

3189 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS**120 KPa NATIVE SOIL**

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER**(OBC 9.30.6)**

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

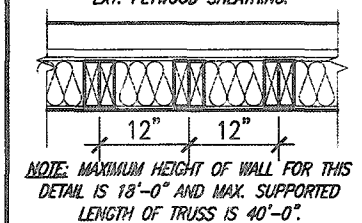
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

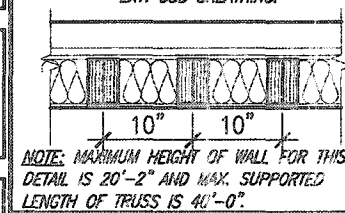
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT
WALL DETAIL**

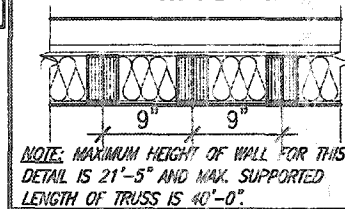
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, c/u SOLID
BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" O.C. FULL HEIGHT, c/u SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" O.C. FULL HEIGHT, c/u SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

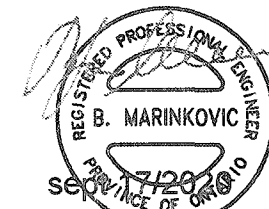
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

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STRUDET INC.
FOR STRUCTURE ONLY

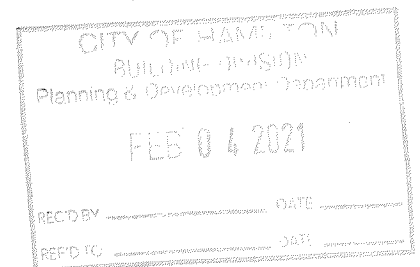
CITY OF HAMILTON
Building Division

Permit 21 105900
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

Jim Feb 22/21
CITY OF BUILDING OFFICIAL



MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH. 3
location
HAMILTON, ON.

MOUNTAINASH 4
13.5m

project no.
19014
drawing no.
A0
JAN. 2020
designed by
3/16" = 1'-0"
19014-MOUNTAINASH-4-217

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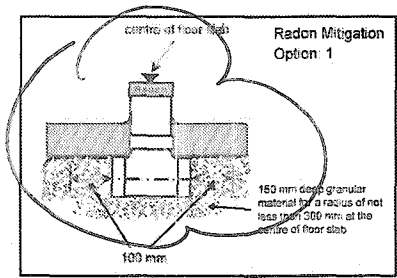
3189 SF.

VENEE CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

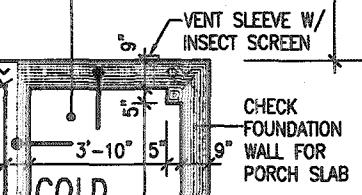
WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

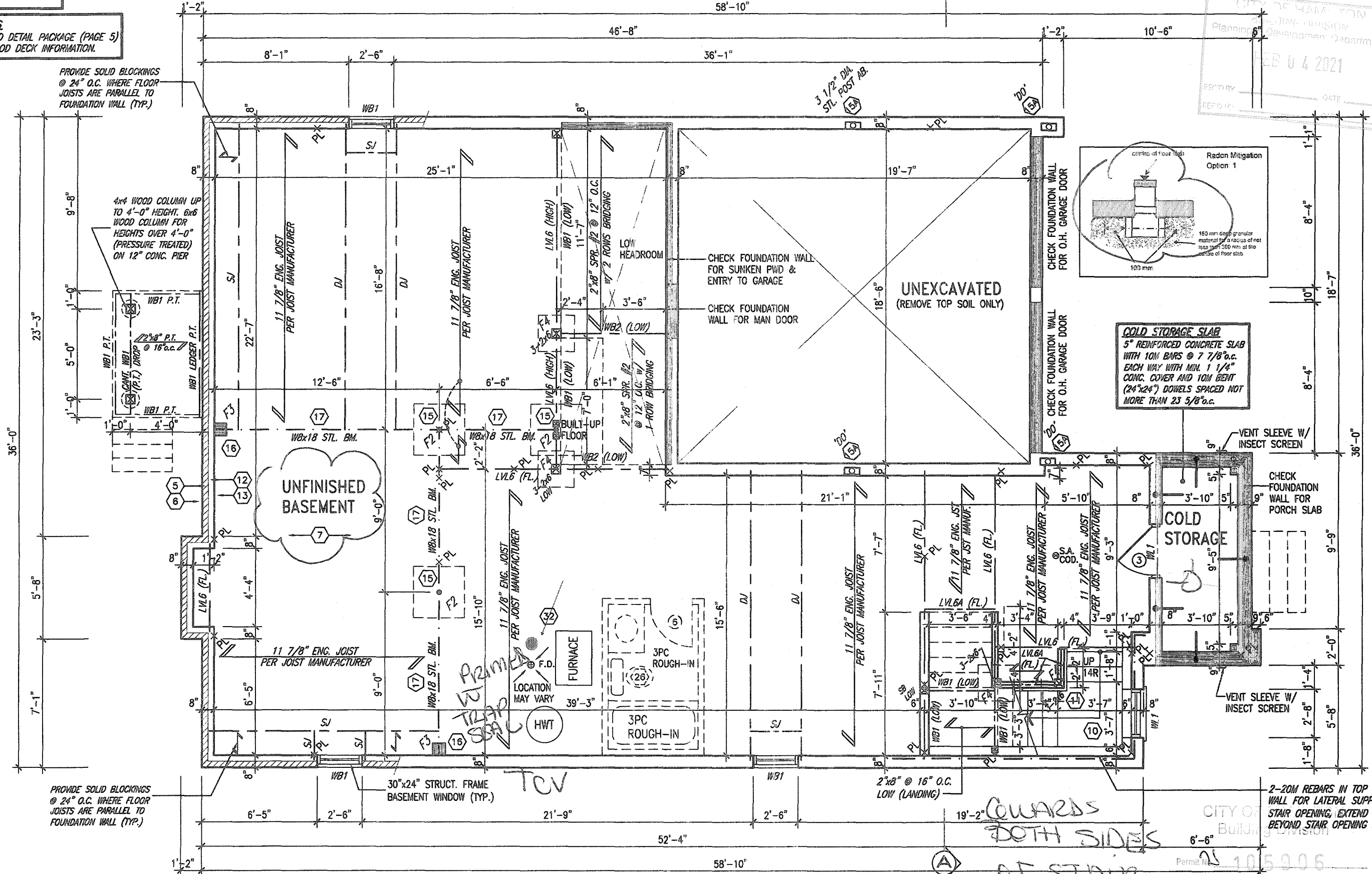
4x4 WOOD COLUMN UP TO 4'-0" HEIGHT. 6x6 WOOD COLUMN FOR HEIGHTS OVER 4'-0" (PRESSURE TREATED) ON 12" CONC. PIER



COLD STORAGE SLAB
5" REINFORCED CONCRETE SLAB WITH 10M BARS @ 7 7/8" O.C. EACH WAY WITH MIN. 1 1/4" CONC. COVER AND 10M BENT (24"x24") DOWELS SPACED NOT MORE THAN 23 5/8" O.C.



2-20M REBARS IN TOP OF FDN. WALL FOR LATERAL SUPPORT @ STAIR OPENING. EXTEND BARS 24" BEYOND STAIR OPENING EACHWAY.



PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING
Radon Mitigation

BASEMENT PLAN - ELEV. '3'

18.				9.			
17.				8.			
16.				7.			
15.				6.			
14.				5.			
13.				4.	CUSTOM PER PURCHASER REQUEST.	SEP 11/20	GW
12.				3.	ISSUED FOR PERMIT.	MAR 31/20	GW
11.				2.	UPDATED PER ENG. & CLIENT COMMENTS.	MAR 19/20	GW
10.				1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to use as a Designer.
qualification information
Richard Vink
signature
24488
BCIN
42658
none
registration information
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
drawing no.
19014
drawing no.
A1b

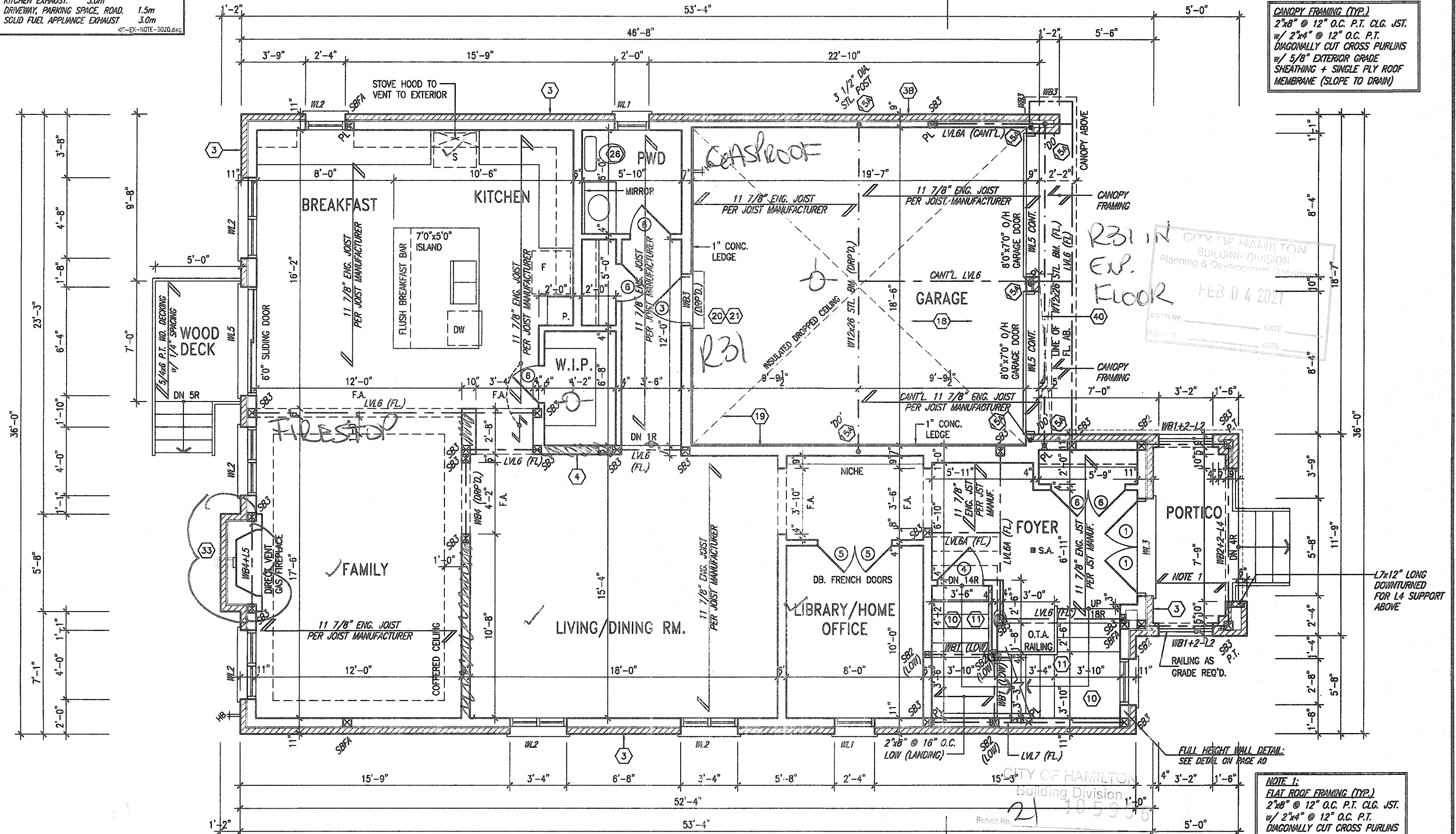
MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'
13.5m
BASEMENT PLAN - ELEV. 3
JAN. 2020
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-4-217.dwg - FR - Sep 11 2020 - 651 70

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KT-EX-NOTE-2020.GWS

CANOPY FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. CLG. JST.
 w/ 2"x4" @ 12" O.C. P.T.
 DIAGONALLY CUT CROSS PURLINS
 w/ 5/8" EXTERIOR GRADE
 SHEATHING + SINGLE PLY ROOF
 MEMBRANE (SLOPE TO DRAIN)



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JAN 28, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
No. 17120
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

18.				9.			The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17.				8.			
16.				7.			qualification information
15.				6.			Richard Vink  24.
14.				5.			name
13.				4.	CUSTOM PER PURCHASER REQUEST.	SEP 11/20	GW registration information
12.				3.	ISSUED FOR PERMIT.	MAR 31/20	GW VA3 Design inc. 42
11.				2.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10.				1.	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	bv	no.	description	date	bv

VA3

DESIGN

255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630
va3design.com



project name	municipality
RUSSELL GARDENS PH. 3	HAMILTON, ON.

date JAN. 2020
 drawn by N.HUR
 checked by
 scale 3/16" = 1'-0"
 1901

MOUNTAINASH 4
13.5m

	project no. 19014
--	----------------------

PLAN - ELEV. 3
file name
4-MOUNTAINASH-4-217
A2b
217.dwg - Fri - Sep 11 2020 - 6:51 PM

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GB--NOTE--2020.dwg

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3189 SF.

CITY OF HAMILTON
Building Division

Permit No. 2105906

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

16
 01m
 FOR CHIEF BUILDING OFFICIAL

FOR CHIEF BUILDING OFFICIAL
4" PREFIN. MTL.
CAPPED PARAPET (TYP.)

MID-POINT OF MAIN ROOF

— APPLIED STUCCO FINISH W/
REVEALS AS SHOWN

TOP OF PLATE

TOP OF WINDOW

— WINDOW OPERATION FOR
OPT. 2ND FLOOR COND. ONLY

— PREFIN. MTL FLASHING, W/
CAULKING BEHIND CLADDING
(TYP.)

— PREFIN. MTL FLASHING, W/
CAULKING TO MATCH (TYP.)

FIN. SECOND FLOOR

— WOOD GRAIN STUCCO
FINISH (TYP.)

TOP OF DOOR

TO PRECAST CONC.
HEADER (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

FRONT ELEVATION - ELEV. '3'

MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL:
APPROVED BY: 
DATE: JAN 22, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18		-	-	9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.	
17		-	-	8				qualification information	
16		-	-	7				Richard Vink	24
15		-	-	6					
14		-	-	5				name	
13		-	-	4	CUSTOM PER PURCHASER REQUEST.	SEP 11/20	GW	registration information	42
12		-	-	3	ISSUED FOR PERMIT.	MAR 31/20	GW	V&B Design Inc.	
11		-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be used for other projects without written permission.	
10		-	-	1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description		date	by	no.	description	date	by	

W	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
W	qualification information	
W	Richard Wink	24
W	name	
W	signature	
W	registration information	
W	V&S Design Inc.	42
W	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.	
W	Any fee's are not to be paid.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vo3design.com

[illegible]

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CITY OF HAMILTON
Building Division

Permit No. 4 105906

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

— ASPHALT SHINGLES (TYP

- VALLEY FLASHING (TYP.)
- PREFIN. ALUM. R.W.L,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

— 1"x6" ALUM. CLAD TOP OF WINDOW
FRIEZE BD. (TYP.)

— PREFIN. METAL COPING
(TYP.)

FIN. SECOND FLOOR

—10" PRECAST CONC.
HEADER (TYP.)

TOP OF WINDOW

CONTEMPORARY
STONE PATTERN

RAILING AS
GRADE REQ'D.

FIN. GROUND FLOOR

FIN. GRADE

—POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JAN 28 2021
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Design Guidelines only and bears no further
professional responsibility.

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17				8			
16				7			qualification information
15				6			Richard Vink 2448  signature SC
14				5			some registration information 4265
13				4	CUSTOM PER PURCHASER REQUEST.	SEP 11/20 GW	VAK Design Inc.
12				3	ISSUED FOR PERMIT.	MAR 31/20 GW	
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this work. Drawings are not to be used after the completion of this work.
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VA3

DESIGN

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON
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MOUNTAINASH 4
13.5m

LEFT SIDE ELEVATION - ELEV. 3

drawing no.

A5b

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
RECEIVED _____ DATE _____
RECEIVED _____ DATE _____

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PL

CITY OF HAMILTON
Building Division

TOP OF WH

21 105906

STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
BUILDING CODE AND ALL OTHER APPLICABLE LAWS

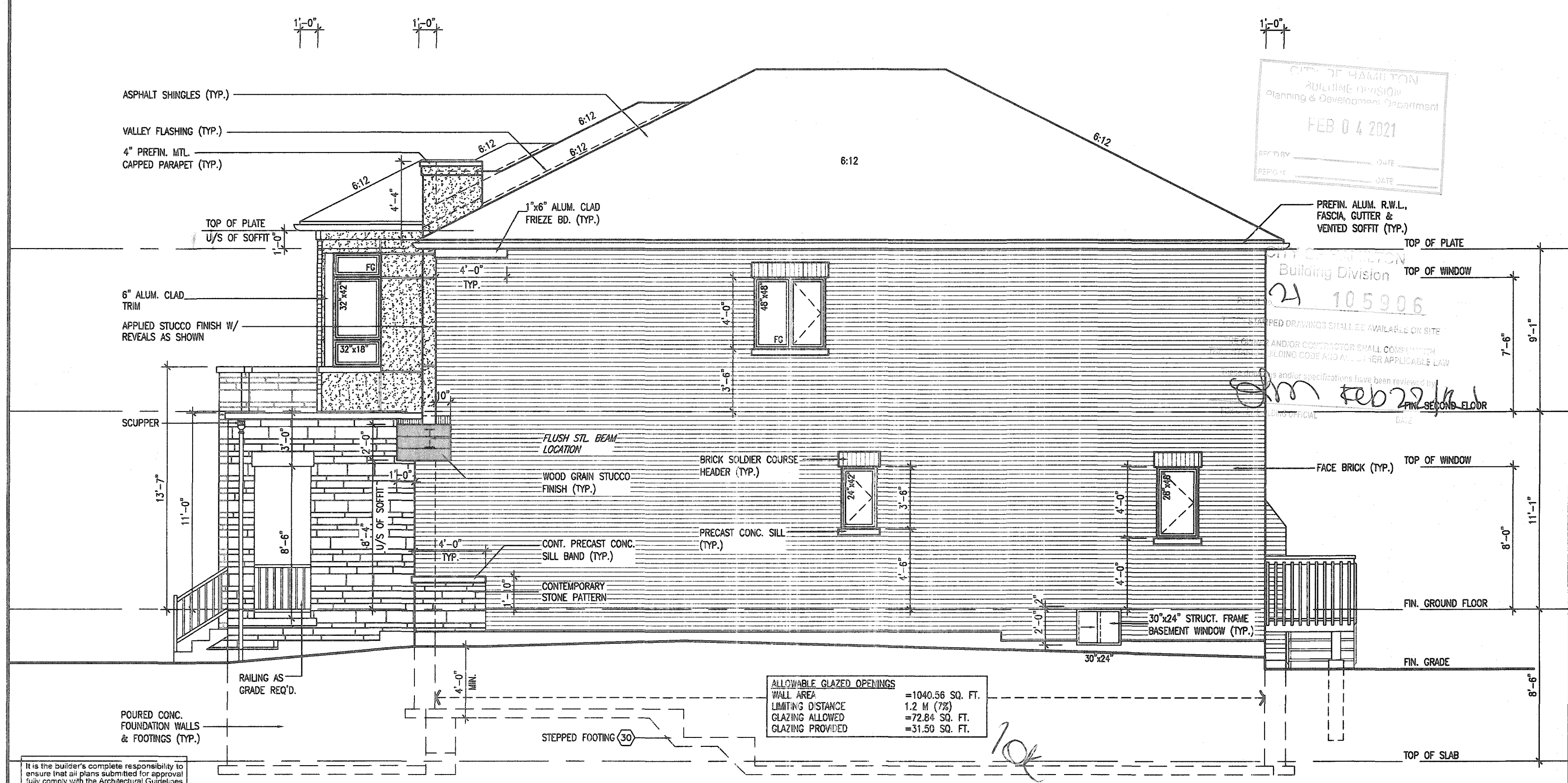
Plans and/or specifications have been reviewed by

mm feb 27/11

2-PIN SECOND

ISSUING OFFICIAL

DATE



RIGHT SIDE ELEVATION - ELEV. '3'

MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JAN 28 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
17				8			
16				7			qualification information
15				6			Richard Vink
14				5			<i>R Vink</i> 24 signature
13				4	CUSTOM PER PURCHASER REQUEST.	SEP 11/20 GW	name registration information VA3 Design inc. 42
12				3	ISSUED FOR PERMIT.	MAR 31/20 GW	
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the product of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
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CONTRACT NO.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	24
QUALIFICATION INFORMATION	Richard Vink <i>R Vink</i>	24
NAME	signature	
REGISTRATION INFORMATION	VAS Design Inc.	42
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE INSTRUMENTAL TO THE DESIGN AND THE RESPONSIBILITY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DIMENSIONS ARE NOT TO BE SCALED.		

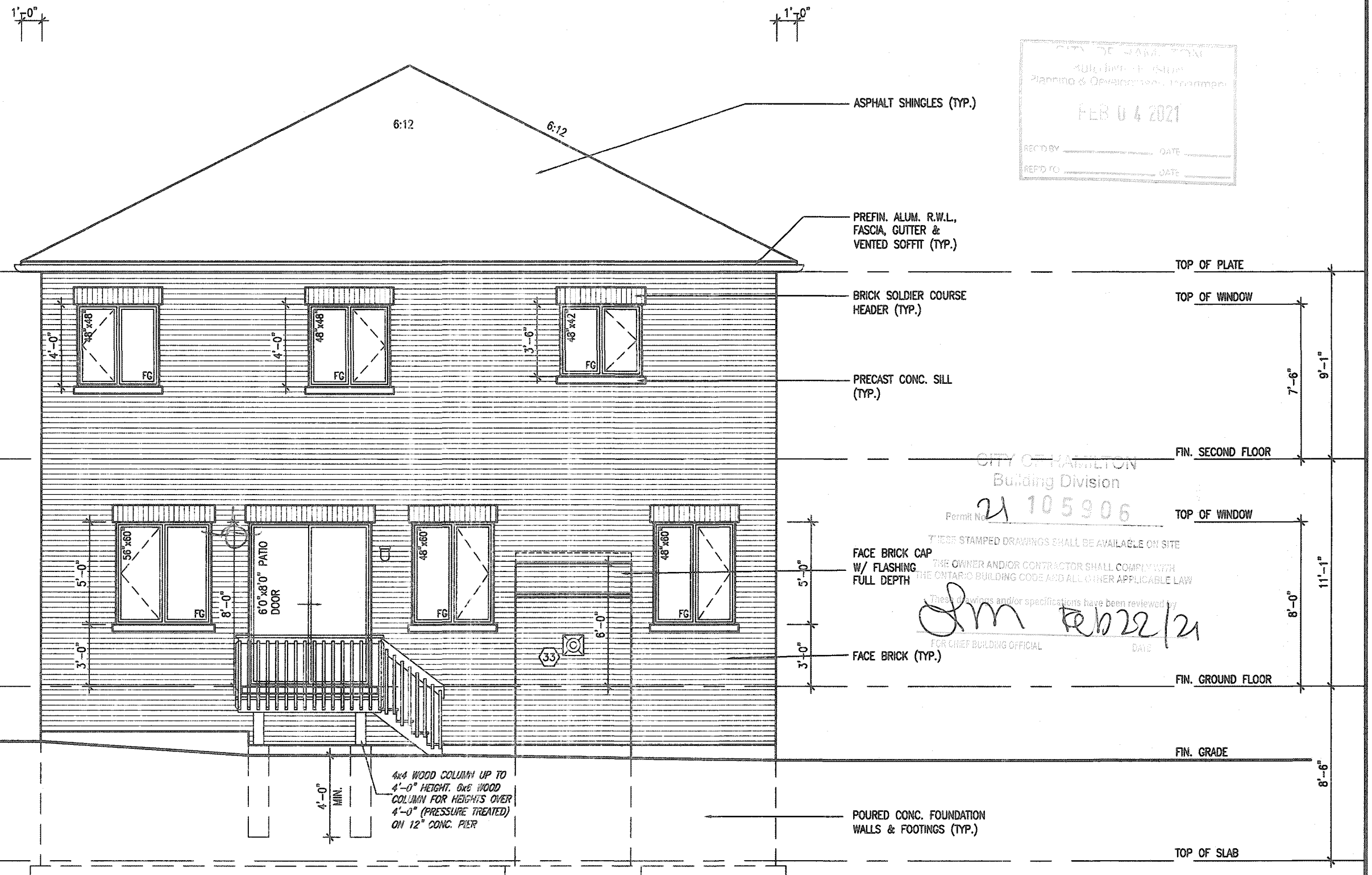
VA3
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255 Consumers Rd Suite 120
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va3design.com

Greenpark™

project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014
date JAN. 2020		drawing no. A6b
RIGHT SIDE ELEVATION - ELEV. 3		
drawn by M.HUR	checked by 3/16" = 1'-0"	file name 19014-MOUNTAINASH-4-217

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EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

REAR ELEVATION '3'-
DECK CONDITION

MOUNTAINASH 4-217
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
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17				8				
16				7			qualification information	
15				6			Richard Vink	24488
14				5			name	
13				4	CUSTOM PER PURCHASER REQUEST.	SEP 11/20	GW	registration information
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW	VAS Design Inc. 42658
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	
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project name RUSSELL GARDENS PH. 3 municipality HAMILTON, ON

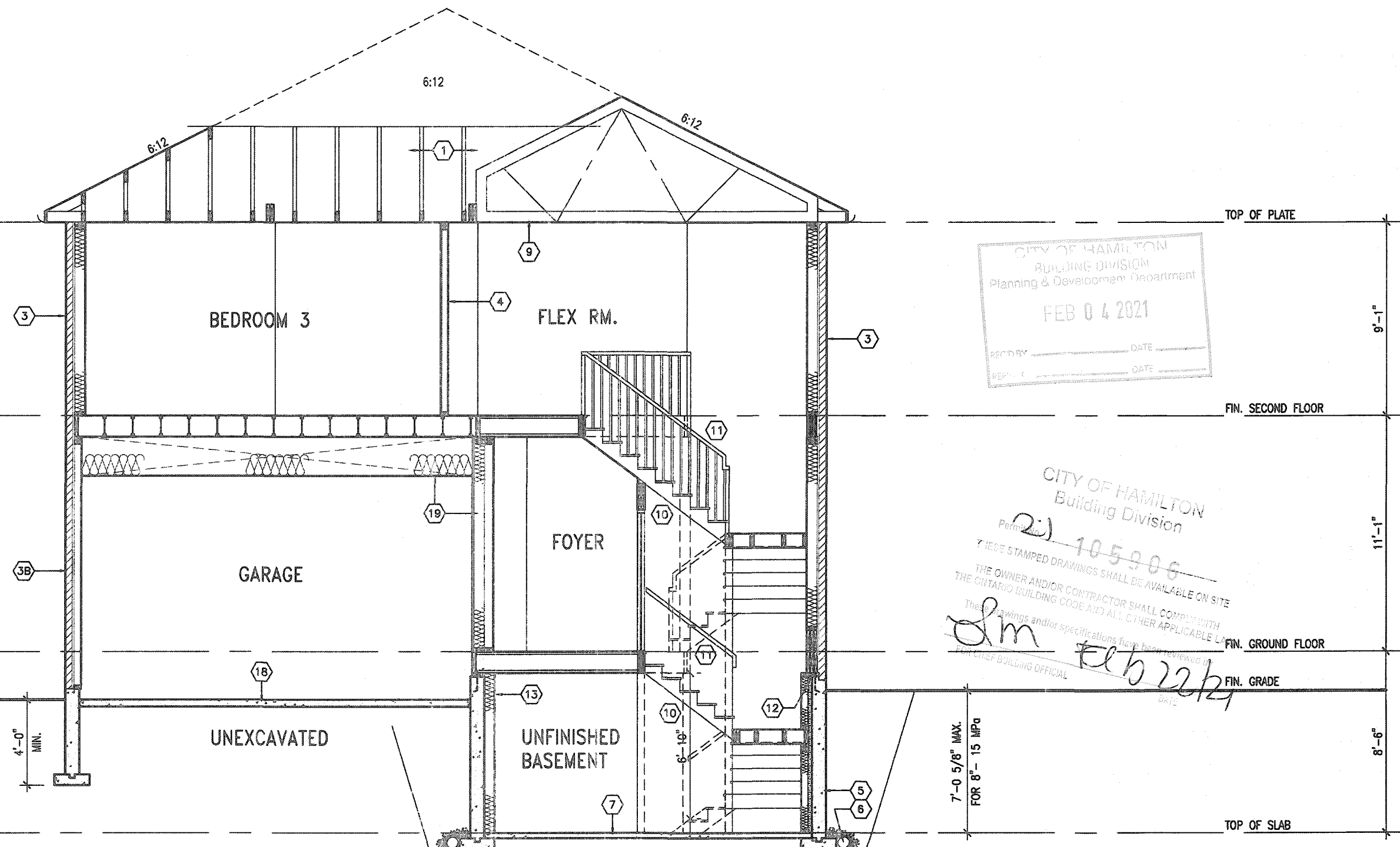
date JAN. 2020 REAR ELEV. 3-

drawn by N.HUR checked by 3/16" scale 1"=0" 1901

DESIGNED BY [WWW.HURONCORP.COM/16214-GR-14-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31](http://WWW.HURONCORP.COM/16214-GR-14-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000)

MOUNTAINASH 4
 13.5m
 project no.
19014
 drawing no.
A7b

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