

3288 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

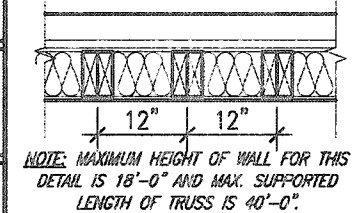
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/n SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

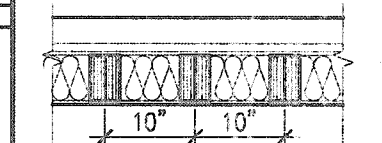
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

TWO STOREY HEIGHT WALL DETAIL

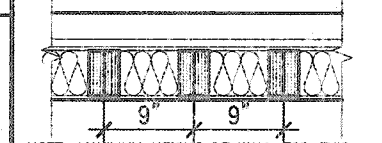
2-1 1/2" x 5 1/2" TIMBERSPAN (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/n SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



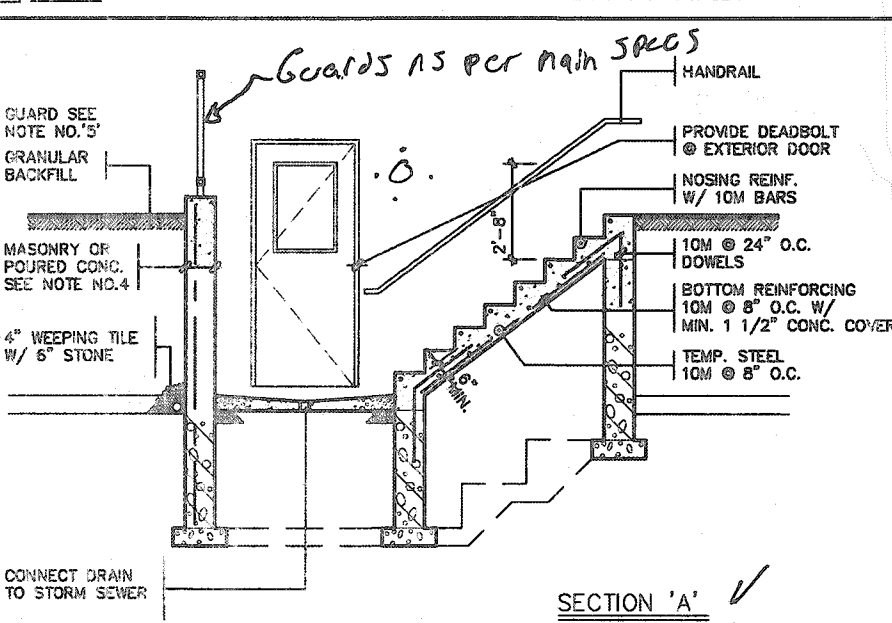
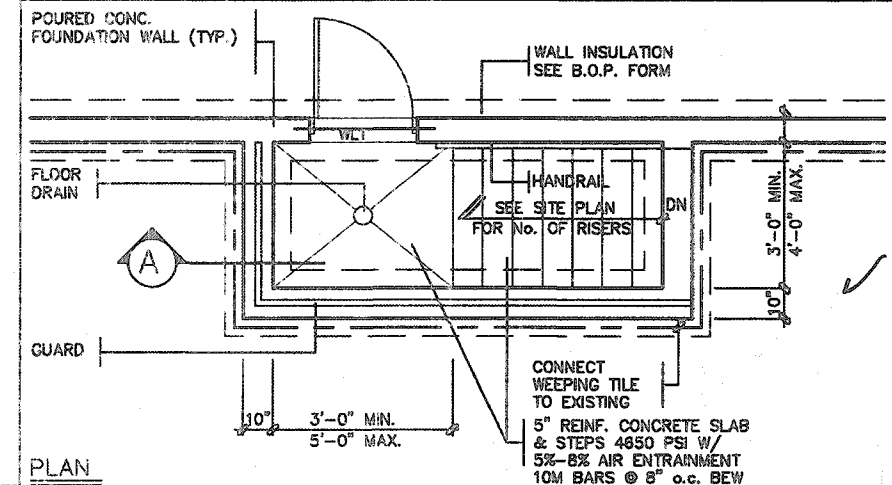
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSPAN (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/n SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".



GENERAL NOTES

- FOOTINGS**
16"x6" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32MPa (4650 PSI) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/4" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 18" O.C. & 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

BASEMENT WALK-UP
PLAN, SECTION & NOTES
SCALE: N.T.S.

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	1451 SF
SECOND FLOOR AREA	1837 SF
TOTAL FLOOR AREA	3288 SF (305.47 m ²)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	XX SF
ADD TOTAL OPEN AREAS	+XX SF
ADD FINISHED BSMT AREA	+XX SF
GROSS FLOOR AREA	3288 SF (305.47 m ²)
GROUND FLOOR COVERAGE	1458 SF
GARAGE COVERAGE/AREA	391 SF
PORCH COVERAGE/AREA	85 SF
COVERAGE W/ PORCH	1934 SF (179.67 m ²)
COVERAGE W/O PORCH	1849 SF (171.78 m ²)

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	782.35 S.F.	148.207 S.F.	18.71 %
LEFT SIDE	1180.11 S.F.	60.093 S.F.	7.63 %
RIGHT SIDE	1178.51 S.F.	40.333 S.F.	3.42 %
REAR	809.10 S.F.	168.778 S.F.	20.61 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3950.13 S.F.	445.47 S.F.	11.25 %
TOTAL SQ. M.	367.91 S.M.	41.39 S.M.	11.25 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division

Permit No. **21-105956**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications were prepared by
PROFESSIONAL ENGINEER
STRUDET INC.
FOR CHIEF BUILDING OFFICIAL

November 16, 2020

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 5-185
COMPLIANCE PACKAGE 'A1'

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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to use a designer.

qualification information

Richard Vink 24488 BCN

name registration information

VAS Design Inc. 42656

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer while must be returned at the completion of the work. Drawings are not to be scaled.

4 CUSTOM DRAWING PER PURCHASER REQUEST NOV 10/20 GW

3 ISSUED FOR PERMIT APR 13/20 GW

2 UPDATED PER ENG & CLIENT COMMENTS MAR 26/20 GW

1 PRELIMINARY, ISSUED FOR CLIENT REVIEW JAN 26/20 GW

no. description date by

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

city
HAMILTON, ON

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

scale

GENERAL NOTES & CHARTS

19014-MOUNTAINASH-5-185

drawing no.
A0

MOUNTAINASH 5
13.5m

project no.
19014

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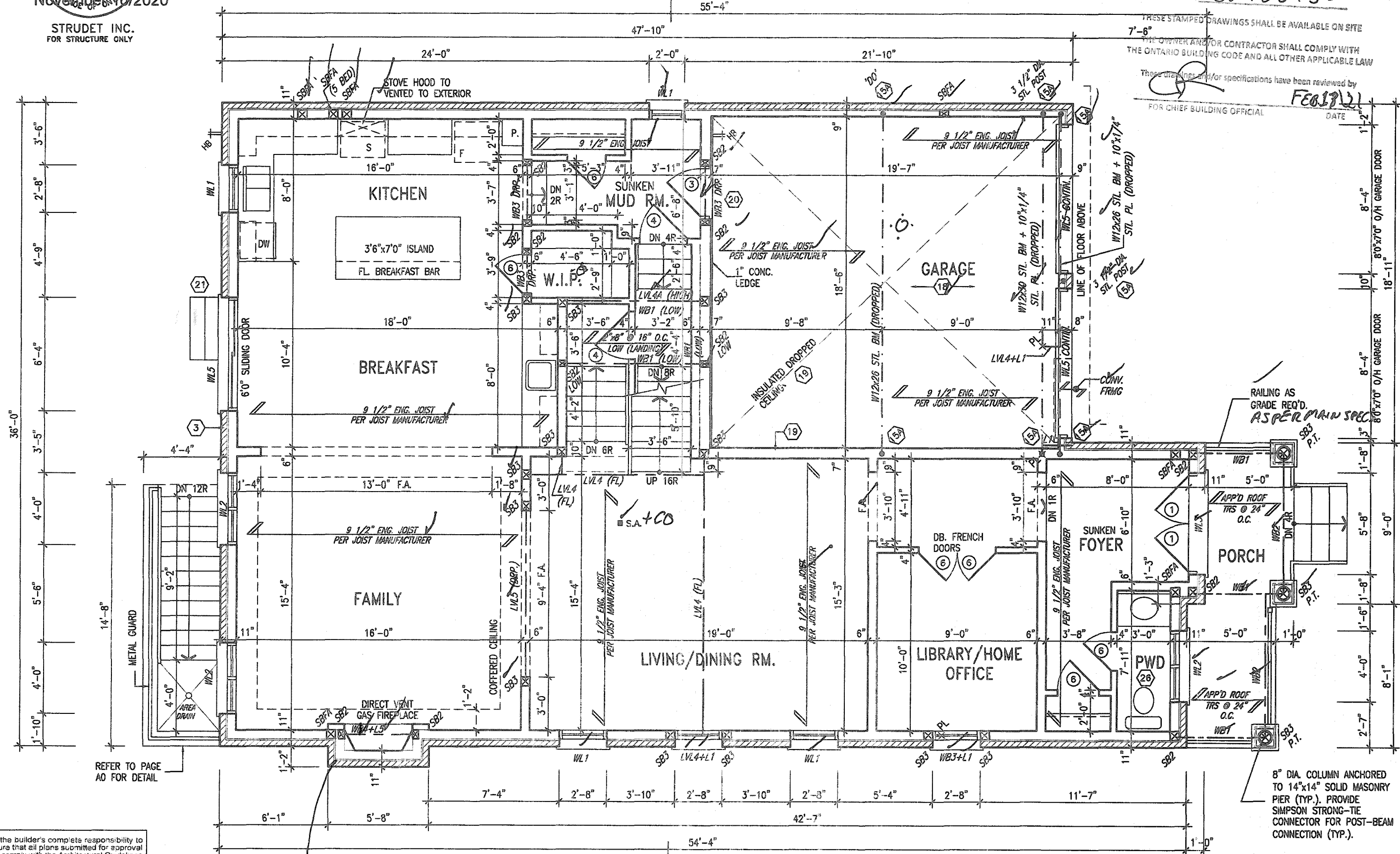
CITY OF HAMILTON
Building Division

Permit No. 21-105956

7'-6" THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

 FEB 17 1961
 FOR CHIEF BUILDING OFFICIAL DATE



JOHN C. WILLIAMS EIT ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____

DATE JAN 23, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
architectural responsibility.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					qualification information	
7						
6					Richard Vink	2448
5					name	EC
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 10/20	GW		registration information	
3	ISSUED FOR PERMIT.	APR 13/20	GW		VAS Design Inc.	4265
2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW			
no.	description		date	by		

VA3

DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

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project name
RUSSELL GARDENS PH. 3

data
JANUARY 2020
drawn by checked by scale
CL - - 3/16" = 1'-0"

MOUNTAINASH 5
13.5m

HAMILTON, ON

GROUND FLOOR PLAN - ELEV. 1

file name
19014-MOUNTAINASH-5-185

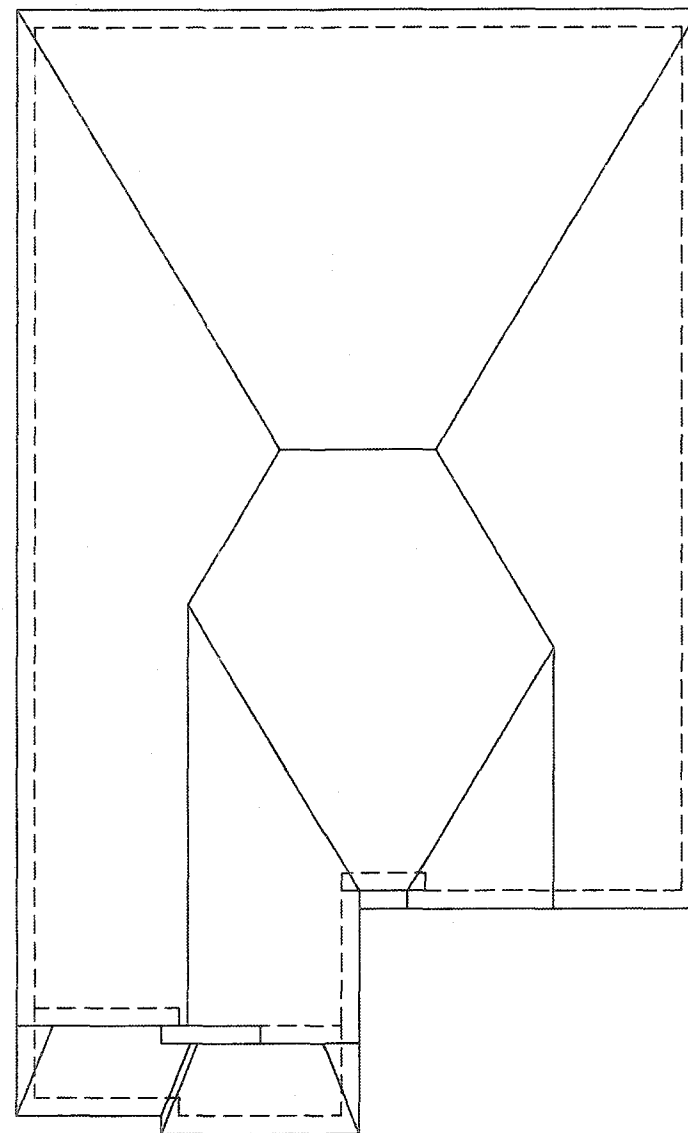
project no.
19014

drawing no.

A2

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3288 SF.



ROOF PLAN-1



FRONT ELEVATION '1'

old

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This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: JAN 23, 2023

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

9						The undersigned has reviewed and takes responsibility for the design and has the qualifications and means the requirements set out in the Ontario Building Code to be a Designer.	
8						qualification information	
7							
6						Richard Vink	2446
5						name signature	BC
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 10/20	GW			registration information VA3 Design Inc.	4265
3	ISSUED FOR PERMIT.	APR 13/20	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the responsibility of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW				
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW				
no.	description	date	by				

**VA3
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255 Consumers Rd Suite 121
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va3design.com

 Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
drawing no. A4		title name FRONT ELEVATION - ELEV. 1	
drawn by CL		checked by 3/16" = 1'-0"	
scale 19014-MOUNTAINASH-5-185		file name 19014-MOUNTAINASH-5-185	

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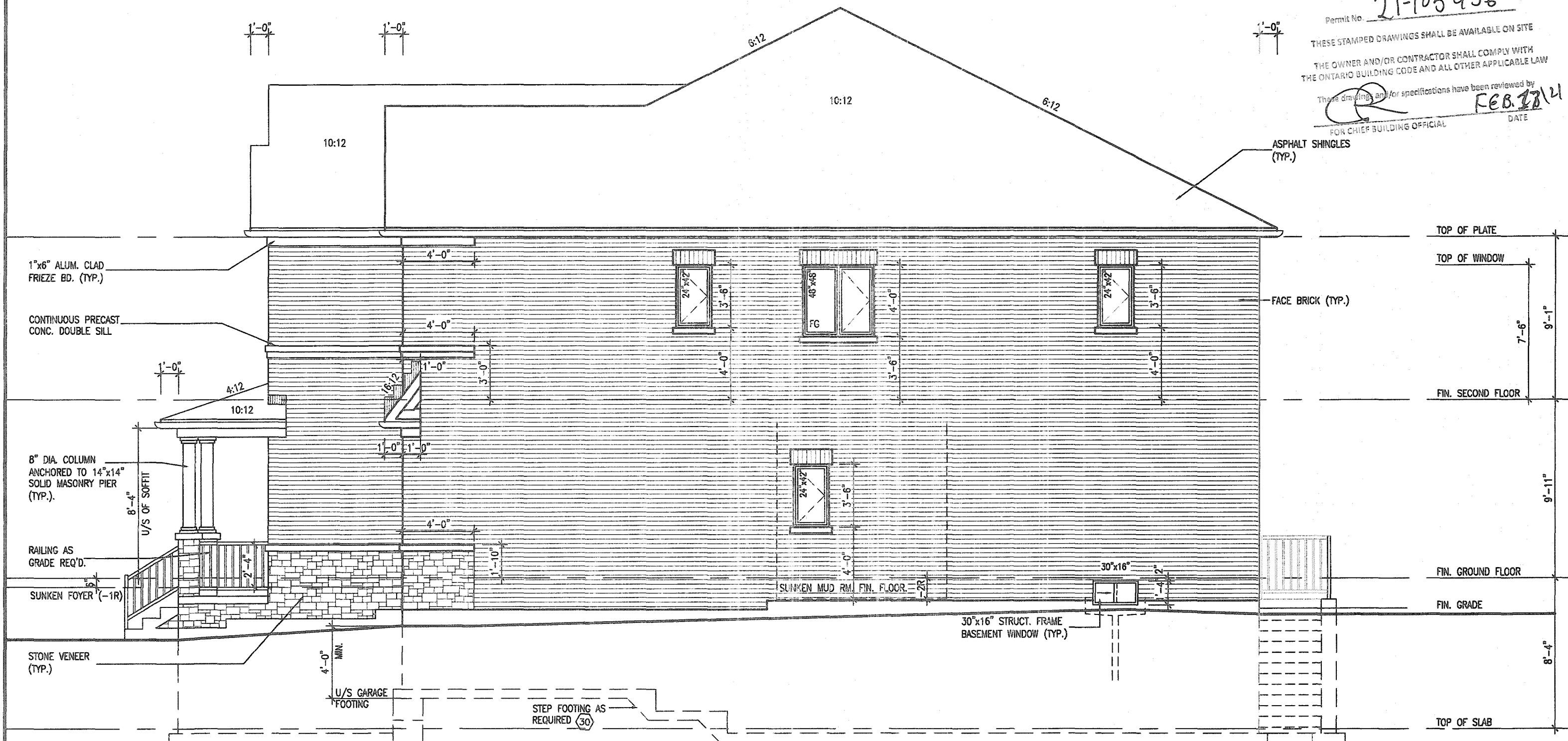
CITY OF HAMILTON
Building Division

Permit No. 21-105956

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE FEB. 12/21

ASPHALT SHINGLES
(TYP.)



RIGHT SIDE ELEVATION '1'

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1178.05 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=82.46 SQ. FT.
GLAZING PROVIDED	=33.57 SQ. FT. (GLASS AREA ONLY)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN. 26, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488 BCN
6				signature
5				name registration information VAS Design Inc. 42858
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 10/20	GW	
3	ISSUED FOR PERMIT	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
no.	description	date	by	

VAS DESIGN
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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by 3/16" = 1'-0"	drawing no. A6
drawn by CL	scale 3/16" = 1'-0"	19014-MOUNTAINASH-S-185
RIGHT SIDE ELEVATION - ELEV. 1		

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3288 SF.

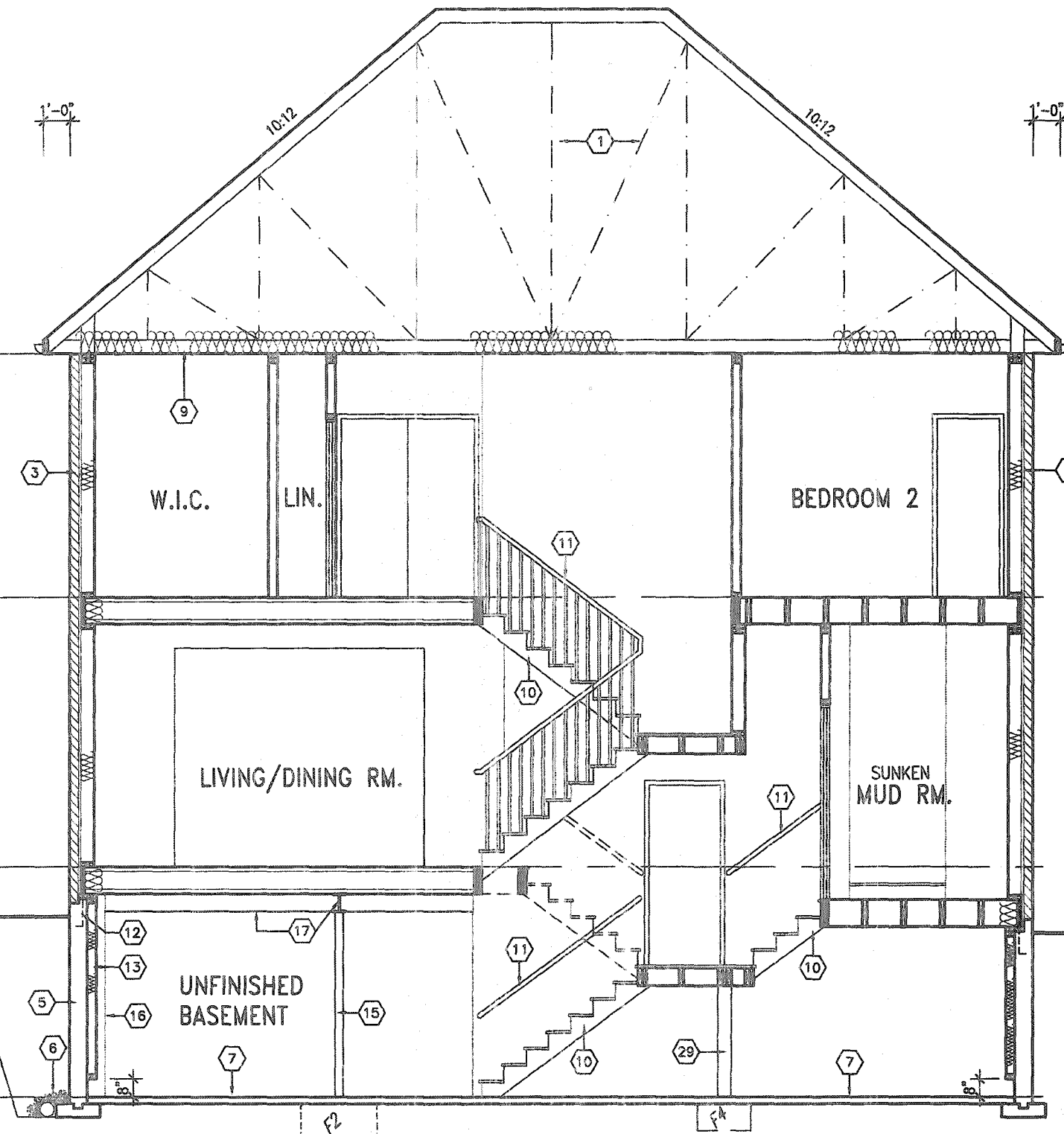
CITY OF HAMILTON
Building Division

Permit No. 21-105956

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL
DATE FEB. 13/21



SECTION A-A ELEVATION '1'


B. MARINKOVIC
November 16/2020
STRUDET INC.
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

MOUNTAINASH 5-185
COMPLIANCE PACKAGE 'A1'

9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 Greenpark.	MOUNTAINASH 5 13.5m	project no. 19014	drawing no. A8				
8.			qualification information							project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON		
7.			Richard Vink 24488 							date JANUARY 2020	SECTION A-A - ELEV. 1		
6.			name Richard Vink 24488 signature signature BCA							drawn by CL	checked by -	scale 3/16" = 1'-0"	the name 19014-MOUNTAINASH-5-185
5.			registration information VA3 Design Inc. 42658							Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			
4.	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 10/20	GW										
3.	ISSUED FOR PERMIT.	APR 13/20	GW										
2.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW										
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW										
no.	description	date	by										

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