

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (40x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4'-3"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6'-3"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6'-3"x3'-1/2"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6'-3"x3'-1/2"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (40x90x6.0L)
L2 = 4'-3"x3'-1/2"x5/16" (100x90x8.0L)
L3 = 5'-3"x3'-1/2"x5/16" (125x90x8.0L)
L4 = 6'-3"x3'-1/2"x3/8" (150x90x10.0L)
L5 = 6'-3"x3'-1/2"x3/8" (150x100x10.0L)
L6 = 7'-3"x3'-1/2"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

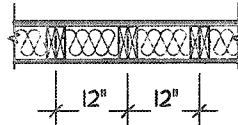
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

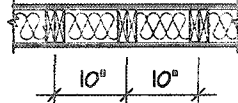
2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) L5E
STUD WALL, GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATINGS = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

CITY OF HAMILTON

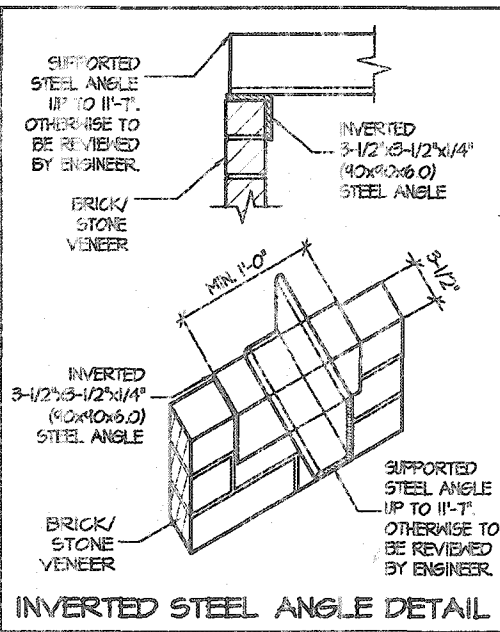
Building Division

Permit No. 21-105978

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

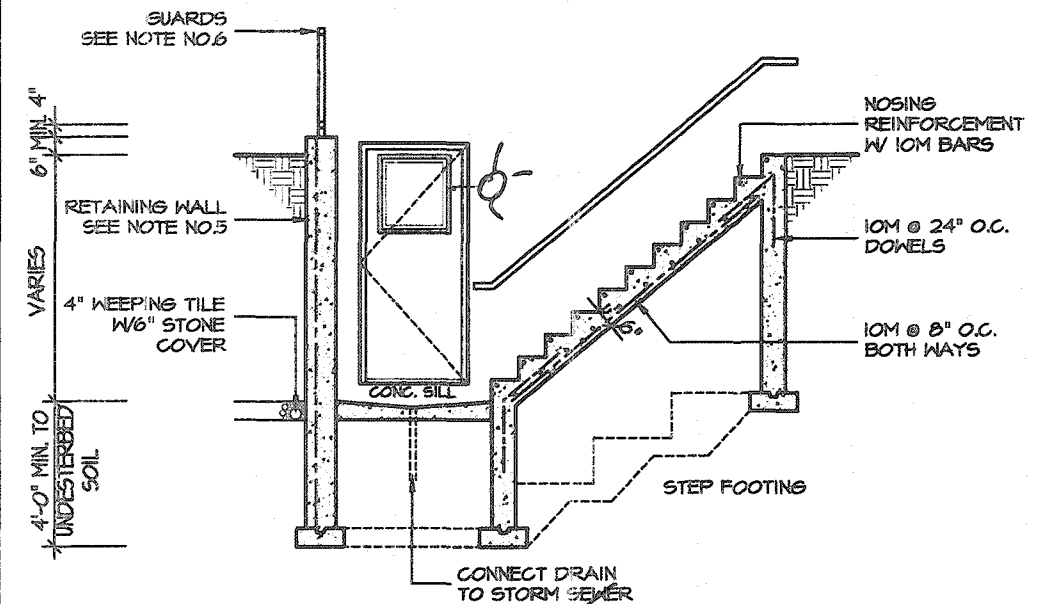
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE L.A.W.

These drawings and/or specifications have been reviewed by
FEB 22 2021
FOR CHIEF BUILDING OFFICIAL JATE



INVERTED STEEL ANGLE DETAIL

EXTERIOR WALKUP STAIRS DETAILS



SECTION

GENERAL NOTES:

- FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL
OR COMPACTED GRANULAR FILL.
- CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR
ENTRAINMENT.
- EXTERIOR STAIRS
7 1/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
4 1/4" TREAD MINIMUM
- INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD
NOTES.
- RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7".
PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @
24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS
PER OBC DIVISION B SECTION 4.15.16.
- GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR
LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

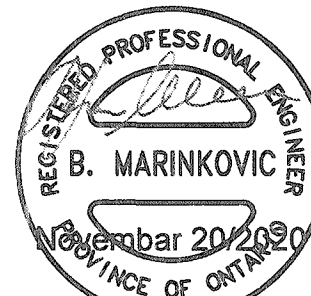
AREA CALCULATIONS		ELEV. 2
GROUND FLOOR AREA	=	1229 Sq. Ft.
SECOND FLOOR AREA	=	1555 Sq. Ft.
TOTAL FLOOR AREA	=	2784 Sq. Ft.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	10 Sq. Ft.
ADD TOTAL OPEN AREAS	=	10 Sq. Ft.
ADD FIN BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2794 Sq. Ft.
	=	259.57 Sq. M.
GROUND FLOOR COVERAGE	=	1229 Sq. Ft.
GARAGE COVERAGE / AREA	=	398 Sq. Ft.
PORCH COVERAGE / AREA	=	77 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1704 Sq. Ft.
	=	158.31 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1627 Sq. Ft.
	=	151.18 Sq. m.

VALLEYCREEK 4		ELEV. 2	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	738.52	68.61	41.35	4.05	13.19 %
LEFT SIDE	1174.82	109.14	63.67	5.92	5.42 %
RIGHT SIDE	1105.84	102.74	55.35	5.14	5.00 %
REAR	708.38	65.81	166.61	15.48	23.52 %
TOTAL	3127.61	346.31	382.94	35.58	10.21 %

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

STRUDET INC.



FOR STRUCTURE ONLY

VALLEYCREEK 4-238

COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

5		
4		
3		
2	UPDATED FOR LOT 238	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 735-4096
F (905) 661-0746

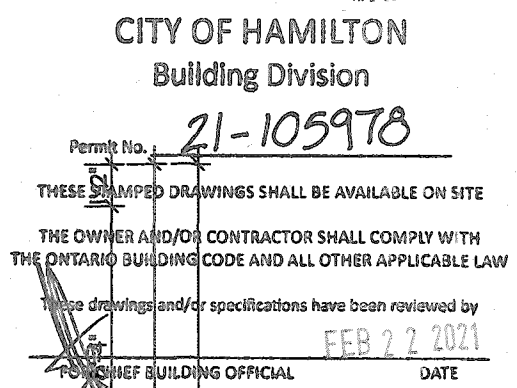
REGION
DESIGN
INC.

AREA CHARTS

SCALE	3/16"=1'-0"
DATE	JAN 2020

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA	2.814
PAGE No.	0
PROJECT	



5			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4036 F (605) 660-0745	SHEET TITLE FIRST FLOOR PLAN ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSELL GARDENS III
4									
3									
2	UPDATED FOR LOT 238	SEP 2020							
1	ISSUED FOR REVIEW	JAN 2020							
REVISIONS					SCALE 3/16"=1'-0"	BY V.G.	AREA 2,814	PAGE No. 2-2	
					DATE JAN 2020	TYPE	PROJECT		

CITY OF HAMILTON
Building Division

Permit No. 21-105978

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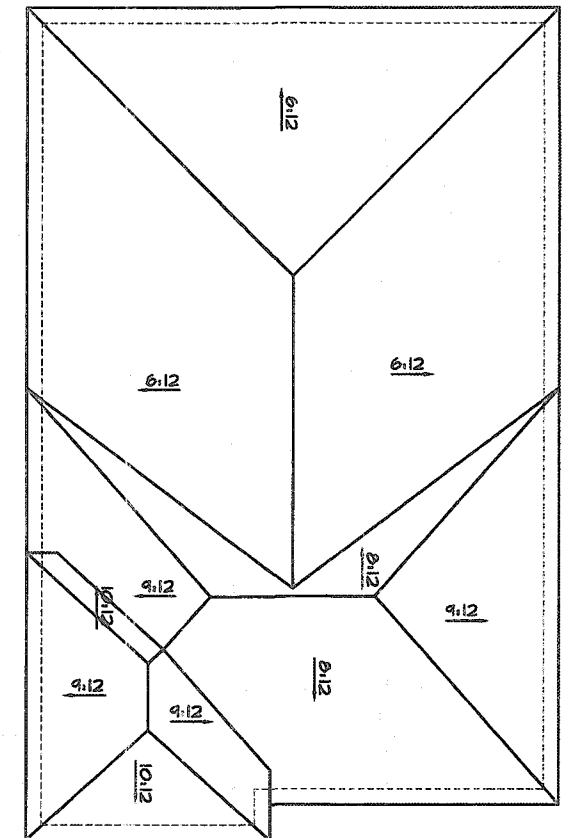
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

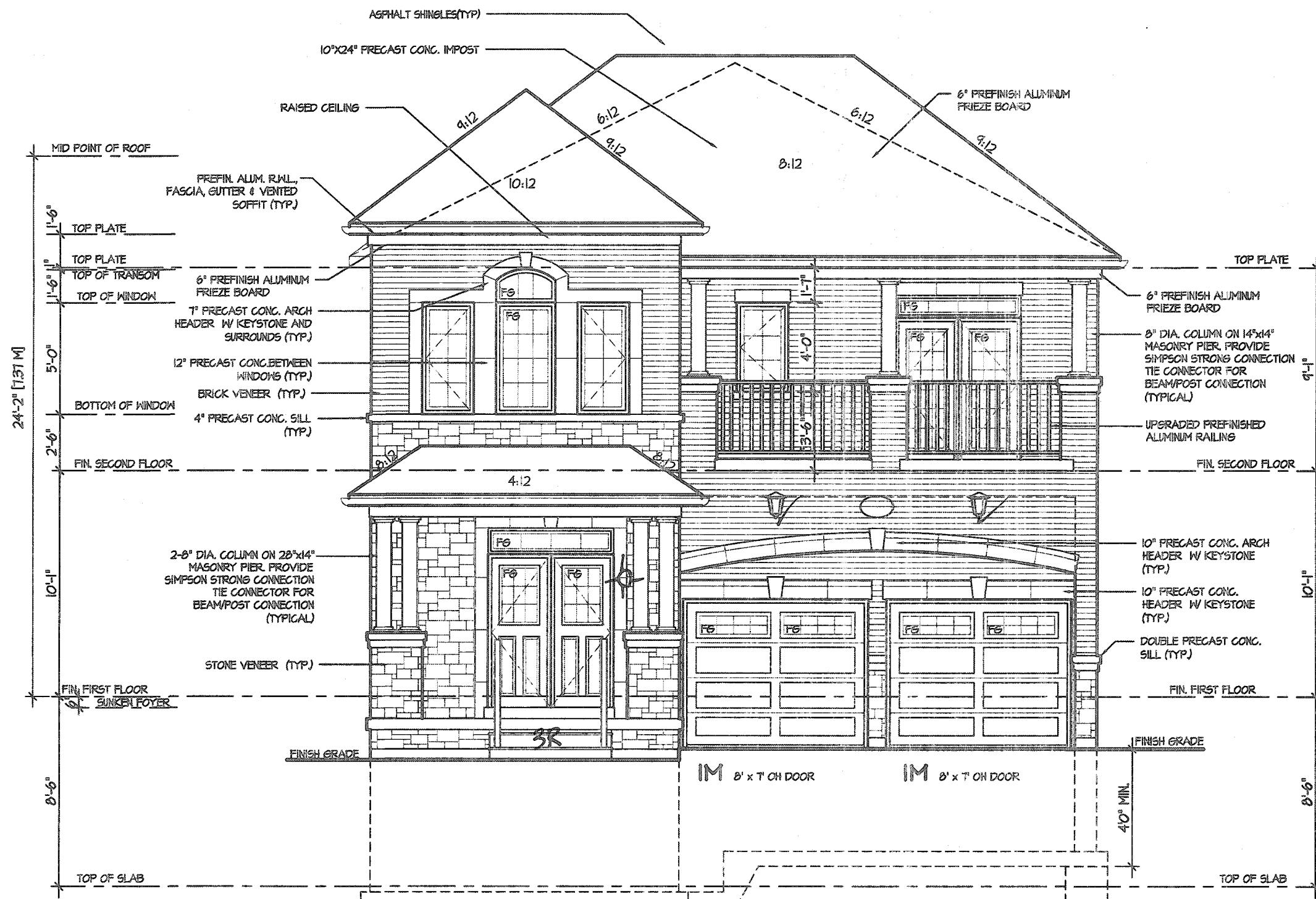
FEB 22 2021

FOR CHIEF BUILDING OFFICIAL

DATE



ROOF PLAN 2
Scale: N.T.S.



FRONT ELEVATION 2

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and carries no further professional responsibility.

VALLEYCREEK 4-238
COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 238	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

28770
BCIN

REGION DESIGN INC.
9700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 733-4398
F (905) 660-0746



SHEET TITLE
FRONT ELEVATION
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JAN 2020

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL
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ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2,814

PROJECT

PAGE No.
4-2



PROJECT NAME

RUSSELL GARDENS III

CITY OF HAMILTON
Building Division

Permit No. **21-105978**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

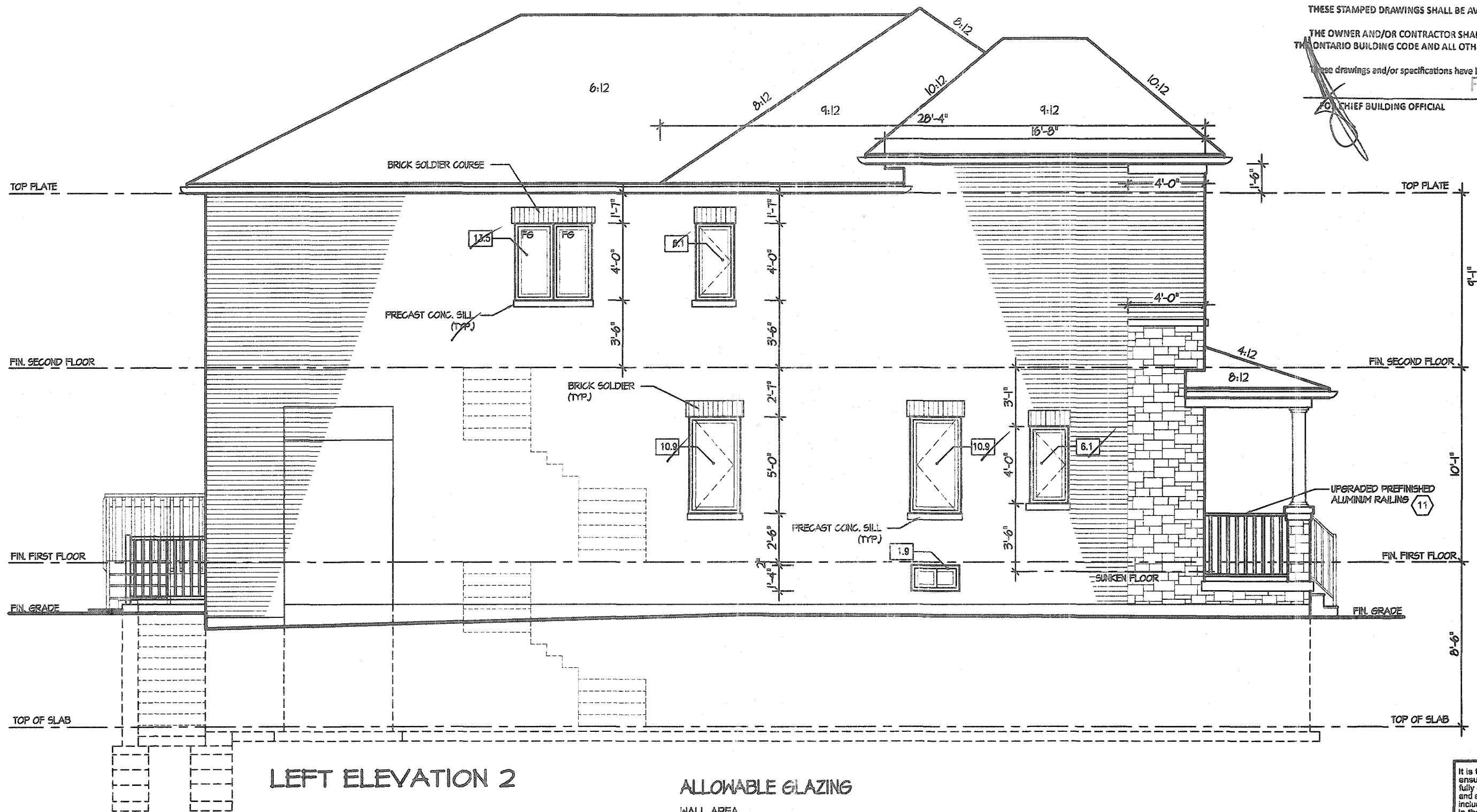
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These drawings and/or specifications have been reviewed by

FEB 22 2021

FOR CHIEF BUILDING OFFICIAL

DATE



LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @

ACTUAL WINDOW AREA

WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA

7.00% (1.2 M SIDEYARD)

1131.23

79.23

49.42

50.80

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY

DATE: JAN 28 2021

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VALLEYCREEK 4-238
COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 238	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

REVISIONS

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 739-4096
F (800) 860-0748

REGION
DESIGN
INC.

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2

SCALE

3/16"=1'-0"

DATE

JAN 2020

BY

V.G.

TYPE

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AREA

2,814

PROJECT

PAGE No.

5-2

Greenpark.

PROJECT NAME

RUSSELL GARDENS III

These drawings and/or specifications have been reviewed by
FEB 22 2021



<u>WALL AREA</u>		
WALL AREA		989.64
ALLOWABLE WINDOW AREA @	7.00 % (12 M SIDEYARD)	69.27
ACTUAL WINDOW AREA		43.20
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	ACTUAL OPENING AREA	44.60

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APPROVED BY: [Signature]
DATE: JAN 28, 2021
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VALLEYCREEK 4-238
COMPLIANCE PACKAGE "A1"

5			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 735-4096 F (605) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4						RIGHT SIDE ELEVATION					
3						ELEV. 2					
2	UPDATED FOR LOT 236	SEP 2020				SCALE	BY	AREA	PAGE No.		
1	ISSUED FOR REVIEW	JAN 2020				3/16"=1'-0"	V.G.	2,814	6-2		
REVISIONS			DATE	TYPE	PROJECT			PROJECT NAME	RUSSELL GARDENS III		
			JAN 2020								

Permit No. 21-105978

FOR CHIEF BUILDING OFFICIAL

REAR ELEVATION 2 - 238
DECK CONDITION

F.D.

REAR ELEVATION 2 - 238
DECK CONDITION

VALLEYCREEK 4-238

COMPLIANCE PACKAGE "A1"

5		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 2.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 6700 DUFFERIN ST. CONCORD, ONTARIO L4K 4G6 P (416) 736-4096 F (805) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION ELEV., 1,2 & 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4					SCALE 3/16"=1'-0" BY V.G. AREA 2,814 PAGE No. 7	PROJECT NAME RUSSELL GARDENS III	
3					DATE JAN 2020 TYPE PROJECT		
2	UPDATED FOR LOT 238 SEP 2020						
1	ISSUED FOR REVIEW JAN 2020						
REVISIONS							

Permit No. 21-105978

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

FOR CHIEF BUILDING OFFICIAL FEB 22 2021
DATE



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VALLEYCREEK 4-238

COMPLIANCE PACKAGE "A1"

5			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C. Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 735-4036 F (905) 660-0748	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			PROJECT NAME
4						CROSS SECTION					
3						SCALE	BY	AREA	PAGE No.		
2	UPDATED FOR LOT 236	SEP 2020				3/16"=1'-0"	V.G.	2,814	8		
1	ISSUED FOR REVIEW	JAN 2020				DATE	TYPE	PROJECT			
REVISIONS									RUSSELL GARDENS III		