

3409 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS**120 KPa NATIVE SOIL**

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3'-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

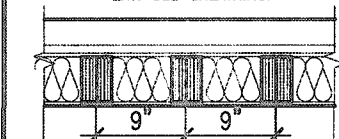
L1 = 3'-1/2" x 3'-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3'-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3'-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3'-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**TWO STOREY HEIGHT
WALL DETAIL**

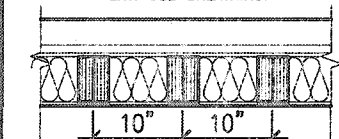
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

CERAMIC TILE FOR CONVENTIONAL LUMBER

(CBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

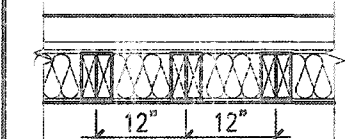
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT
WALL DETAIL**

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID
BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

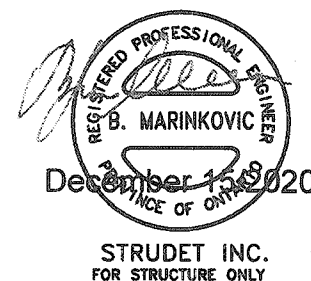
UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

MOUNTAINASH 6-180, EL. 3 (5 BDRM)			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	876.65 S.F.	183.50 S.F.	20.93 %
LEFT SIDE	1271.28 S.F.	99.00 S.F.	7.79 %
RIGHT SIDE	1286.17 S.F.	58.00 S.F.	4.51 %
REAR	788.17 S.F.	152.33 S.F.	19.33 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX. 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4222.27 S.F.	492.83 S.F.	11.67 %
TOTAL SQ. M.	392.26 S.M.	45.79 S.M.	11.67 %

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CURRENT BUILDING CODES AND ALL OTHER APPLICABLE LAWS
These drawings and specifications have been reviewed
FOR Owner's Official
DATE

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

**MOUNTAINASH 6-180
COMPLIANCE PACKAGE 'A1'****MOUNTAINASH 6**
13.5m

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
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va3design.com

project name	RUSSELL GARDENS PH. 3	city	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	drawn by	BD.BIM	checked by	3/16" = 1'-0"
scale		file name	19014-MOUNTAINASH-6-180	drawing no.	A0

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BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

Architectural floor plan of a basement. The plan includes various rooms and structural elements with detailed annotations.

Structural Details:

- Joists:** 9 1/2" ENG. JOIST PER JOIST MANUFACTURER.
- Foundation:** UNEXCAVATED (REMOVE TOP SOIL ONLY). CHECK FOUNDATION WALL FOR MAN DOOR.
- Reinforcement:** 3-20M REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ SUNKEN AREA, EXTEND BARS 24" BEYOND SUNKEN AREA EACHWAY.
- Columns:** HSS 4"x4"x1/4" STEEL COLUMN (FULL HEIGHT) w/ 5"x5"x3/8" BASE STEEL PLATE WELDED TO 11"x6"x3/8" BASE STEEL PLATE EMBEDDED INTO CONCRETE.
- Slab:** COLD STORAGE SLAB 5" REINFORCED CONCRETE WITH 10M BARS @ 7 7/8" EACH WAY WITH MIN. 1" CONC. COVER AND 10M B. (24"x24") DOWELS SPACED MORE THAN 23 5/8" o.c.

Room Layouts and Features:

- Radon Mitigation:** Radon Mitigation HALF.
- Low Head Room:** LOW HEAD ROOM.
- Unfinished Basement:** UNFINISHED BASEMENT.
- Cold Storage:** COLD STORAGE.
- 3PC Rough-In:** 3PC ROUGH-IN.
- Location May Vary:** LOCATION MAY VARY.
- SA COD:** S.A. COD.

Other Annotations:

- PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.).
- WB1, WB2, WB3, WB4, WB5, WB6, WB7, WB8, WB9, WB10, WB11, WB12, WB13, WB14, WB15, WB16, WB17, WB18, WB19, WB20, WB21, WB22, WB23, WB24, WB25, WB26, WB27, WB28, WB29, WB30, WB31, WB32, WB33, WB34, WB35, WB36, WB37, WB38, WB39, WB40, WB41, WB42, WB43, WB44, WB45, WB46, WB47, WB48, WB49, WB50, WB51, WB52, WB53, WB54, WB55, WB56, WB57, WB58, WB59, WB60, WB61, WB62, WB63, WB64, WB65, WB66, WB67, WB68, WB69, WB70, WB71, WB72, WB73, WB74, WB75, WB76, WB77, WB78, WB79, WB80, WB81, WB82, WB83, WB84, WB85, WB86, WB87, WB88, WB89, WB90, WB91, WB92, WB93, WB94, WB95, WB96, WB97, WB98, WB99, WB100.
- VENT SLEEVE W/ INSECT SCREEN.
- CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR.
- STRUCTURAL STL. FRAME BASEMENT WINDOW (TYP.).

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JAN 25, 2021

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Design Guidelines only and bears no further
professional responsibility.

18					9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17					8	.	.	.		
16					7	.	.	.	qualification information	
15					6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT	Richard Vink	244E
14					5	CUSTOM PER PURCHASER.	OCT 06/20	GW	name	BC
13					4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	registration information	
12					3	ISSUED FOR PERMIT.	APR 13/20	GW	VIA Design Inc.	426S
11					2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by	no.	description	date	by			
				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			

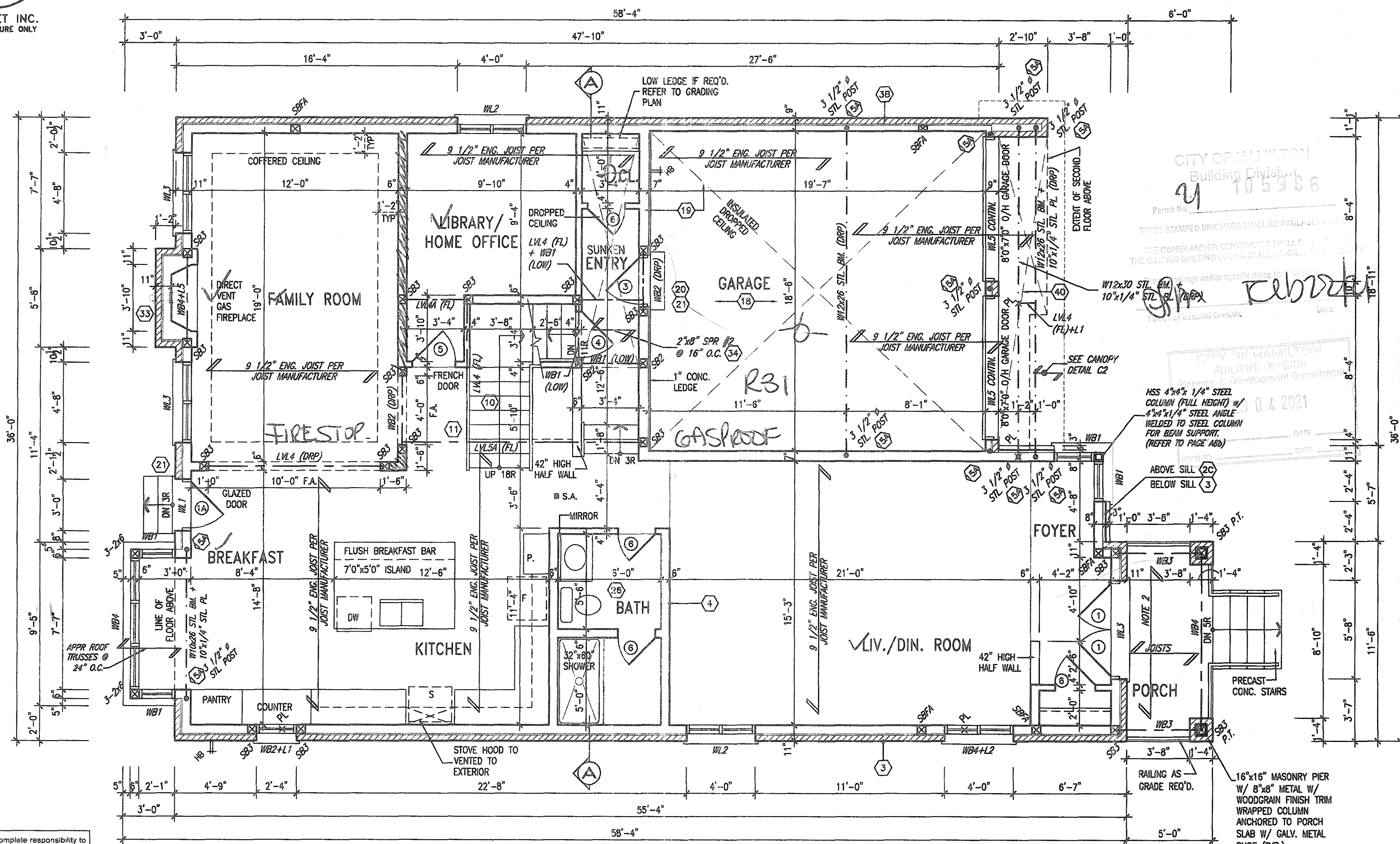
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project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	BASEMENT PLAN - ELEV. '3'			drawing no.
drawn by	BO.BIM	checked by	scale	file name	A1b
			3/16" = 1'-0"	19014-MOUNTAINASH-6-1ED	

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3409 SF.



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ARCHITECTURAL CONTROL REVIEW

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NOTE 2: BALCONY OVER PORCH
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

VA3
DESIGN

255 Consumers Rd Suite 120
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date	JAN 2020
drawn by	BD.BM
checked by	-
scale	3/16" = 1'-0"

MOUNTAINASH 6
13.5m

HAMILTON, ONTARIO

GROUND FLOOR PLAN - ELEV. '3'

project no.
19014

drawing no.

A2b

100

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GS-NOTC-2020-dw0

Architectural Floor Plan Details:

- Rooms and Dimensions:**
 - MASTER BEDROOM: 18'-0" x 12'-0"
 - MASTER ENSUITE: 15'-10" x 7'-2"
 - LAUNDRY: 6'-4" x 4'-3"
 - BEDROOM 2: 12'-10" x 17'-8"
 - BEDROOM 3: 13'-0" x 10'-0"
 - BEDROOM 4: 13'-0" x 10'-0"
 - BEDROOM 5: 11'-2" x 11'-0"
- Bathrooms and Closets:**
 - W.I.C. (Walk-In Closet) in Master Bedroom, Bedroom 2, Bedroom 3, Bedroom 4, and Bedroom 5.
 - SHARED ENS. (Shared Ensuite) located between Bedroom 4 and Bedroom 5.
 - 42" x 42" SHOWER in Master Ensuite.
 - 32" x 60" SHOWER in Bedroom 5.
- Other Features:**
 - Future Grab Bars in Bedroom 2.
 - MIRROR in Master Ensuite and Bedroom 4.
 - STAIRS (DN 1BR) located near the center of the plan.
 - ROOF BELOW and FLAT ROOF BELOW areas.
- Construction Notes:**
 - JACK TRUSSES @ 24" O.C.
 - APPROVED ROOF TRUSSES @ 24" O.C.
 - G.T. BY TRUSS MANUF.
 - STUCCO FINISH OVER BRICK
 - CONVENTIONAL FRAMING OVER TRUSSES
 - CRF ON TOP OF TRUSSES
 - WELDED TO STEEL COLUMN FOR BEAM SUPPORT.
- Annotations:**
 - Handwritten signature: "Jim R..."
 - Stamp: "CITY OF HAMILTON Building Division 105986"
 - Stamp: "FEB 04 2021"

MOUNTAINASH 6-180
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 6
13.5m

date JAN 2020 SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'
 drawn by BD.BIM checked by - scale 3/16" = 1'-0" title name 19014-MOUNTAINASH-6-180
 drawing no. A3b

CREG - 11:40AM/2020/19014/CRE/INTS/SIGLES/44' MOUNTAINS-1/USTONS/MOUNTAINSH-6-180/1914-MOUNTDOUGH-6-180/reg - Mon - Dec 14 2020 - 10:17 AM

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AND APPROVAL

APPROVED BY: 

DATE: JAN 28, 2021

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18				9					The undersigned has reviewed and takes responsibility for this design and lists the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17				8					
16				7					
15				6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT	Richard Vink	2446
14				5	CUSTOM PER PURCHASER.	OCT 06/20	GW	signature	8
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	registration information	
12				3	ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc.	4263
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are the instruments of service and the work of the Designer which must be returned at the completion of the project.	
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	Drawings are not to be copied.	
no.	description		date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this Design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 2444

name signature B

registration information

VAS Design Inc. 4263

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are a statement of intent and the responsibility of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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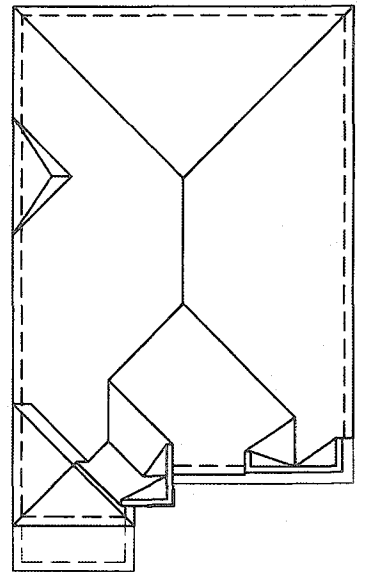
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CONTEMPORARY
STONE PATTERN

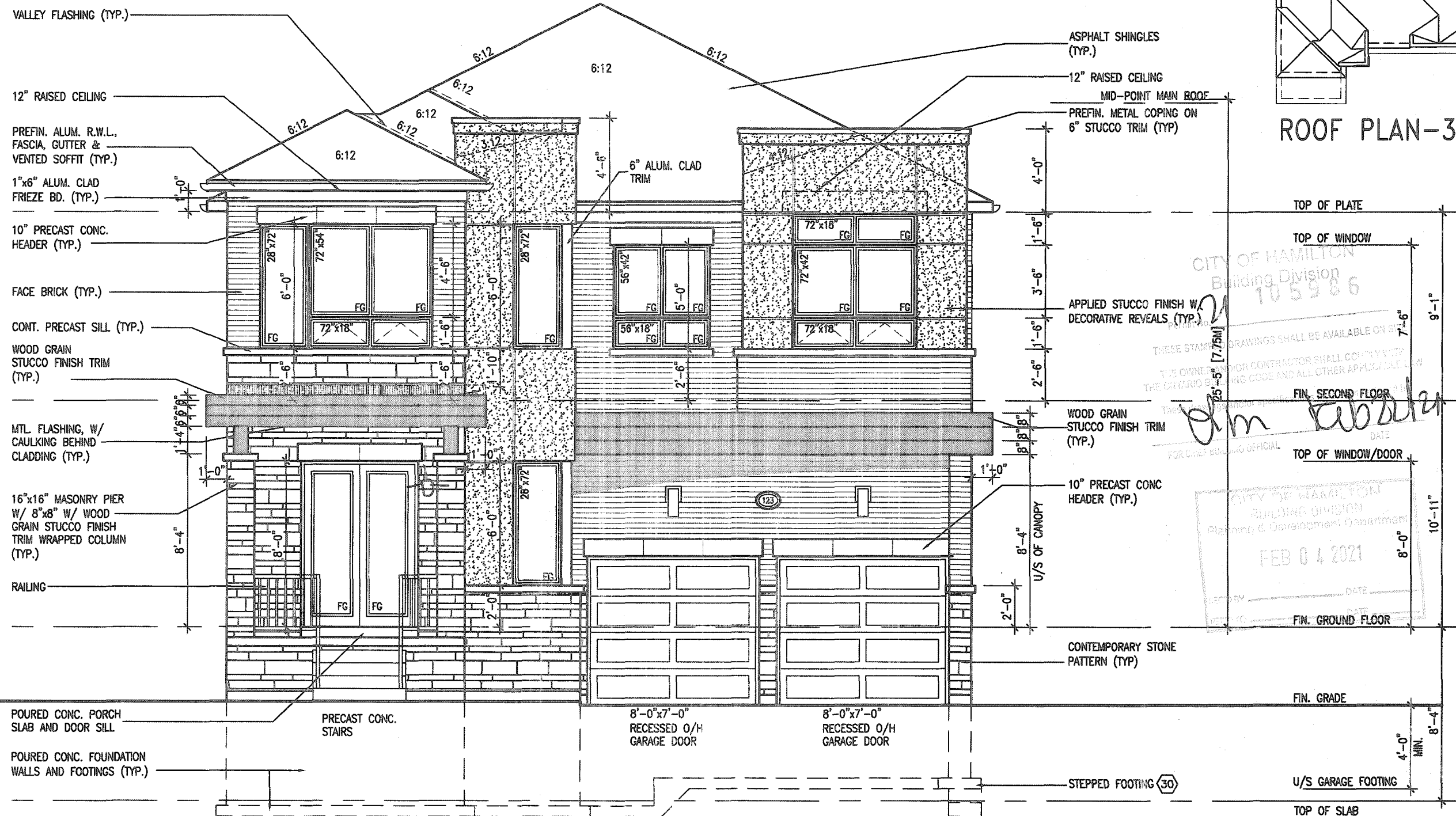
MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH



ROOF PLAN-3



This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

FRONT ELEVATION - ELEV. '3'

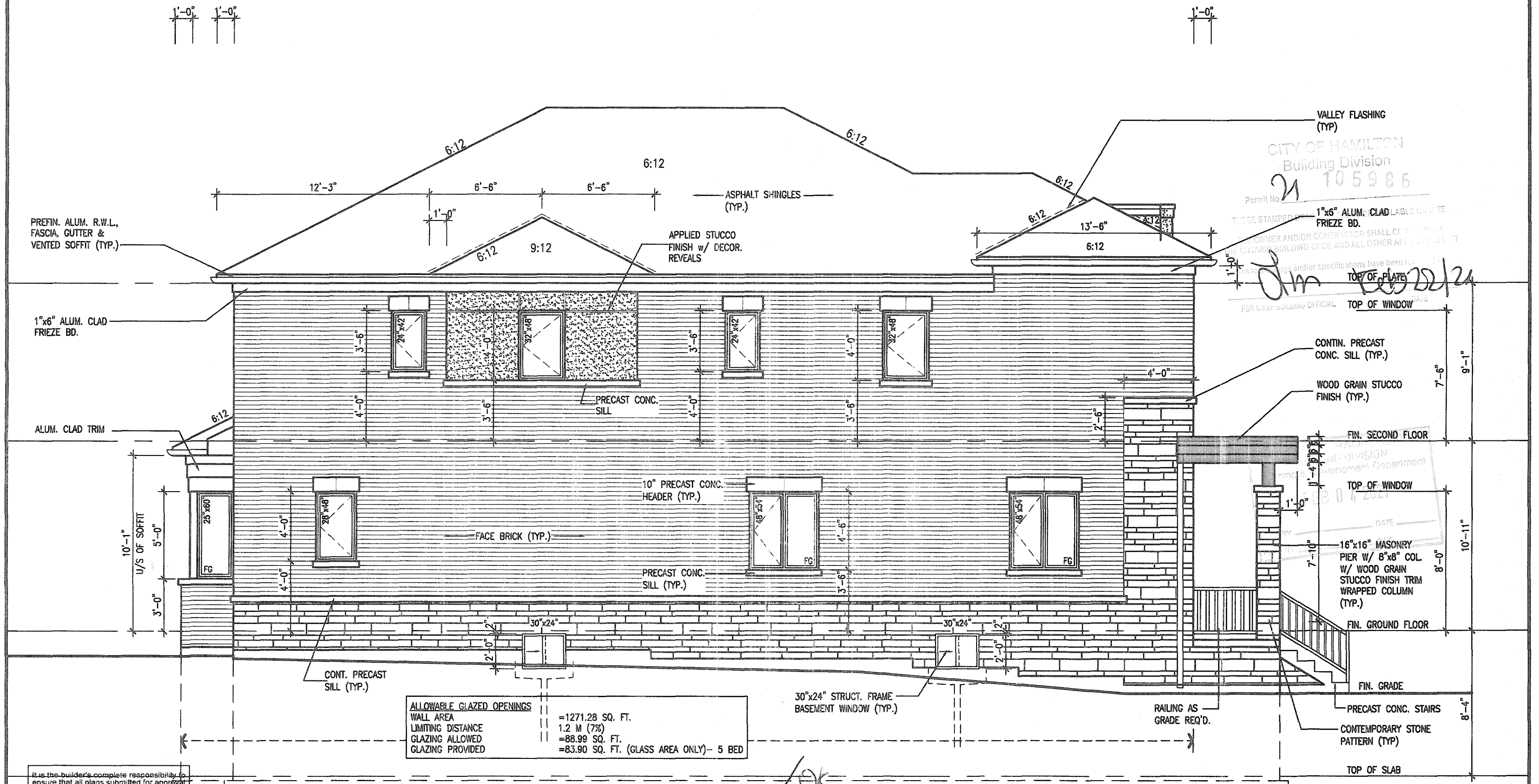
PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6-180
COMPLIANCE PACKAGE 'A1'

[illegible]

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3409 SF.



LEFT SIDE ELEVATION - ELEV '3'
(UPGRADED)

MOUNTAINASH 6-180
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *to Vink* 244

name	signature
registration information	
VA3 Design Inc.	426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date	JAN 2020
drawn by	checked by

checked by
 " 3/16" = 1'-0"

UPGRADED LEFT SIDE ELEVATION - ELEV '3'

	MOUNTAINASH 6 13.5m
--	-------------------------------

project no.
9014

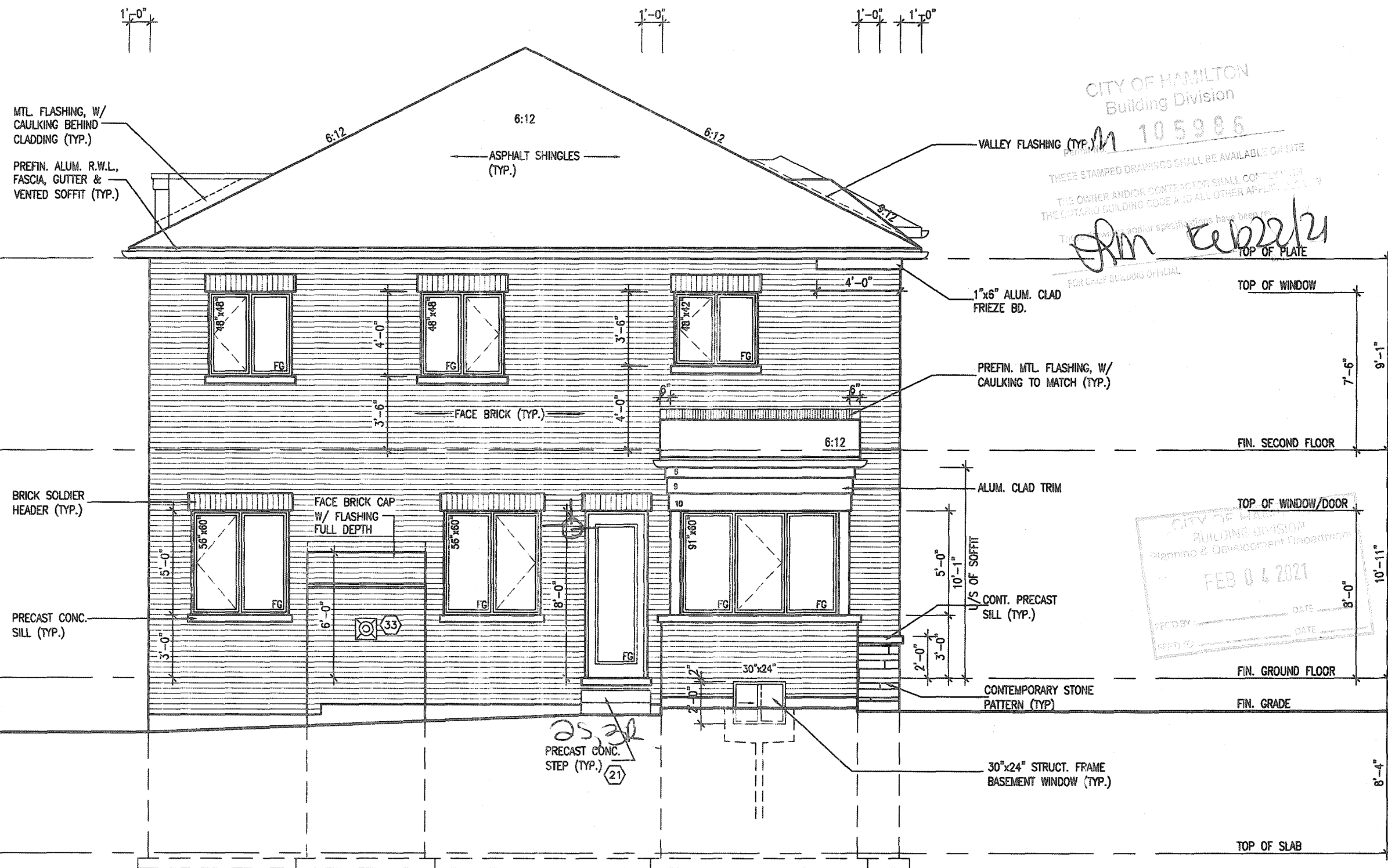
Fig. 10.

5b1

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3409 SF.



REAR ELEVATION - ELEV. '3'

MOUNTAINASH 6-180

COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8			qualification information	
16			7			Richard Vink 24488	
15			6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20 WT	signature	
14			5	CUSTOM PER PURCHASER.	OCT 06/20 GW	name	
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW	registration information	
12			3	ISSUED FOR PERMIT.	APR 13/20 GW	VAS Design Inc. 4265	
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW		
no.	description	date	by	no.	description	date	by

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com



MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

city
HAMILTON, ONTARIO

date
JAN 2020

drawn by
BD.BIM

checked by
3/16" = 1'-0"

scale

project no.
19014

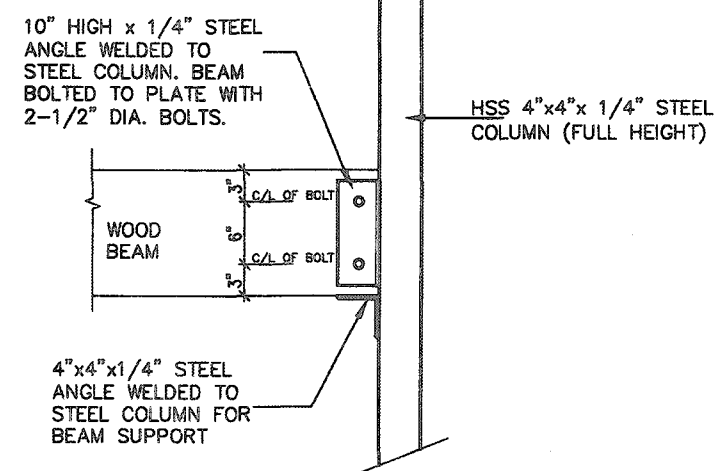
drawing no.
A7b

19014-MOUNTAINASH-6-180

REAR ELEVATION - ELEV '3'

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3409 SF.



ELEV.
WOOD LINTEL AT STEEL COLUMN
SCALE: NOT TO SCALE

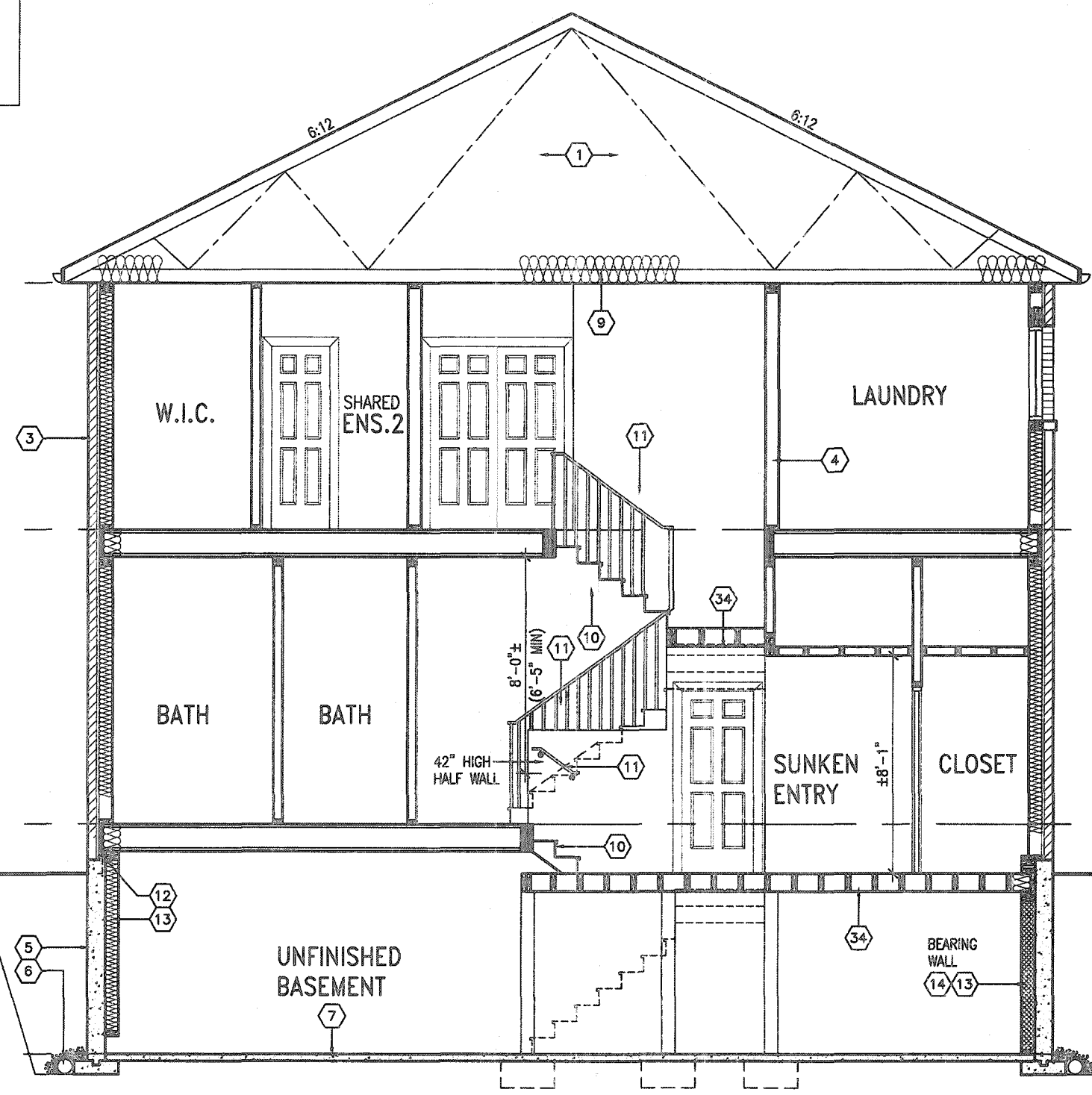


STRUDET INC.
FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Permit No. 105986

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE
DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN REVIEWED BY
FOR USER REVIEWING OFFICIAL
DATE: Feb 22/21



CROSS SECTION 'A-A'
(ELEV. '3')

MOUNTAINASH 6-180
COMPLIANCE PACKAGE 'A1'

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18			9						
17			8						
16			7						
15			6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT			
14			5	CUSTOM PER PURCHASER.	OCT. 06/20	GW			
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW			
12			3	ISSUED FOR PERMIT.	APR. 13/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW			
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has rendered and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
42652
VA3 Design Inc.

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va3design.com

project name
RUSSELL GARDENS PH. 3

city
JAN 2020

drawn by
BO.GIM

checked by
3/16" = 1'-0"

scale

date
JAN 2020

MOUNTAINASH 6
13.5m

project no.
19014

city
HAMILTON, ONTARIO

cross section 'A-A'

19014-MOUNTAINASH-6-180

drawing no.
A8b

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