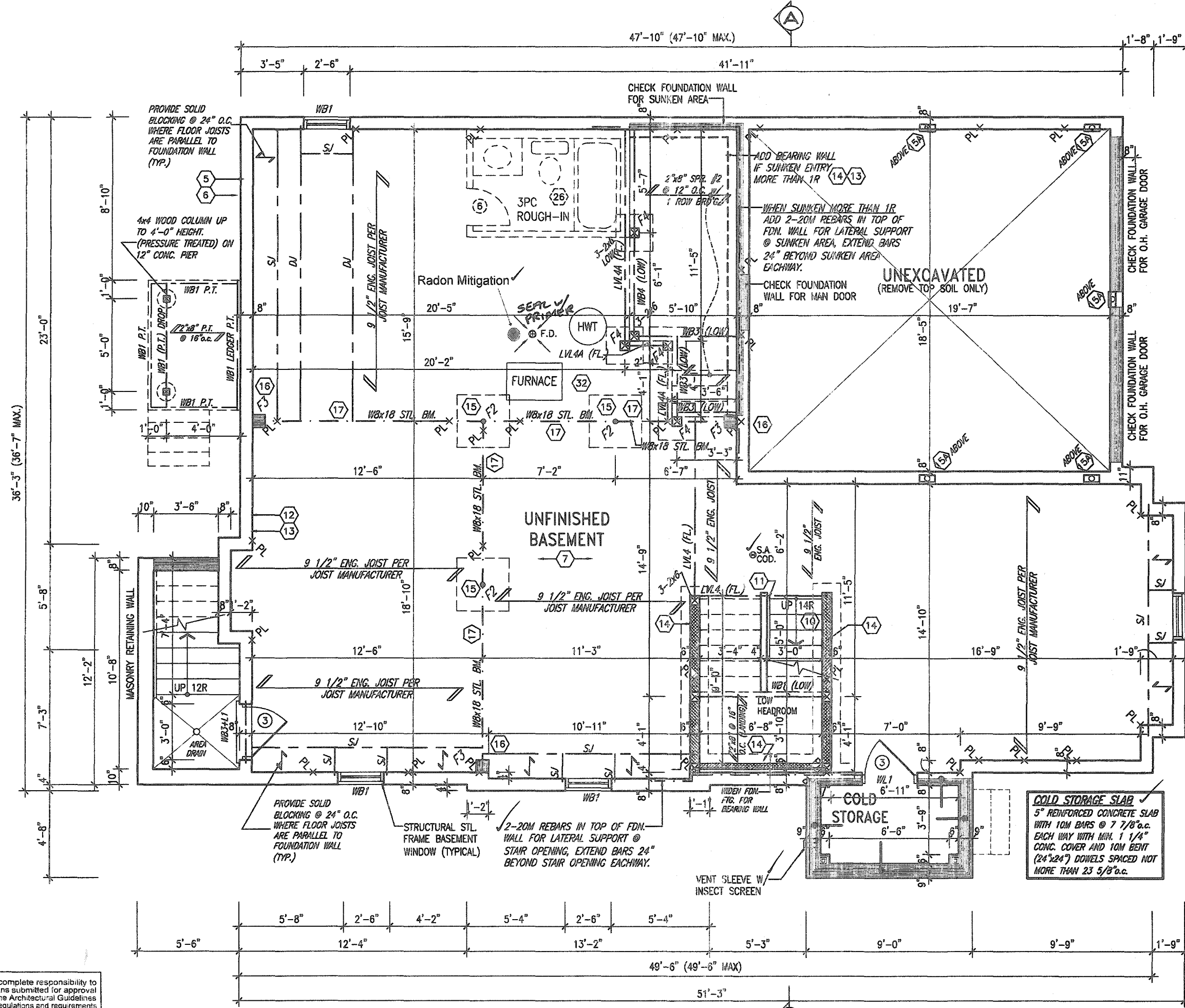
GENERAL NOTES & CHARTS
drawing no. **AO**

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3125 SF.

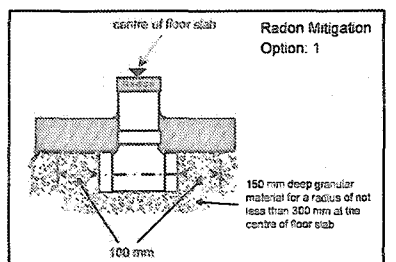


ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233). PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-105920
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.
These drawings and/or specifications have been reviewed by
Kim Smith Feb 22, 2021
FOR CHIEF BUILDING OFFICIAL DATE _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
SEP 17/2022
PROFESSIONAL ENGINEER OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT PLAN - ELEV. 3 *A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT

18			9		
17			8		
16			7		
15			6		
14			5		
13			4		
12			3	ISSUED FOR PERMIT.	APR 09/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 23/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
none
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 12
13.5m
project name: RUSSELL GARDENS PH. 3
municipality: HAMILTON
project no.: 19014
drawing no.: 19014
BASEMENT PLAN - ELEV. 3
JANUARY 2020
drawn by: DB
checked by: 3/16" = 1'-0"
scale: 19014-MOUNTAINASH-12-156
18014-MOUNTAINASH-12-156 - Top - Sep 6 2020 - 3:16 PM
A1b

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

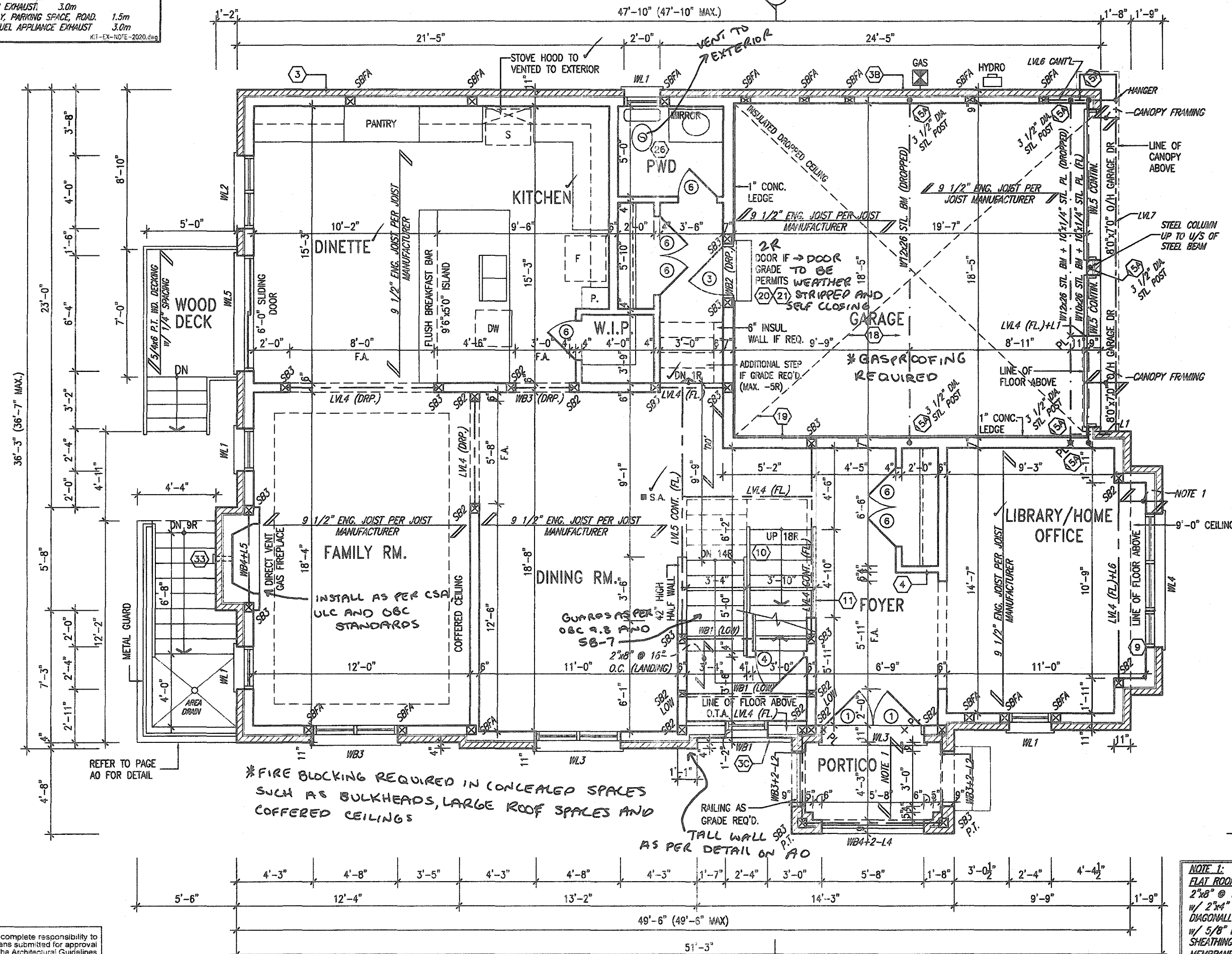
• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-FX-NOT-2020.doc

3125 SF.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
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FIND A CONTRACTOR AT
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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-105920

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and/or specifications have been reviewed by

Ken Smith Feb 22, 2022
FOR CHIEF BUILDING OFFICIAL DATE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

MIN. SOLID BEARING REQUIRED
BEAMS - 3-1/2" JOISTS - 1-1/2"
STEEL LINTELS - 6"

MOUNTAINASH 12-156
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 

DATE JAN 28 2021

DATE JAN 28, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
7/2028

GROUND FLOOR PLAN - ELEV. 3

18	-	-	9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17	-	-	8	-	-	
16	-	-	7	-	-	qualification information
15	-	-	6	-	-	Richard Vink 2448
14	-	-	5	-	-	signature BC
13	-	-	4	-	-	name 4265
12			3	ISSUED FOR PERMIT.	APR 09/20	CW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	CW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 23/20	CW
no description			date by no description			date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink name signature registration information VAS Design Inc.	2448 BC 4265
--	-----------------------------------

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



Greenpark.

PROJECT NAME

RUSSELL GARDENS PH. 3

MUNICIPALITY

HAMILTON

DATE

JANUARY 2020

DRAWN BY

DB

SCALE

3/16" = 1'-0"

GROUND FLOOR

190

MOUNTAINASH 12	
13.5m	
project	1901
PLAN - ELEV. 3	drawing no.
file name	A2b
1-MOUNTAINASH-12-156	
(146.dwg - Tue - Sep 8 1993 - 3:48 PM)	

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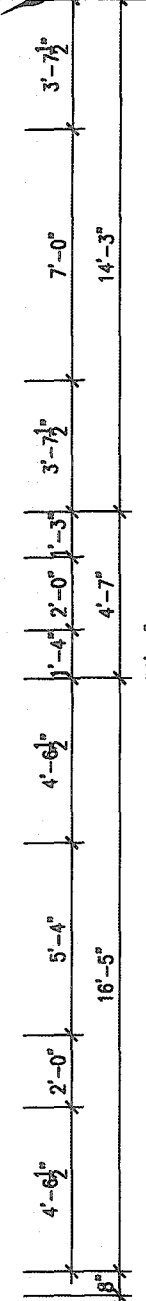
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(g). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. GS-NCTE-2020-260

Electrical Contractor
Registration Agency
EE
of the
Electrical
Safety
Authority

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED**

**FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)**

**PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca**



REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

MOUNTAINASH 12-156
COMPLIANCE PACKAGE 'A1'

A3b |

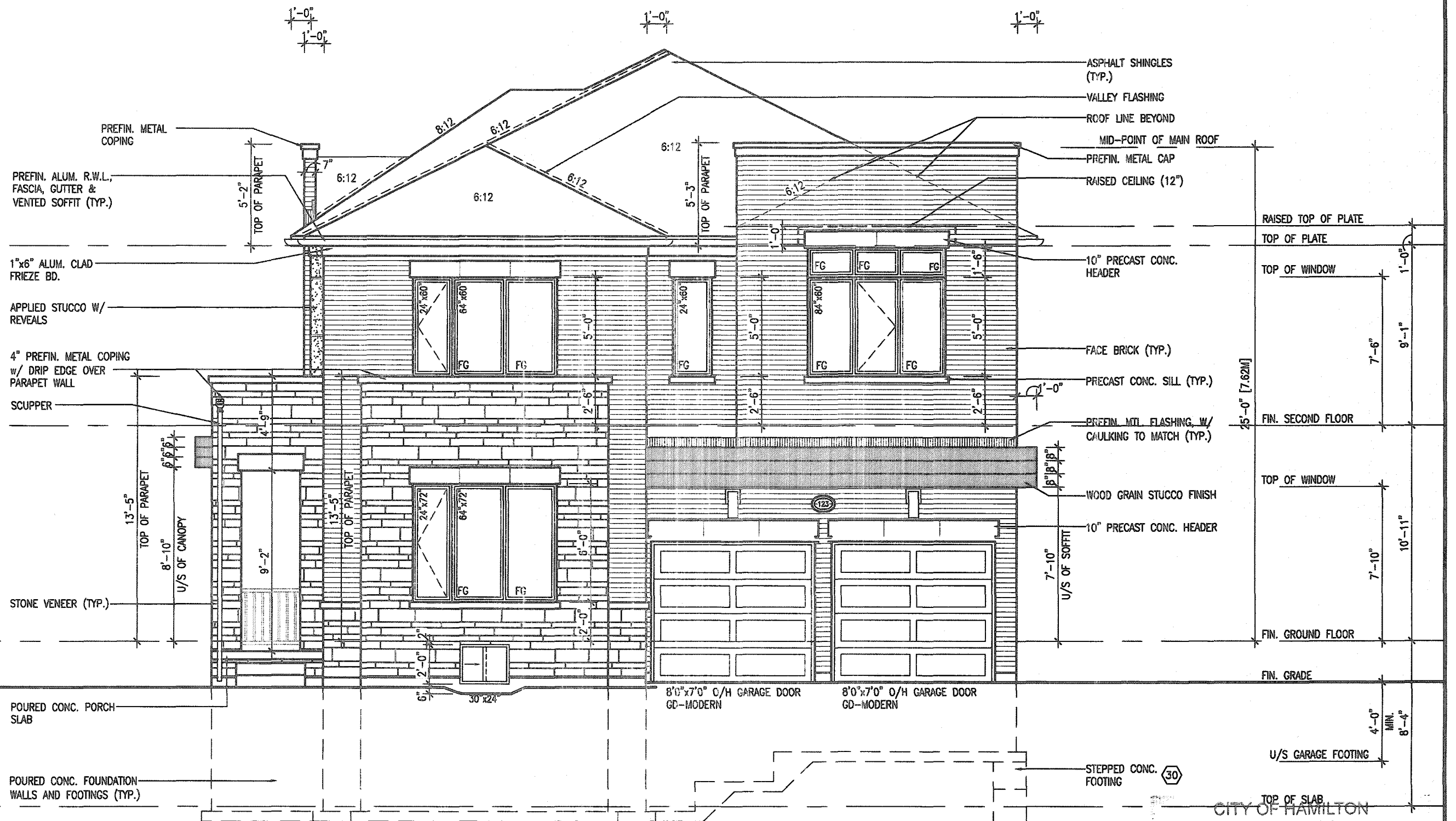
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CONTEMPORARY
STONE PATTERN

MAIN BRICK

WOOD GRAIN
STUCCO FINISH

STUCCO W/
REVEALS



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Kenn Smith Feb 22, 2021

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the
17				8			Ontario Building Code to be a Designer.
16				7			qualification information
15				6			Richard Vink
14				5			name
13				4			registration information
12				3	ISSUED FOR PERMIT.	APR 09/20 GW	VA3 Design Inc.
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 05/20 CW	Contractor must verify all dimensions on the job end report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 23/20 GW	Drawings are not to be used
no. description				date by		no. description	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and means the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R. Vink</i>
Richard Vink	244
name	signature
registration information	
VA3 Design Inc.	428
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

date	JANUARY 2020
drawn by	DB
CSEC - HARRIS-5510230	

file name
19014-MOUNTAINASH-12-156

drawing no.
A4b

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10" PRECAST CONC. HEADER

STONE VENEER

8'-10" U/S OF SOFFIT

12'-7" 8'-0"

9'-4"

8'-10" TOP OF ARCH

FIN. GROUND FLOOR

FIN. GRADE

INTERIOR PORTICO ELEV. 3

CONTEMPORARY STONE PATTERN 	MAIN BRICK 
WOOD GRAIN STUCCO FINISH 	STUCCO w/ REVEALS 

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: JAN 28 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

→ $LD = OK$

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 05 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

TOP OF SLAB
CITY OF HAMILTON
Building Division

Permit No. 21-105920

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by _____

Ann Smith Feb 22, 2021
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 12-156
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 12
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON	19014

date JANUARY 2020 FLANKAGE ELEVATION - ELEV. 3 drawing no. A5b
designed by DB checked by -- scale 3/16" = 1'-0" file name 19014-MOUNTAINASH-12-156
C:\Users\jgordon\AppData\Local\Microsoft\Windows\Temporary Internet Files\Content.IE5\F7H8QJGK\19014-MOUNTAINASH-12-156.dwg Tm = Sun 8/23/2020 1:56 PM

VA3 DESIGN

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CONTEMPORARY
STONE PATTERN

MAIN BRICK

WOOD GRAIN
STUCCO FINISH

STUCCO w/
REVEALS

FEB 05 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

— ASPHALT SHINGLES
(TYP.)

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

TOP OF WINDOW

4" PREFIN. METAL COPING
w/ DRIP EDGE OVER
PARAPET WALL

CONTEMPORARY
STONE PATTERN
(TYP.)

30
STEPPED CONC.-
FOOTING

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF SLAB
CITY OF HAMILTON
Building Division

Permit No. 21-105970

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
Kem Smith Feb 22, 2021
 FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 12-156
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and does not form
professional responsibility.

RIGHT SIDE ELEVATION 3

ALLOWABLE GLAZED OPENINGS
WALL AREA
LIMITING DISTANCE
GLAZING ALLOWED
GLAZING PROVIDED

1096.34 ft^2
 $= 1034.25 \text{ SQ. FT.}$
 $1.2 \text{ M (7\%)} \checkmark$
 $= 72.19 \text{ SQ. FT.}$
 $= 37.00 \text{ SQ. FT. (R.S.O.)}$

LD = OK

18	.	.	.	9	.	.	.
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12	.	.	.	3	ISSUED FOR PERMIT.	APR 08/20	GU
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GU
10	.	.	.	1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GU
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	<i>R. Vink</i>	244
name registration information	signature	6
V43 Design Inc.		428
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.		

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DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name RUSSELL GARDENS PH. 3		municipality HAMILTON		project no. 19014
date JANUARY 2020		drawing no. RIGHT SIDE ELEVATION - ELEV. 3		
drawn by DB	checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-12-156	A6b
DB - HAMILTON ENGINEERING CONSULTING LTD. 1000 BURNHAMTHORPE RD. UNIT 100 MISSISSAUGA, ONT. L4V 1N2 TEL: (905) 270-8861 FAX: (905) 270-8862				

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CONTEMPORARY STONE PATTERN

MAIN BRICK

WOOD GRAIN STUCCO FINISH

STUCCO w/ REVEALS

FEB 05 2021

Architectural drawing of the rear elevation of a building. The drawing includes the following details and dimensions:

- Roof:** Asphalt shingles (typ.). Pitch 6:12. Horizontal dimensions: 14'-0 1/2", 8'-3", 15'-7 1/2". Vertical dimension: 5'-2".
- Exterior Walls:**
 - Upper story: 1" x 6" alum. clad frieze bd. (typ.).
 - Lower story: Face brick (typ.).
 - Right side: Contemporary stone pattern (typ.).
- Windows:**
 - Upper story: Three 56" x 54" FG windows.
 - Lower story: 48" x 72" FG window, 60" sliding door, 26" x 72" FG window, 26" x 72" FG window.
- Door and Porch:**
 - 60" sliding door.
 - Porch: 4" x 4" wood column up to 4'-0" height, 6" x 6" wood column for heights over 4'-0" (pressure treated) on 12" conc. pier.
 - 4'-0" MIN. clearance.
- Foundation and Details:**
 - 10" precast conc. sill (typ.).
 - 3'-0" vertical dimension.
 - 10" precast conc. header (typ.).
 - Face brick cap w/ flashing full depth.
 - 42" high metal guardrail fastened to pour conc. fdn wall at brick face of unit.
 - Railing as grade req'd.
 - Contemporary stone pattern (typ.).
 - Provide 6" high poured conc. curb for door sill.
 - Floor drain to connect to storm sewer.
 - Step footing as required (30).

REAR ELEVATION 3

STEP FOOTING AS
REQUIRED (30)

MOUNTAINASH 12-156
COMPLIANCE PACKAGE 'A1'

Permit No. 21-105920

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
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These drawings and/or specifications have been reviewed by _____

Kens Smith Feb 22, 2021
FOR CHIEF BUILDING OFFICIAL DATE



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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH. 3

HAMILTON

REAR ELEVATION - ELEV. 3

file name
19014-MOUNTAINASH-12-156

MOUNTAINASH 12
13.5m

Project no.
9014

rowing no.

7b

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28 2021

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12	.	.	.	3	ISSUED FOR PERMIT.		APR 09/20	G
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no	description	date	by	no	description	date	by	

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W		qualification information	
W		Richard Vink	24
W		name registration information	
W		V33 Design Inc.	42
W		Contractor must verify if dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the professional Designer which must be returned at the completion of the project.	

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