

3125 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

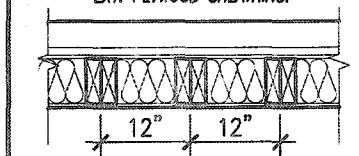
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

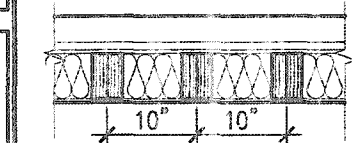
2-2"x6" STUD WALL NAIL TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

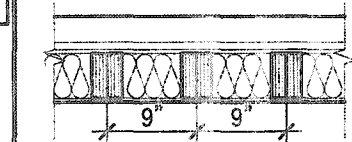
2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAIL TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

SPEC'S ATTACHED.



Electrical Safety Authority

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the Law. For more information go to esasa.com or call 1-877-372-7233

SINGLE FAMILY DWELLING ONLY

STRUDET INC. FOR STRUCTURE ONLY

MOUNTAINASH 12-236 COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON Building Division

Permit No. 21-106033

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

JDC FEB 25 2021

FOR CHIEF BUILDING OFFICIAL DATE



255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 / 416.630.4782 va3design.com



project name RUSSELL GARDENS PH. 3

municipality HAMILTON

MOUNTAINASH 12 13.5m

project no. 19014

drawn by

checked by

scale 3/16" = 1'-0"

GENERAL NOTES & CHARTS

19014-MOUNTAINASH-12-236

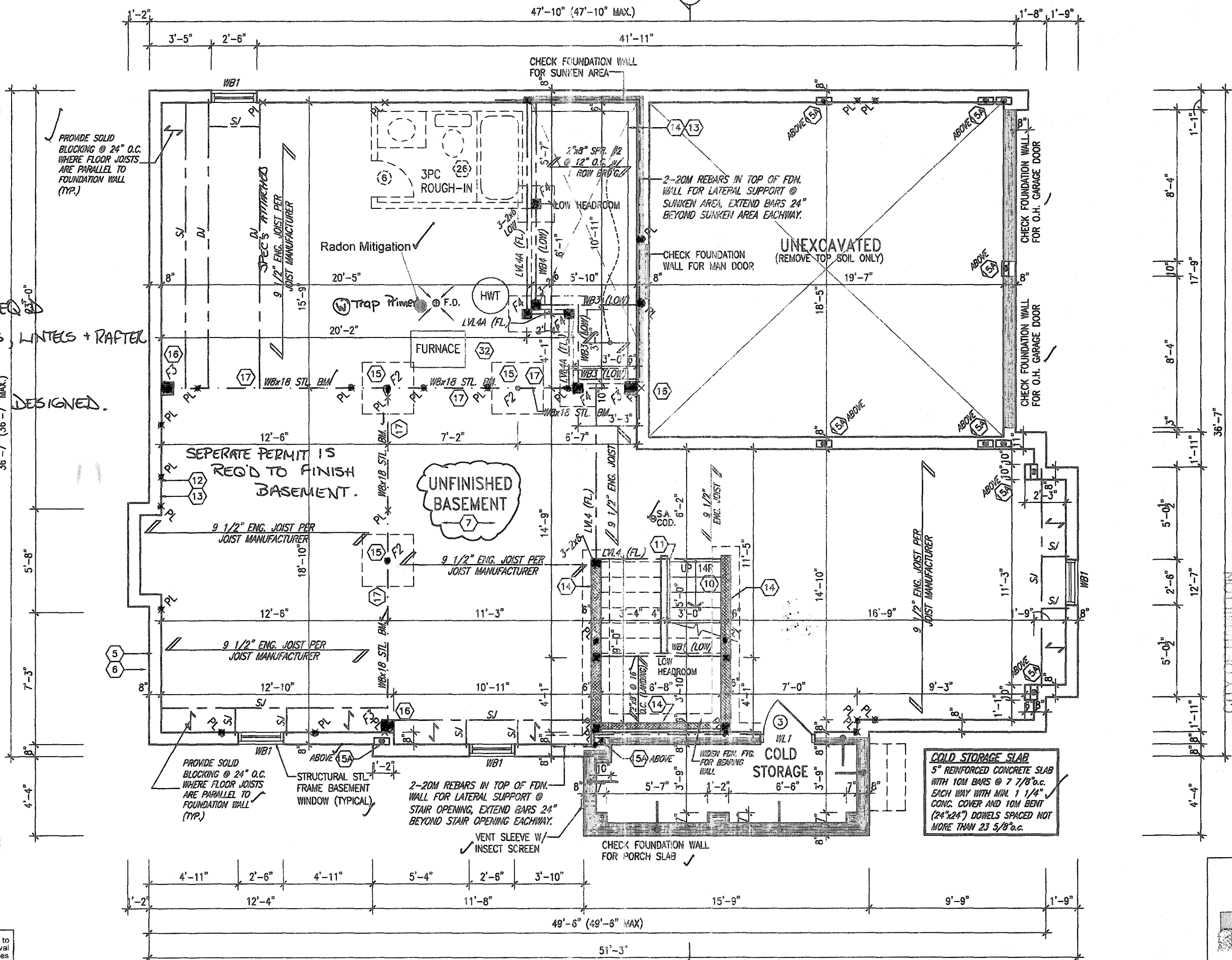
drawing no. A0

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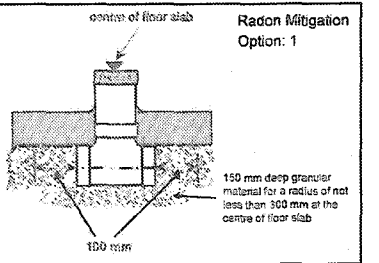
3125 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
DATE
DATE

SOLID BEARING REQ'D
1 1/2" MIN FOR JOISTS, LINTELS + RAFTER
3 1/2" MIN FOR BEAM.
UNLESS OTHERWISE DESIGNED.



36'-7" (36'-7" MAX)
5'-8"
7'-3"
4'-4"
1'-2"
3'-5"
2'-6"
41'-11"
1'-8"
1'-9"
8'-4"
17'-9"
8'-4"
5'-0 1/2"
2'-6"
12'-7"
5'-0 1/2"
8'-8"
1'-11"
36'-7"



BASEMENT PLAN - ELEV. 1

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



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no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW
12				3	ISSUED FOR PERMIT.	APR 08/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20	GW
10				1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
42658
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qualification information
Richard Vink
signature
24488
BCO
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and modifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
+ 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.		MOUNTAINASH 12 13.5m	
project name RUSSELL GARDENS PH. 3	municipality HAMILTON	project no. 19014	
date JANUARY 2020	checked by scale 3/16" = 1'-0"	drawing no. A1	
BASEMENT PLAN - ELEV. 1			

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	

XIT-FY-NOT-2020 ad

FEB 04 2021

REC BY _____ DATE _____
 RECD TO _____ DATE _____

GAS FIREPLACE SHALL BE INSTALLED
AS PER MANUFACTURER'S ¹⁰GUIDELINES ³³
AND CAN/ULC SPECIFICATIONS

FIRE BLOCKING W2
FIRE BLOCKING IS REQ'D IN ALL
CONCEALED SPACES

8" DIA. COLUMN ANCHORED TO
14"x14" SOLID MASONRY PIER
(TYP.). PROVIDE SIMPSON
STRONG-TIE CONNECTOR FOR
POST-BEAM CONNECTION (TYP.)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28 2021

DATE: JAN 25, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

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GROUND FLOOR PLAN - ELEV. 1

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division

Permit No. 21-106033

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FEB 25 2021

1. LEADS AND LEADS OFFICIAL DATE

18.		-	-	9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.	
17.		-	-	8.				
16.		-	-	7.			qualification information	
15.		-	-	6.			Richard Vink 2448	
14.		-	-	5.			name signature 4265	
13.		-	-	4.	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW	
12.		-	-	3.	ISSUED FOR PERMIT.	APR 09/20	GW	
11.		-	-	2.	UPDATED PER ENG & CLIENT COMMENTS.	APR 09/20	GW	
10.		-	-	1.	PRELIMINARY, ISSUED FR CLIENT REVIEW.	JAN 23/20	GW	
no.	description		date	by	no.	description	date	by



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON	1901
date JANUARY 2020	GROUND FLOOR PLAN - ELEV. 1	drawing no. A2
drawn by DB	checked by -	scale 3/16" = 1'-0"
file name 1901A-MOUNTAINASH-12-236		
DB - J:\ALBERTA\WORKING\2115\1814\GND\Floor Plans\1901A-MOUNTAINASH-12-236.dwg - Fr - Sm 25 2020 - 11:21 AM		

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3125 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. 05-NOTE-2020.dwg

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 04 2021

REC BY _____ DATE _____
REFD TO _____ DATE _____

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Electrical Safety Authority



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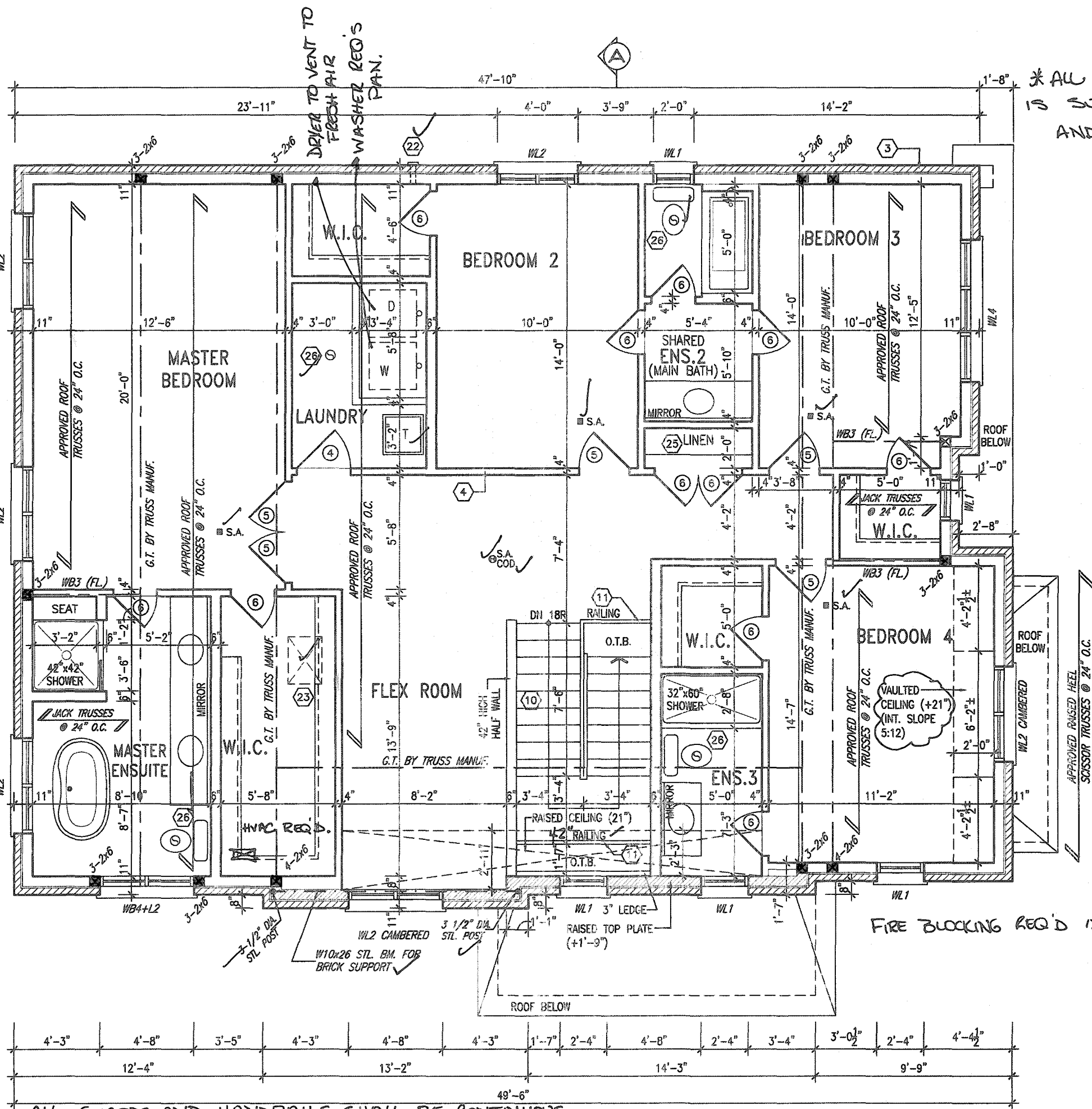
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: JAN 28, 2021

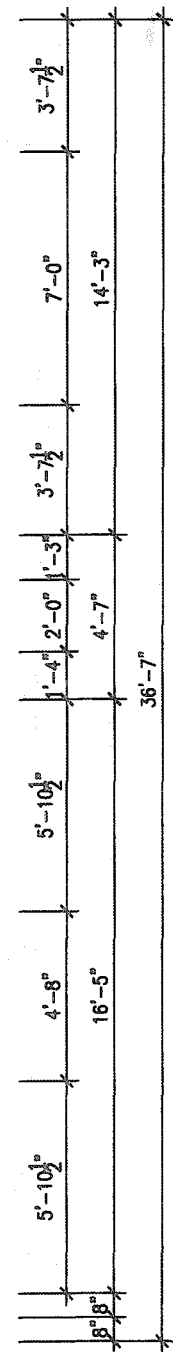
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* ALL PLUMBING WORK THROUGH-OUT IS SUBJECT TO FIELD INSPECTION AND APPROVAL *



FIRE BLOCKING REQ'D IN CONCEALED SPACES

CITY OF HAMILTON
Building Division

Permit No. 21-106033

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE. THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by JDC FEB 25 2021

FOR CHIEF BUILDING OFFICIAL DATE

SECOND FLOOR PLAN - ELEV. 1

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6		
14			5		
13			4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20 GW
12			3	ISSUED FOR PERMIT.	APR 08/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	APR 03/20 GW
10			1	PRELIMINARY, ISSUED FR CLIENT REVIEW.	JAN 23/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

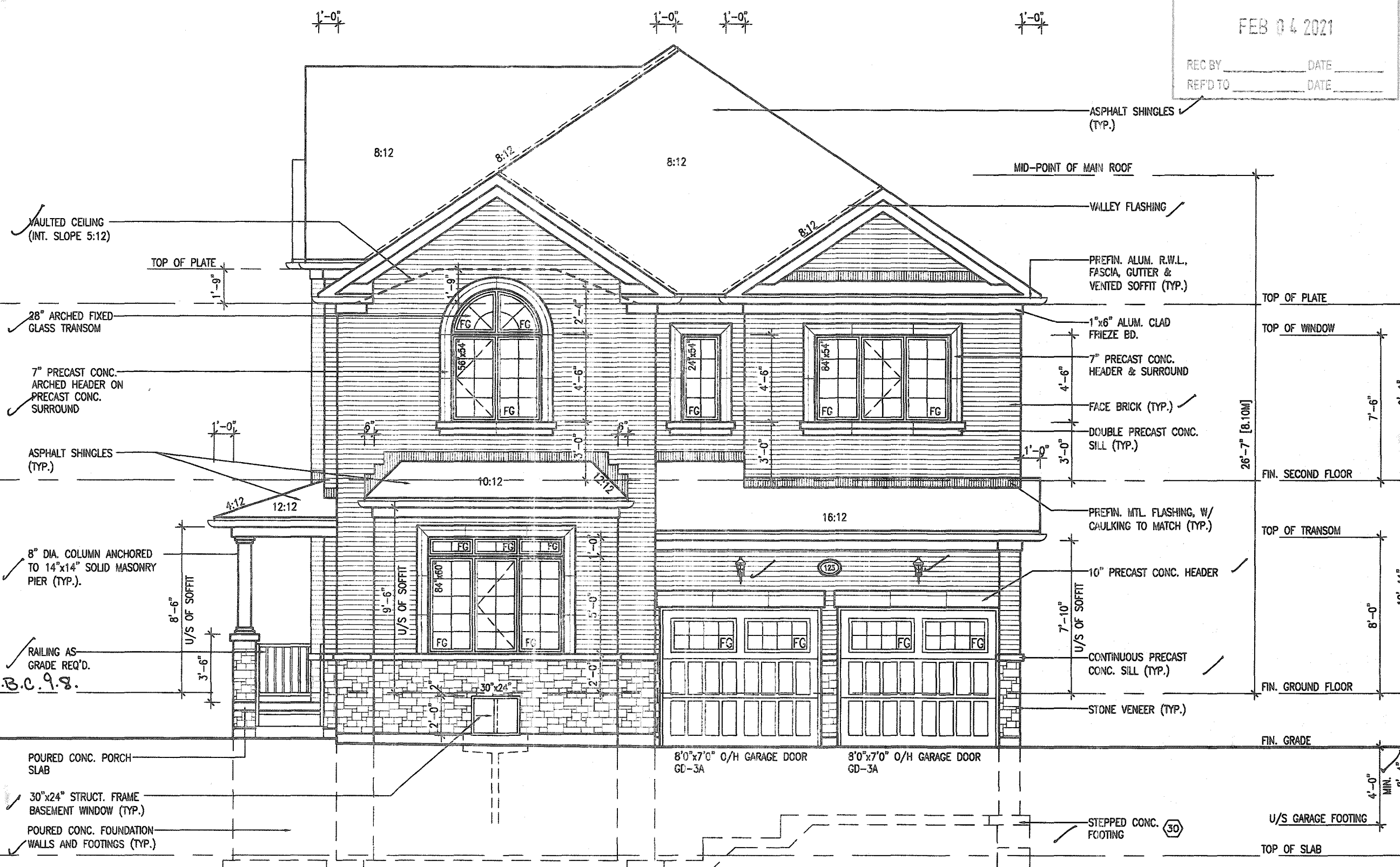
Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON
date
JANUARY 2020
drawn by
DB
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-12-236
FILE - Sep 25 2020 - 11:23 AM

MOUNTAINASH 12
13.5m
project no.
19014
drawing no.
A3
SECOND FLOOR PLAN - ELEV. 1

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 04 2021

REC BY _____ DATE _____
REF'D TO _____ DATE _____



FRONT ELEVATION

Permit No. 21-106033

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FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JAN 26, 2021
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Design Guidelines only and bears no further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

18		-	-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
17		-	-	8					
16		-	-	7			qualification information		
15		-	-	6			Richard Vink	2440	
14		-	-	5			nrc signature	BC	
13		-	-	4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20 GW	registration information	4265	
12		-	-	3	ISSUED FOR PERMIT.	APR 09/20 GW	V&A Design Inc.		
11		-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	APR 06/20 GW			
10		-	-	1	PRELIMINARY. ISSUED FR CLIENT REVIEW.	JAN 23/20 GW			
no.	description		date	by	no	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24

name signature

registration information

Y&S Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.477
va3design.com

 **Greenpark**

Project Name **RUSSELL GARDENS PH. 3** HAMPSHIRE

DATE **15 JANUARY 2020** FRONT

FROM BY **IB** checked by **—** scale **3/16" = 1'-0"**

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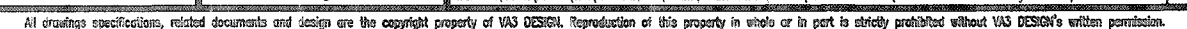
MOUNTAINASH 12	
13.5m	
by N	project no 1901
ATION - ELEV. 1	drawing no.
file name 4-MOUNTAINASH-12-236	A4
L 236.dwg - Fri - Sep 25 2020 - 11:53 AM	

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

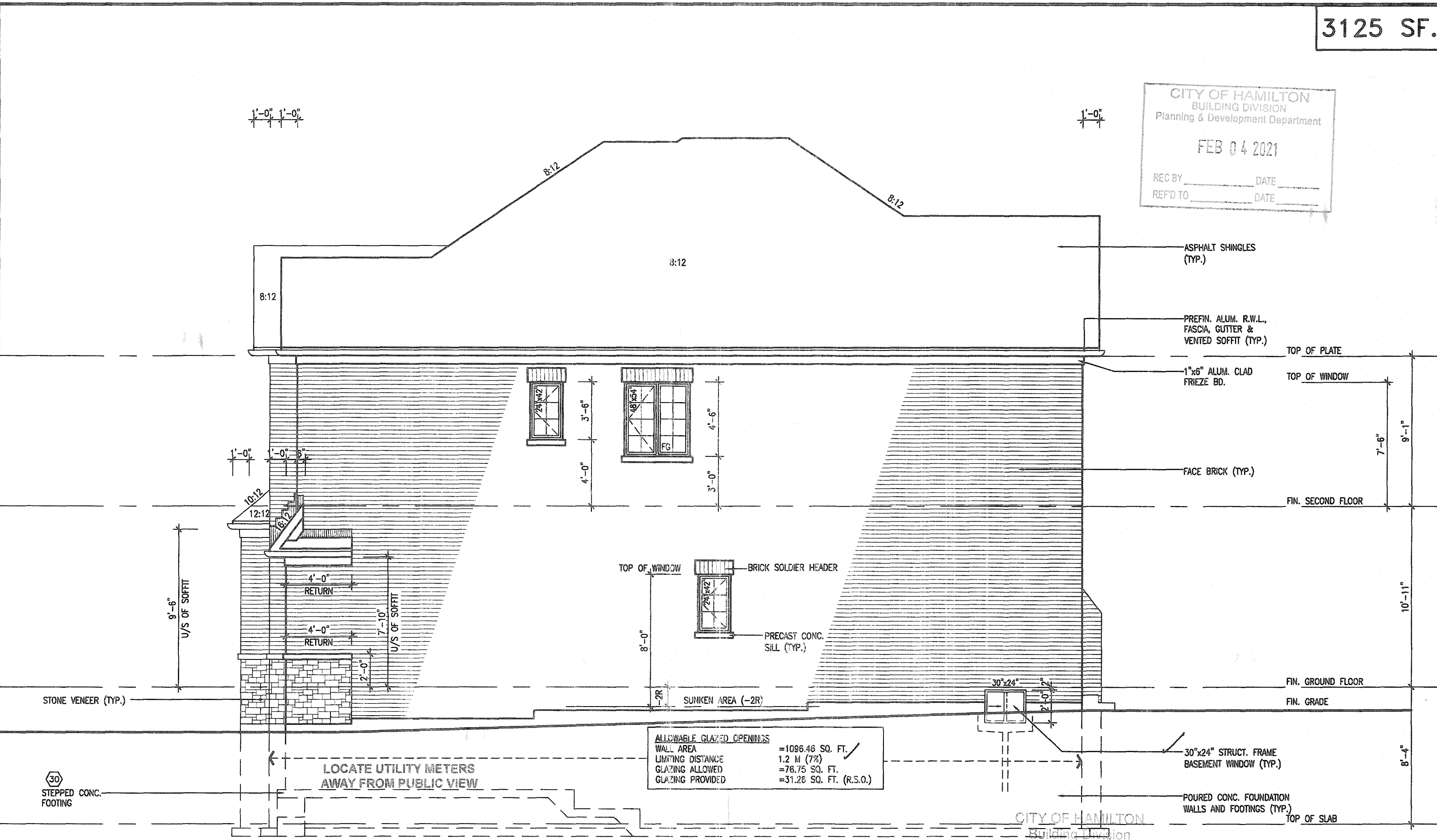
FEB 04 2021

REC BY _____ DATE _____
REFD TO _____ DATE _____



3125 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
REC BY _____ DATE _____
REF'D TO _____ DATE _____



L.D. 1.25m - OKAY

RIGHT SIDE ELEVATION 1

Permit No. 21-106033

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL FEB 25 2021

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 22, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

18.			9.		
17.			8.		
16.			7.		
15.			6.		
14.			5.		
13.			4.	CUSTOM PER PURCHASER REQUEST.	SEP 25/20 GW
12.			3.	ISSUED FOR PERMIT.	APR 09/20 GW
11.			2.	UPDATED PER ENG & CLIENT COMMENTS.	APR 09/20 GW
10.			1.	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 23/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code for a Designer.
qualification information
Richard Vink 24488
signature
Vink Design Inc. 42658
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VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
city
HAMILTON
date
JANUARY 2020
checked by
3/16" = 1'-0"

MOUNTAINASH 12
13.5m
project no.
19014
drawing no.
A6
RIGHT SIDE ELEVATION - ELEV. 1
19014-MOUNTAINASH-12-236
FEB 25 2021 - 11:23 AM

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
REC BY _____ DATE _____
REFD TO _____ DATE _____

✓ ASPHALT SHINGLES
(TYP.)

15"x25" LOUVER W/
✓ 4" PRECAST CONC.
SURROUND AND SILL

VALLEY FLASHING

Architectural elevation drawing of a two-story building facade. The drawing includes the following annotations and dimensions:

- Dimensions:**
 - Vertical dimensions on the left: 4'-6", 3'-0", 6'-0", 2'-0".
 - Vertical dimensions on the right: 7'-6", 8'-0".
 - Horizontal dimension: 1'-0".
 - Roof pitch: 12:12, 4:12.
 - Vertical dimension for porch: 8'-6" U/S OF SOFFIT.
- Annotations:**
 - 7" PRECAST CONC. HEADER
 - FACE BRICK (TYP.)
 - POURED CONC. DOOR SILL & PRECAST CONC. STEP
 - MAX 2 RISERS WITHOUT SEPERATE DECK PERMIT.
 - MIN. 7.0m TO PROPERTY LINE.
 - FACE BRICK CAP W/ FLASHING FULL DEPTH
 - PROTECTION
 - 7" PRECAST CONC. HEADER & SURROUND
 - DOUBLE PRECAST CONC. SILL (TYP.)
 - 8" DIA. COLUMN ANCHORED TO 14"x14" SOLID MASONRY PIER (TYP.).
 - RAILING AS GRADE REQ'D. SEE'S ATTACHED
 - STONE VENEER (TYP.)
- Labels:**
 - RAISED TOP OF PLATE
 - TOP OF PLATE
 - TOP OF WINDOW
 - FIN. SECOND FLOOR
 - TOP OF DOOR
 - FIN. GROUND FLOOR
 - FIN. GRADE
 - TOP OF SLAB
- Other:**
 - Window labels: 50"x64" FG, 6'0" SLIDING DOOR, 20"x72" FG.
 - City of Hamilton Building Division stamp.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

 FEB 25 2021

FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: JAN 22, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
architectural responsibility.

[illegible]

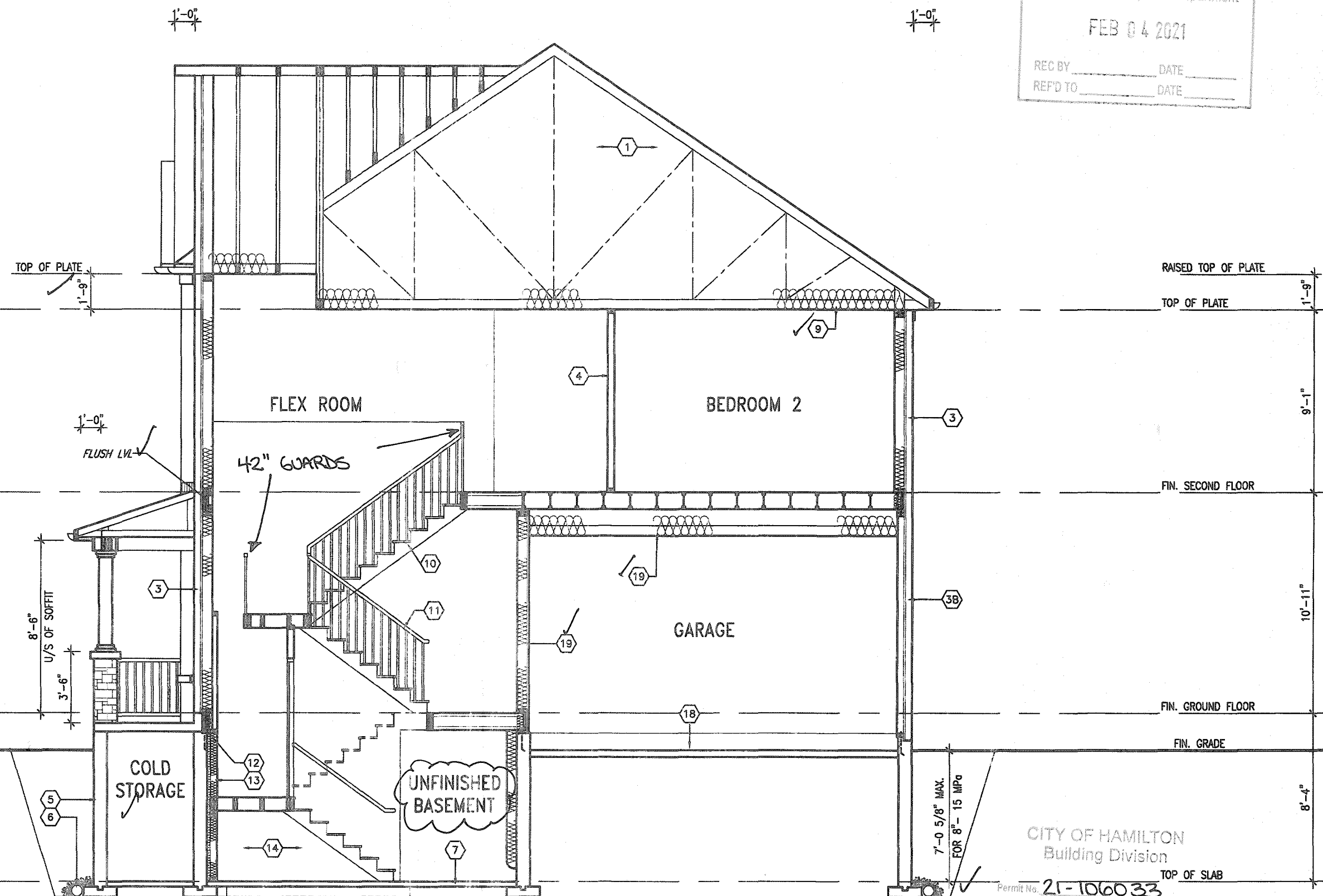
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3125 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 04 2021

REC BY: _____ DATE: _____
REF'D TO: _____ DATE: _____



SECTION A-A - ELEVATION 1



STRUDET INC.
FOR STRUCTURE ONLY

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THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
JDC
FOR SHEET BUILDING OFFICIAL
DATE: FEB 25 2021

MOUNTAINASH 12-236
COMPLIANCE PACKAGE 'A1'

18		9	
17		8	
16		7	
15		6	
14		5	
13		4	CUSTOM PER PURCHASER REQUEST.
12		3	ISSUED FOR PERMIT.
11		2	UPDATED PER ENG & CLIENT COMMENTS.
10		1	PRELIMINARY. ISSUED FR CLIENT REVIEW.
no.	description	date	by

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qualification information
Richard Vink
signature
24488
BCN
42658

date by
SEP 25/20 GW
APR 03/20 GW
APR 03/20 GW
JAN 23/20 GW

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VAS
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vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

city
HAMILTON

date
JANUARY 2020

drawn by
DB

checked by
3/16" = 1'-0"

scale

MOUNTAINASH 12
13.5m

project no.
19014

CROSS SECTION A-A - ELEV. 1

19014-MOUNTAINASH-12-236

file name

drawing no.
A8