

3409 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
 FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW EXTERIOR WALLS.
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
 BELOW PARTY WALLS.
 (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
 F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
 WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
 WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
 WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
 WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
 WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
 WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
 WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
 WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
 WB2 = 3-2"x8" (3-38x184) SPR. No.2
 WB3 = 2-2"x10" (2-38x235) SPR. No.2
 WB4 = 3-2"x10" (3-38x235) SPR. No.2
 WB5 = 2-2"x12" (2-38x286) SPR. No.2
 WB6 = 3-2"x12" (3-38x286) SPR. No.2
 WB7 = 5-2"x12" (5-38x286) SPR. No.2
 WB11 = 4-2"x10" (4-38x235) SPR. No.2
 WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
 LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
 LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
 LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
 LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
 LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
 LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
 LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
 LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
 LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
 LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
 LVL8 = 2-1 3/4"x14" (2-45x356)
 LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

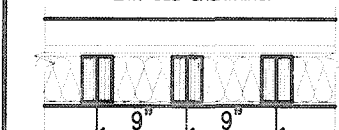
L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
 L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
 L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
 L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
 L5 = 6" x 4" x 3/8" L (150x100x10.0L)
 L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

TWO STOREY HEIGHT WALL DETAIL

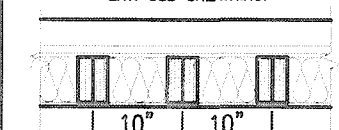
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
 STUD WALL GLUED & NAILED TOGETHER AND
 SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID
 BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
 EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
 STUD WALL GLUED & NAILED TOGETHER AND
 SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID
 BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
 EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Basement Walls	1.76 (R10)	RIGID INSUL
Edge of Below Grade Slab		
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci - Denotes Continuous Insulation without framing interruption.

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

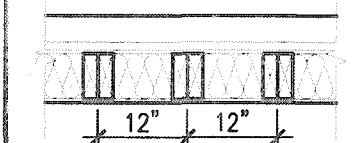
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
 Building Division

Permit No. 21-106040

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

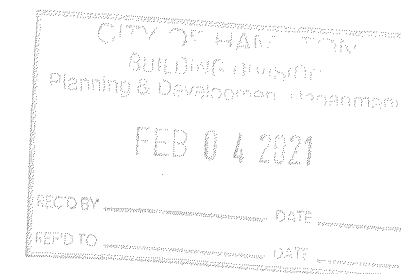
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

For Chief Building Official DATE

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

MOUNTAINASH 6-172 ELEV. 2 (48ED)	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	866.64 S.F.	152.46 S.F.	17.59 %
LEFT SIDE	1500.60 S.F.	92.00 S.F.	6.13 %
RIGHT SIDE	1429.98 S.F.	47.33 S.F.	3.31 %
REAR	983.39 S.F.	159.16 S.F.	16.18 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4780.61 S.F.	450.95 S.F.	9.43 %
TOTAL SQ. M.	444.13 S.M.	41.89 S.M.	9.43 %



STRUDET INC.
 FOR STRUCTURE ONLY

MOUNTAINASH 6-172

COMPLIANCE PACKAGE 'A1'



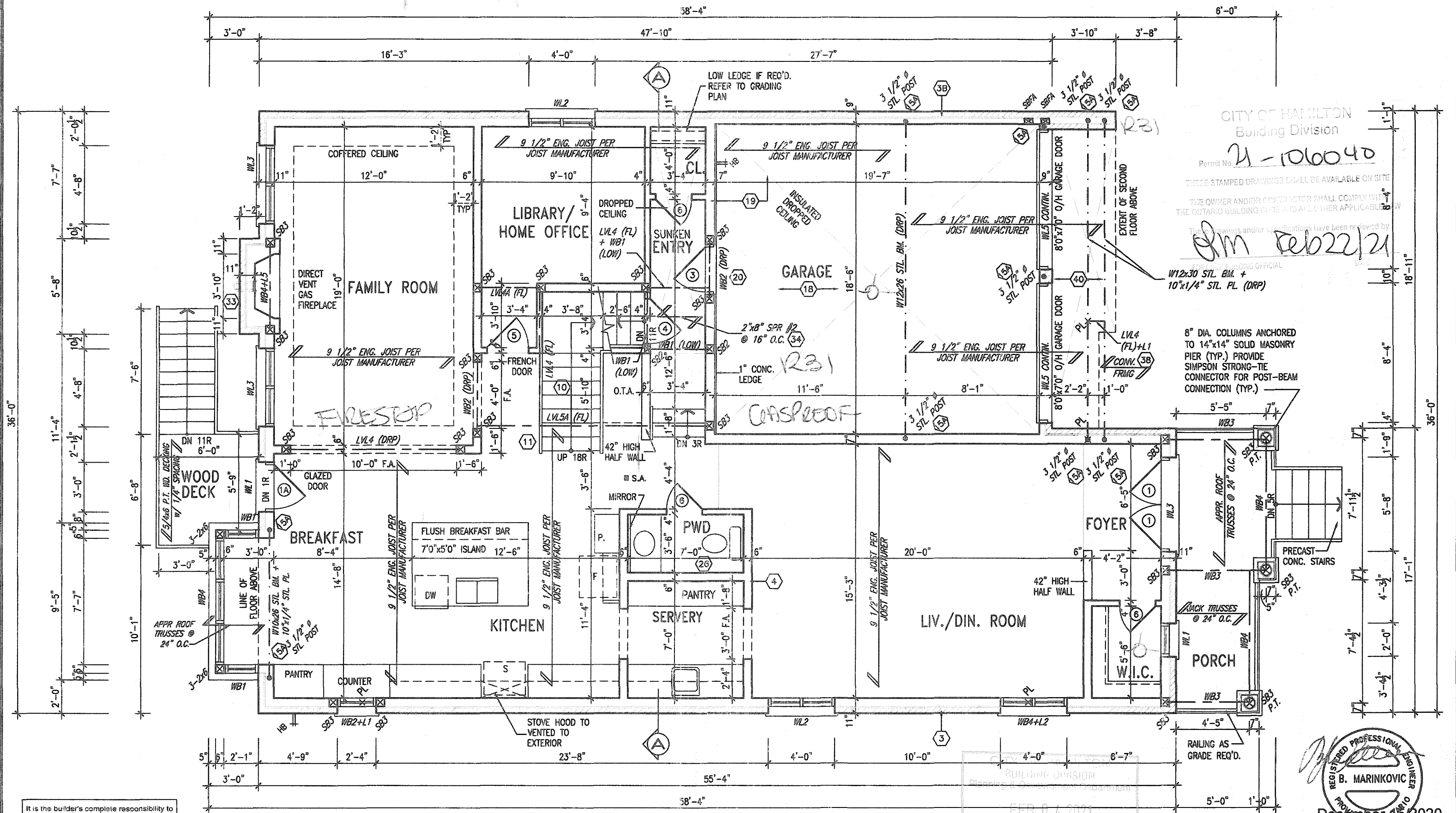
255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 f 416.630.4782
 va3design.com



project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ONTARIO	project no. 19014
date JAN 2020	drawn by BD.BIM	checked by 3/16" = 1'-0"
GENERAL NOTES & CHARTS		
19014-MOUNTAINASH-6-172		
drawing no. A0		

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3409 SF.



GROUND FLOOR PLAN - ELEV. '2'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18			9			
17			8			
16			7			
15			6	REVISED REAR BOX BAY PER CLIENT.	DEC. 11/20	WT
14			5	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 09/20	GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12			3	ISSUED FOR PERMIT.	APR 13/20	GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
ECN
V3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f. 416.630.4782
va3design.com

V3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 f. 416.630.4782
va3design.com

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
REC'D BY: [Signature]
DATE: [Signature]
REF'D TO: [Signature]
DATE: [Signature]

MOUNTAINASH 6-172
COMPLIANCE PACKAGE 'A1'

Greenpark.

project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ONTARIO
project no.
19014
drawing no.
A2a
date
JAN 2020
checked by
3/16" = 1'-0"
18014-MOUNTAINASH-6-172
19014-MOUNTAINASH-6-172

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVIDED BY
December 15, 2020

STRUDET INC.
FOR STRUCTURE ONLY

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

TOP OF PLATE
 TOP OF WINDOW
 7'-6"
 9'-1"
 FIN. SECOND FLOOR
 TOP OF WINDOW/DOOR
 8'-0"
 10'-11"
 FIN. GROUND FLOOR
 FIN. GRADE
 4'-0"
 MIN.
 8'-4"
 U/S GARAGE FOOTING
 TOP OF SLAB

These drawings and/or specifications have been
DM VALLEY FLASHING Feb 22/22
 (TYP.)
 FOR Mid-Point Main Roof

—18" RAISED CEILING

— STEPPED FOOTING $\sqrt{30}$

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

8'-0" x 7'-0"
RECESSED O/H
GARAGE DOOR
GD-2B

18			9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8				
16			7				
15			6	REVISED REAR BOX BAY PER CLIENT.	DEC. 11/20	WT	Richard Wink
14			5	CUSTOM DRAWING PER PURCHASER REQUEST	NOV. 09/20	GW	signature
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	qualification information
12			3	ISSUED FOR PERMIT.	APR 13/20	GW	V&S Design Inc.
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 20/20	GW	
9	no. description	date	hw	no. description	date	hw	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Wink	2440
name	signature
registration information	BC
V&S Design Inc.	4285
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE JAN 28, 2021

The stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

CITY OF HAMILTON
Building Division

Permit No. 24-1006940

THREE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

Jim Kellogg 12/21

Official Unit

- VALLEY FLASHING (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

TOP OF PLATE

TOP OF WINDOW

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 04 2021

- STONE VENEER (TYP.)

FIN. SECOND FLOOR

TOP OF WINDOW

8" DIA. COLUMN
- ANCHORED TO 14"x14"
SOLID MASONRY PIER
(TYP.)

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

- STEPPED FOOTING  30

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1500.47 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=105.03 SQ. FT.
GLAZING PROVIDED	=78.11 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 6-172
-----*) COMPLIANCE PACKAGE 'A1'

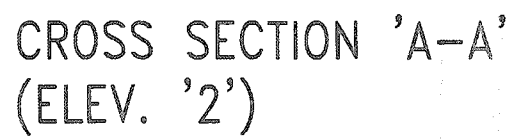
[illegible]

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
No. 12345
Exp. Dec 15, 2020
PROFESSIONAL ENGINEER
STATE OF ONTARIO



MOUNTAINASH 6-172
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8			qualification information
16				7			
15				6	REVISED REAR BOX BAY PER CLIENT.	DEC. 11/20	WT Richard Vink 2448B
14				5	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 09/20	GW name signature BCN
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW registration information VA3 Design Inc. 4265B
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

MOUNTAINASH 6
13.5m

project no. 19014

project name: RUSSELL GARDENS PH. 3
location: HAMILTON, ONTARIO

date: JAN 2020
drawing by: BD.BIM
checked by: -
scale: 3/16" = 1'-0"

CROSS SECTION 'A-A'
title name: 19014-MOUNTAINASH-6-172

A8a

THIS IS A PRELIMINARY DESIGN AND NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL NECESSARY INFORMATION FROM THE PROJECT TEAM AND TO VERIFY THE ACCURACY OF THE DATA PROVIDED. ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY THE DESIGNER. DATE: JAN 11, 2020 BY: JSD/PW

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.