

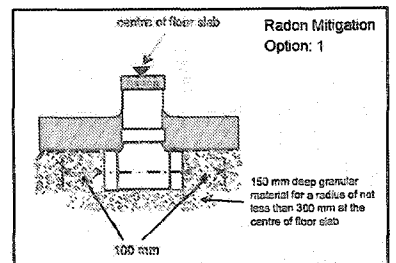
3086 SF.

VEENER CUT
WHEN VEENER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugsafely.ca



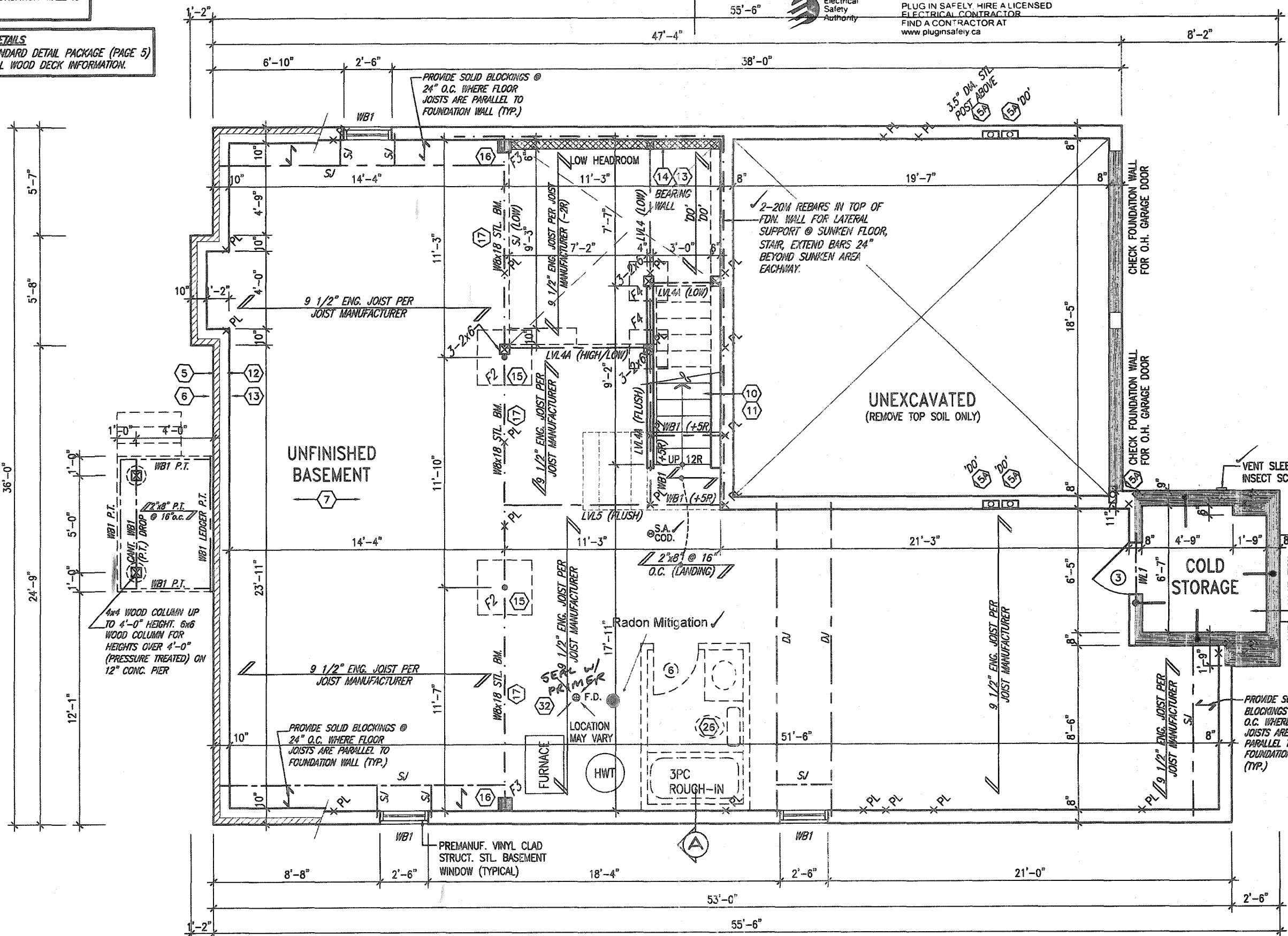
CITY OF HAMILTON
Building Division
Planning & Development Department
FEB 05 2021
RECD BY: DATE
REFD TO: DATE

CITY OF HAMILTON
Building Division
Permit No. 21-105965
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] Feb 22, 2021
FOR C.B.S. BUILDING OFFICIAL DATE

COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" o.c. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" o.c.



STRUDET INC.
FOR STRUCTURE ONLY



BASEMENT PLAN ELEV. 1 TO FINISH THE BASEMENT

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not form part of the contract documents.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

18	.	.	.	9	.	.	.
17	.	.	.	8	.	.	.
16	.	.	.	7	.	.	.
15	.	.	.	6	.	.	.
14	.	.	.	5	.	.	.
13	.	.	.	4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20	.
12	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	GW
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20	GW
10	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name
signature
registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be sealed.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 3 13.5m	
project name RUSSELL GARDENS PH. 3	city HAMILTON, ON.	project no. 19014	drawing no. A1
date JANUARY 2020		title BASEMENT PLAN - ELEV.1	
drawn by WT	checked by 3/16" = 1'-0"	file name 19014-MOUNTAINASH-3-176	
CADD - H:\PROJECTS\2019\19014-MOUNTAINASH-3-176\19014-MOUNTAINASH-3-176.dwg - Rev - 04 7 2020 - 1221 PM VAS DESIGN INC.			

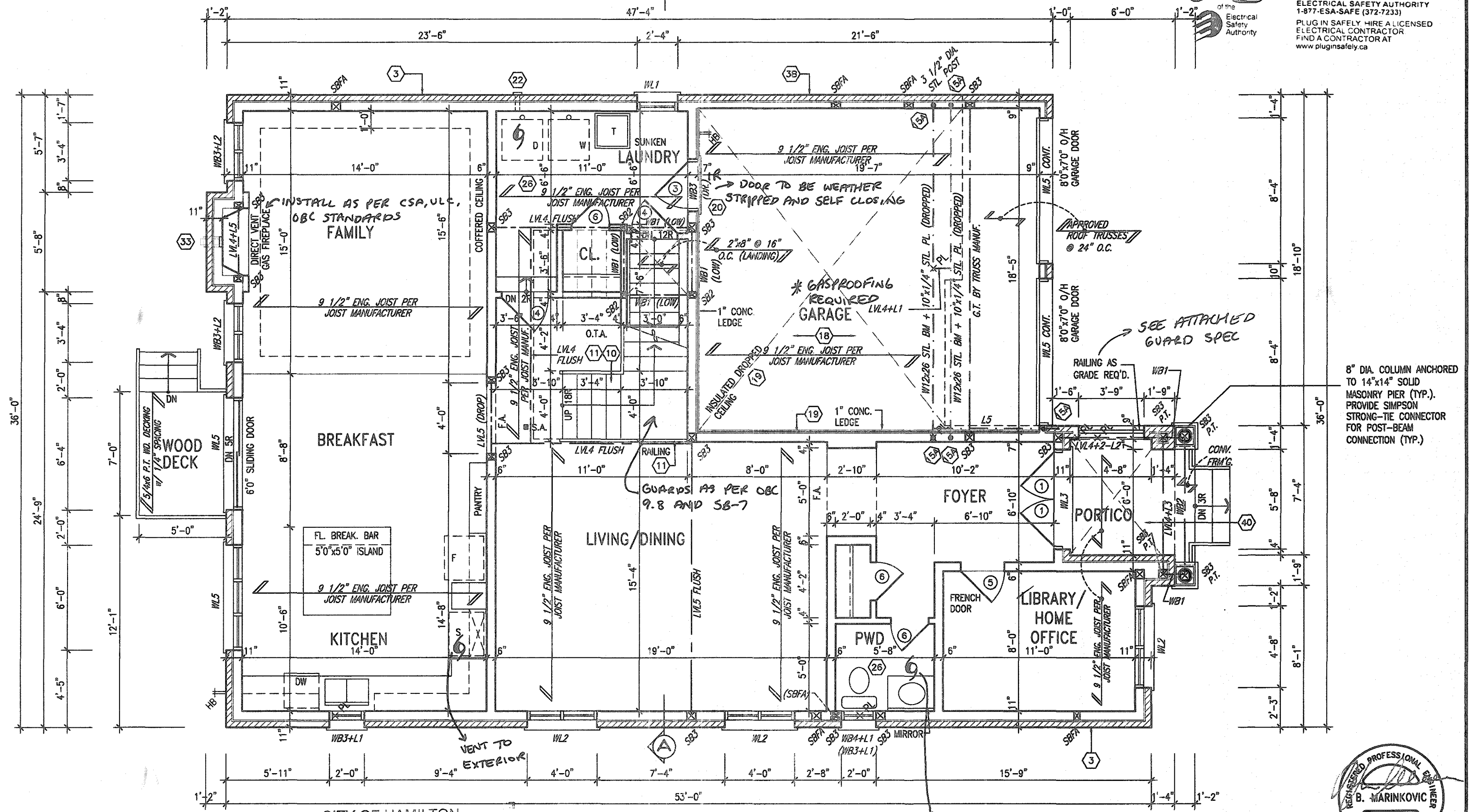
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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.dwg

3086 SF.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

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CITY OF HAMILTON
Building Division

Permit No. 21-105963

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Paul Sivil Feb 22, 2021

FOR CHIEF BUILDING OFFICIAL DATE

GROUND FLOOR PLAN
ELEV. 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 05 2021

REC'D BY DATE

FIRE BLOCKING REQUIRED IN
CONCEALED SPACES SUCH AS BULKHEADS,
LARGE ROOF SPACES AND COFFERED
CEILINGS

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'



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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20	
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	by	no.	description	date	by

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
date
JANUARY 2020
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-3-176.dwg - Feb 7 2021 - 12:21 PM

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A2

**STUD WALL REINFORCEMENT FOR FUTURE ✓
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CB-NOTE-2020.dwg

**Electrical Contractor
Registration Agency**



of the

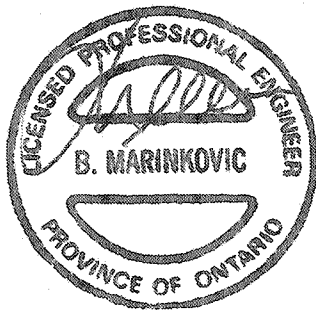


**Electrical
Safety
Authority**

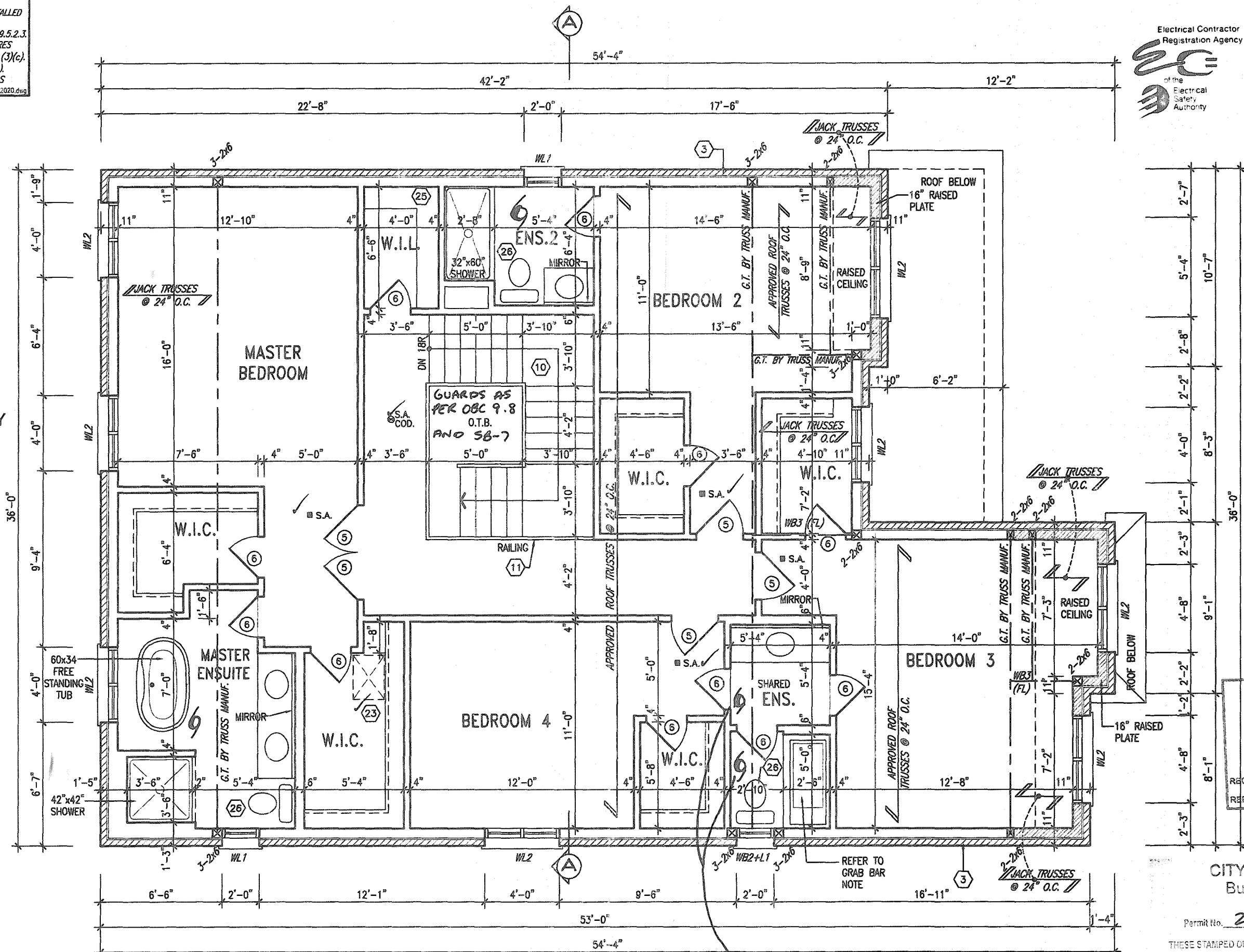
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ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.

FOR MORE INFORMATION PLEASE CALL:
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STRUDET INC
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MIN. SOLID BEARING REQUIRED
BEAMS-3-1/2" JOISTS-1-1/2"
STEEL LINTELS-6"

SECOND FLOOR PLAN
ELEV. 1

↓
VENT TO
EXTERIOR

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 21-105965

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Law Smit Feb 23, 2021
FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JAN 28 2021

~~This stamp certifies compliance with the Spokane
Design Guidelines only and bears no further
professional responsibility.~~

18	.	.	.	9	.	.
17	.	.	.	8	.	.
16	.	.	.	7	.	.
15	.	.	.	6	.	.
14	.	.	.	5	.	.
13	.	.	.	4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20
12	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20
10	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R. Vink</i>
Richard Vink	24
name	signature
registration information	
VAS Design inc.	42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the service. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

project name
RUSSELL GARDENS PH. 3

municipality
HAMILTON, ON.

date
JANUARY 2020

drawing by
WT

checked by
3/16" = 1'-0"

scale
SECOND FLOOR PLAN P

CITY OF HAMILTON - 219A BELLEVILLE AVENUE, HAMILTON, ONTARIO L8N 4R1 TEL: 905-546-1000 FAX: 905-546-1001

MOUNTAINASH 3 13.5m		project no. 19014
PLAN - ELEV. 1 file name -MOUNTAINASH-3-176 Log - Wed - Oct 7 2020 - 12:21 PM	drawing no. A3	

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BUILDING DIVISION
Planning & Development Department

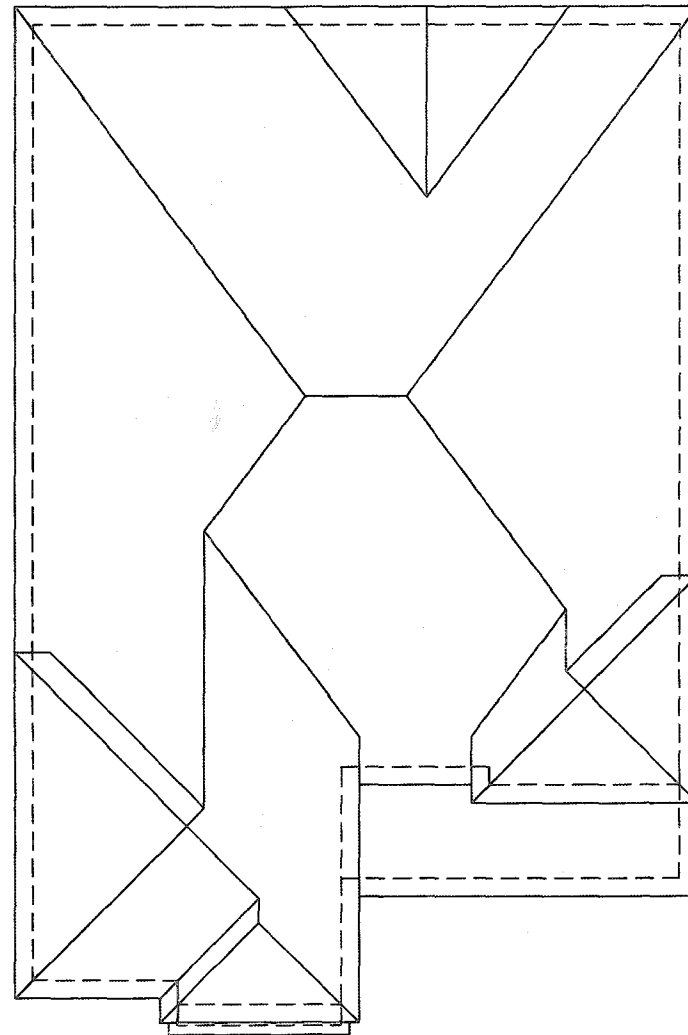
FEB 05 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 21-105965

These drawings and/or specifications have been reviewed by
Kenn Zink Feb 22, 2024

 FOR CHIEF BUILDING OFFICIAL DATE



6" PRECAST CONC. HEADER

8'-0"

8'-6"

U/S OF SOFFIT

Technical drawing of a window unit. The drawing shows a cross-section of a window with two panes. The top of the window is labeled "6" PRECAST CONC. HEADER". The height of the window is indicated as "8'-0\"", and the height of the soffit below it is indicated as "8'-6\"". The text "U/S OF SOFFIT" is written vertically on the right side. The drawing includes a stone or brick pattern on the right side of the window frame.

Architectural elevation drawing of a two-story house with a garage. The drawing includes detailed annotations for materials, dimensions, and structural elements.

Annotations:

- 1'-0" (multiple locations)
- 8:12 (multiple locations)
- 6:12
- 3:12
- VALLEY FLASHING (TYP.)
- MID-POINT OF MAIN ROOF
- ASPHALT SHINGLES (TYP.)
- TOP OF PLATE
- TOP OF WINDOW
- 7" PRECAST CONC. SURROUND w/ KEYSTONE (TYP.)
- FIN. SECOND FLOOR
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)
- TOP OF TRANSOM
- TOP OF DOOR
- 10" PRECAST CONC. HEADER W/ KEYSTONE (TYP.)
- 8'-0" DIA. COLUMN ANCHORED TO 14"x14" SOLID MASONRY PIER (TYP.). PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.)
- STONE VENEER (TYP.)
- FIN. GROUND FLOOR
- FIN. GRADE
- POURED CONC. PORCH SLAB AND DOOR SILL
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
- PRECAST CONC. STEPS
- 8'-0"x7'-0" O/H GARAGE DOOR GD-3A-8
- 8'-0"x7'-0" O/H GARAGE DOOR GD-3A-8
- STEPPED FOOTING (30)
- U/S GARAGE FOOTING
- TOP OF SLAB
- FOR 7'-8" CONCRETE POUR

Dimensions:

- 4'-6"
- 3'-0"
- 2'-0"
- 5'-0"
- 1'-0"
- 7'-10"
- U/S OF SOFFIT
- 25'-7" [7.79M]
- 9'-1"
- 7'-6"
- 10'-11"
- 8'-0"
- 4'-0" MIN.
- 8'-4"

Materials and Details:

- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD.
- FACE BRICK (TYP.)
- CONTINUOUS DBL. PRECAST CONC. SILL (TYP.)
- DBL. PRECAST CONC. SILL (TYP.)
- CONTINUOUS PRECAST CONC. SILL OVER STONE VENEER (TYP.)

Signatures and Dates:

- Permit No. 21-105965
- THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
- THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
- These drawings and/or specifications have been reviewed by
- Rev. 2/21
- Feb 22, 2021
- FOR CHIEF BUILDING OFFICIAL
- DATE

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

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18.		.	.	.	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.	
17.		.	.	.	8				
16.		.	.	.	7			qualification information	
15.		.	.	.	6			Richard Vink	2448
14.		.	.	.	5	REAR UPGRADE REVISED.	NOV 03/20	GW name	BC
13.		.	.	.	4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20	GW registration information	
12.		.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	GW VA3 Design Inc.	4265
11.		.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	
10.		.	.	.	1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description			date	bv	no.	description	date	bv

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON.
--------------	-----------------------	--------------	---------------

date
JANUARY 2020

drawn by checked by scale
2 WT 3/16" = 1'-0"

FRONT ELEVATION - ELEV. 1

file name
19014-MOUNTAINASH-3-176

MOUNTAINASH 3
13.5m

Project no.
9014

no.	
-----	--

41

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3086 SF.

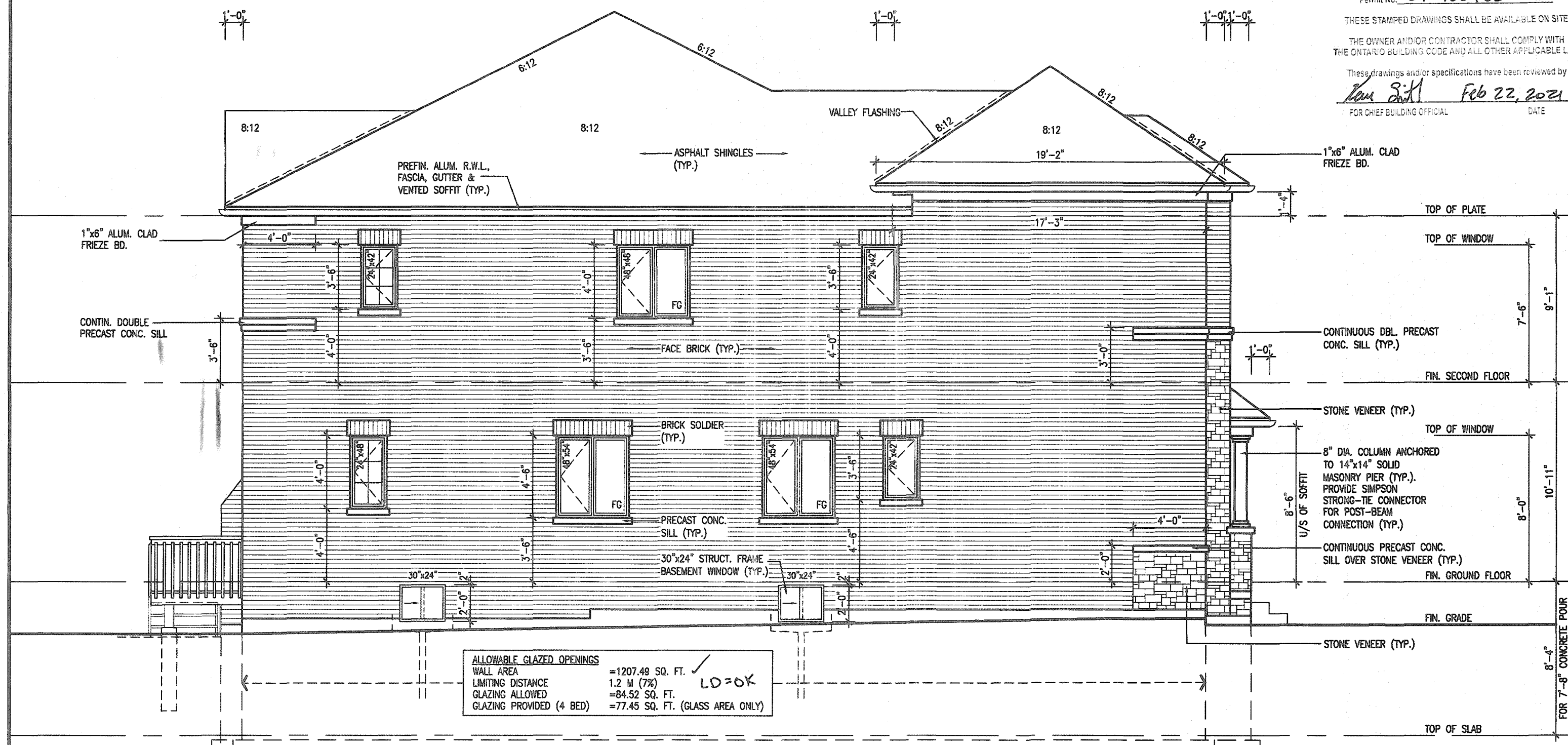
CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 05 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-105965

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Kam Sait Feb 22, 2021
FOR CHIEF BUILDING OFFICIAL DATE



ALLOWABLE GLAZED OPENINGS			
WALL AREA	=	1207.49 SQ. FT.	✓
LIMITING DISTANCE	=	1.2 M (7%)	LO=OK
GLAZING ALLOWED	=	84.52 SQ. FT.	
GLAZING PROVIDED (4 BED)	=	77.45 SQ. FT. (GLASS AREA ONLY)	

LEFT SIDE ELEVATION '1'

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JAN 28 2021
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18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
17		8				qualification information					
16		7				Richard Vink	24488				
15		6				name	BCN				
14		5	REAR UPGRADE REVISED.	NOV 03/20	GW	signature	42658				
13		4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20	GW	registration information					
12		3	ISSUED FOR PERMIT.	MAR 31/20	GW	VAS Design Inc.					
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20	GW						
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW						
no.	description	date	by	no.	description	date	by				

VAS DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

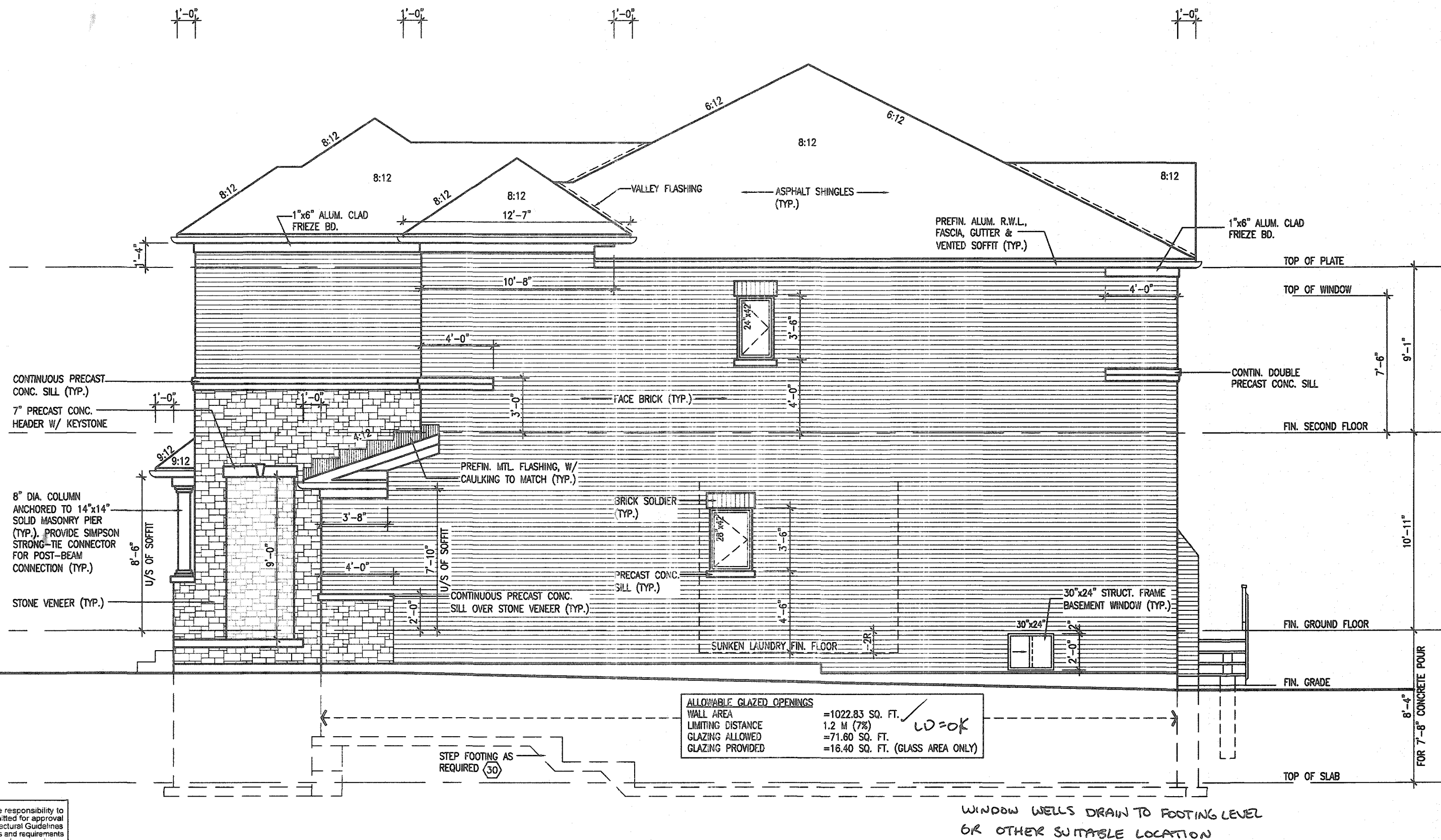
Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON.
drawing no.
19014
drawing no.
A5

MOUNTAINASH 3
13.5m
project no.
19014
drawing no.
A5

LEFT SIDE ELEVATION - ELEV. 1
date
JANUARY 2020
drawn by
WT
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-3-176
DEC - HAMILTON/ARCHITECTURAL/DESIGN/3-176/19014-MOUNTAINASH-3-176.dwg - 16 - Nov 6 2020 - (10/10)

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3086 SF.



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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further endorsement or guarantee by the

RIGHT SIDE ELEVATION '1'

MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

[illegible]

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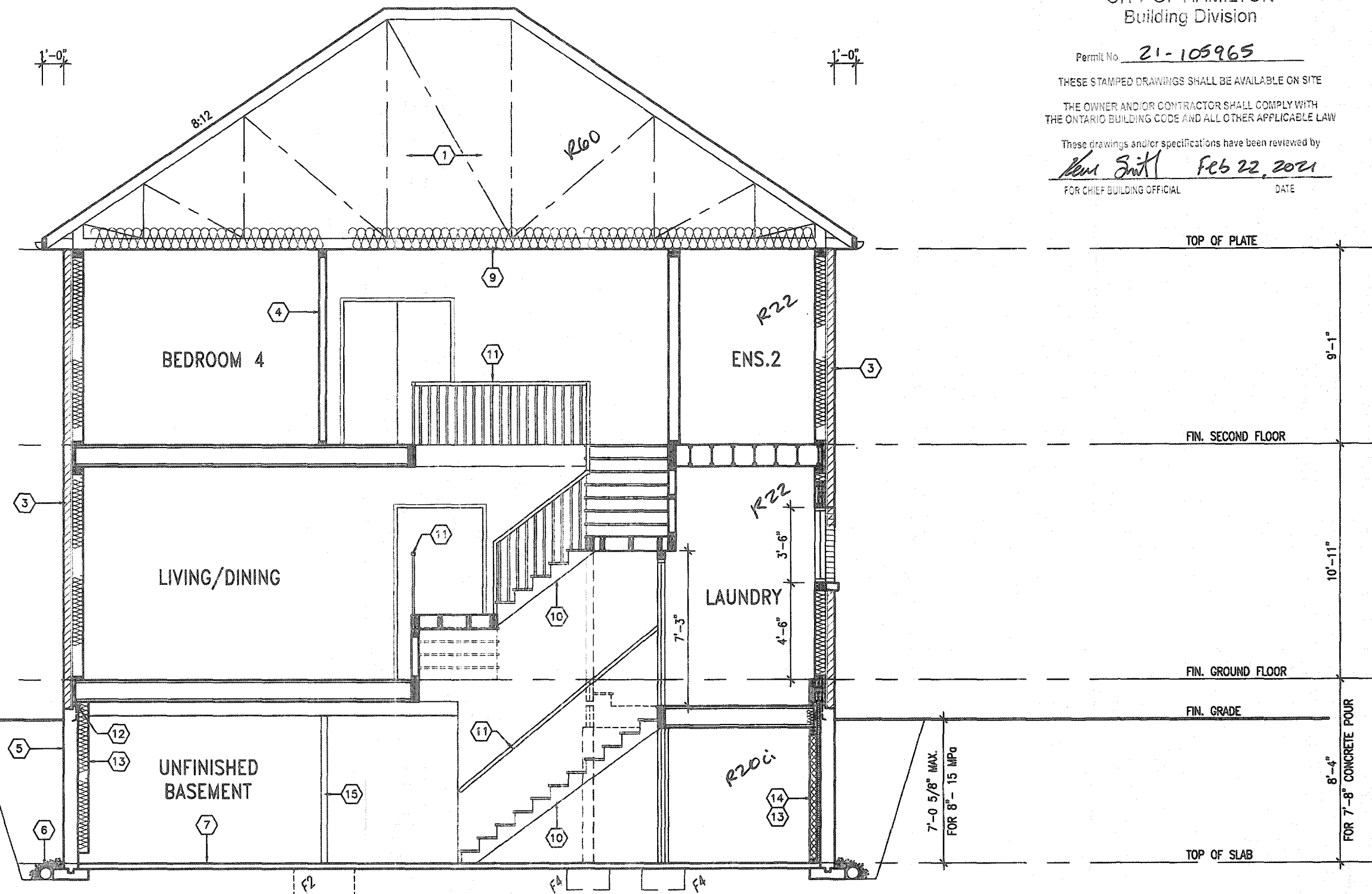
oct 23/2020

Permit No. 21-105965

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Kenn Smith Feb 22, 2021
 FOR CHIEF BUILDING OFFICIAL DATE



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MOUNTAINASH 3-176
COMPLIANCE PACKAGE 'A1'

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17				8			
16				7			qualification information
15				6			Richard Vink <i>R Vink</i> 24488
14				5			name BGN
13				4	CUSTOM DRAWING PER PURCHASER REQUEST.	OCT 07/20	registration information VA3 Design Inc. 42656
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	bv	no.	description	date	bv

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™

project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON.

SECTION A-A ELEV. 1

drawing no. JANUARY 2020 date JANUARY 2020 checked by [signature] scale 3/16" = 1'-0" the name 19014-MOUNTAINASH-3-176

WT - HYDRO-PNEUMATIC PRESSURIZED WATER SUPPLY SYSTEM MOUNTAINASH-3-176 (MOUNTAINASH-3-176) - Hyd - Oct 7 2020 - 12:21 PM

A8

MOUNTAINASH 3

13.5m

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