

3288 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)
L5 = 6" x 4" x 3/8" L (150x100x10.0L)
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",
2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

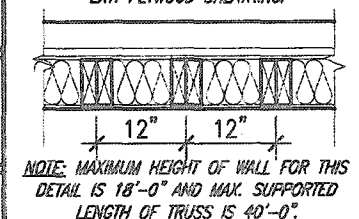
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

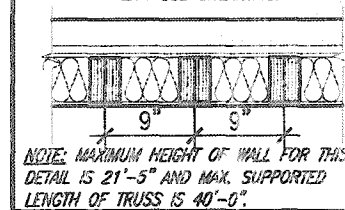
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT
WALL DETAIL**

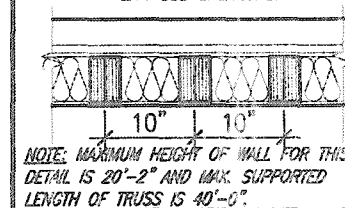
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERS/STAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.

**TWO STOREY HEIGHT
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERS/STAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND
SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID
BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



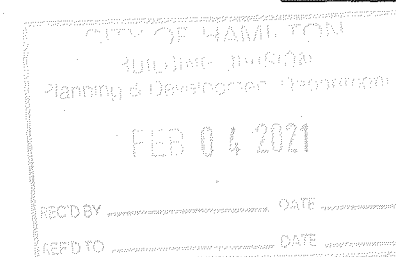
THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face
Minimum RSI (R) value	(R60)	of exterior walls
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE
Minimum RSI (R) value	(R20ci)	R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous insulation without framing interruption.

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	816 S.F.	111.817 S.F.	13.72 %
LEFT SIDE	1373 S.F.	93.317 S.F.	6.80 %
RIGHT SIDE	1392 S.F.	38.976 S.F.	2.66 %
REAR	980 S.F.	161.167 S.F.	16.79 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.3(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4540.00 S.F.	403.28 S.F.	8.88 %
TOTAL SQ. M.	421.78 S.M.	37.47 S.M.	8.88 %



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division

21 107147

THESE STAMPED DRAWINGS WILL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by
Jim Feb 22/21
FOR CHIEF BUILDING OFFICIAL DATE



STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 5-258

COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				Qualification Information
7				Richard Vink
6				24488
5				BCN
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW	
3	ISSUED FOR PERMIT.	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description	date	by	

VAS3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vas3design.com

Greenpark.

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON	project no.	19014
date	JANUARY 2020	checked by	3/16" = 1'-0"	drawing no.	A0
GENERAL NOTES & CHARTS					
19014-MOUNTAINASH-5-258					

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3288 SF.

CITY OF HAMILTON
BUILDING DIVISION

21 107147

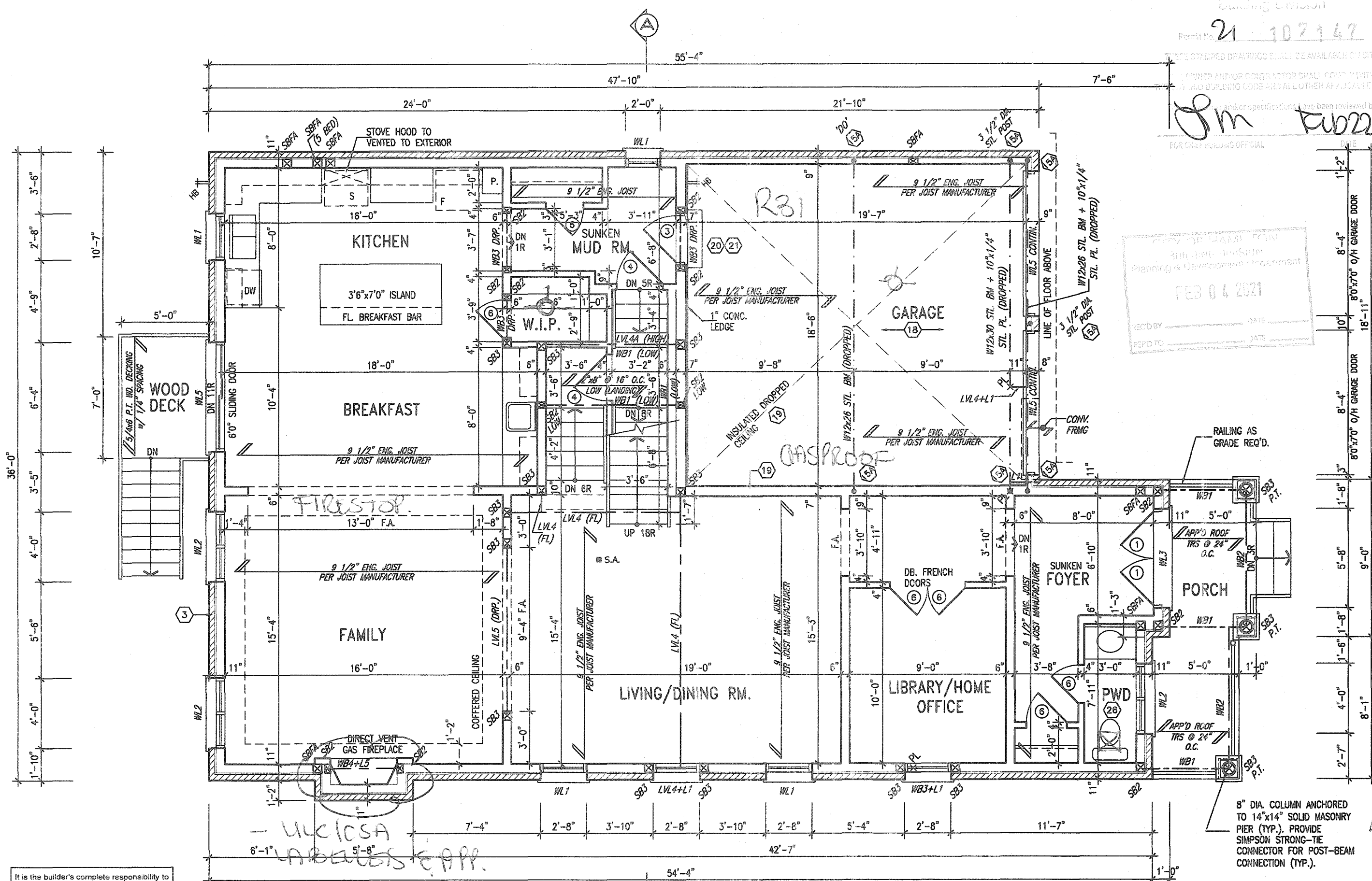
DATE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAW

and/or specifications have been reviewed by

FOR CITY BUILDING OFFICIAL DATE

CITY OF HAMILTON
Planning & Development Department
FEB 04 2021
REC'D BY DATE
REP'D TO DATE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JAN. 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and means no further professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
23/2020
PROFESSIONAL ENGINEER
ONTOARIO

STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 5-258
COMPLIANCE PACKAGE 'A1'

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Toronto ON M2J 1R4
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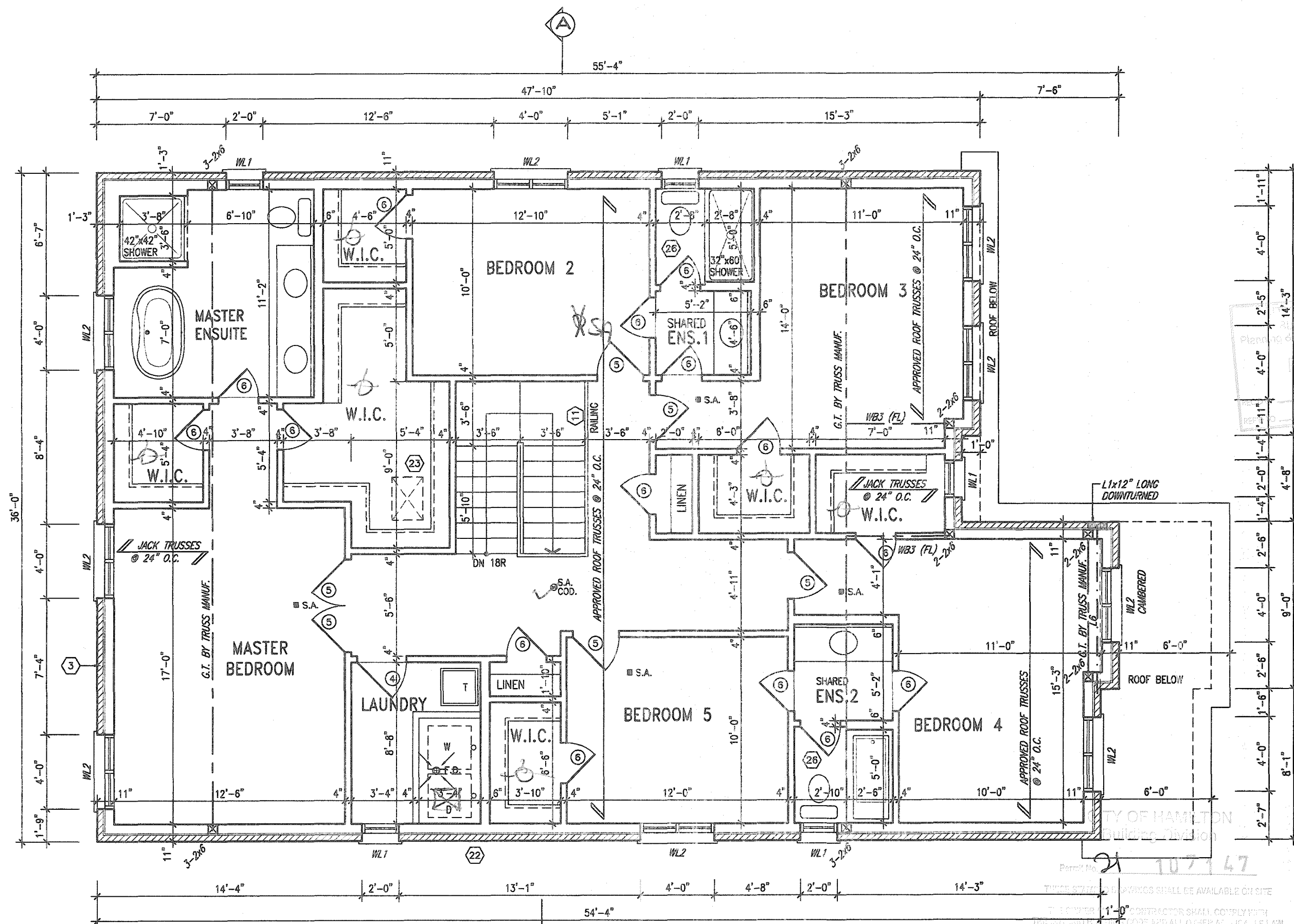
Greenpark.

MOUNTAINASH 5
13.5m

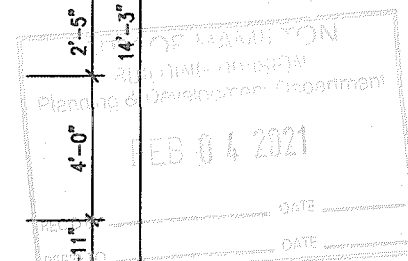
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON
project no.
19014
drawing no.
A2
date
JANUARY 2020
checked by
CL
scale
3/16" = 1'-0"
this name
19014-MOUNTAINASH-5-258
date
SEP 25 2020 - 4:14 PM

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SECOND FLOOR PLAN '1'
(5 BEDROOM PLAN)



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 26 2021

This stamp certifies compliance with the applicable Design Guidelines only and does not constitute a professional responsibility.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER: 3.8.3.13.(2)(a). BATHTUB: 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
GB-NOTE-2020.dwg

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8					
7					
6					
5					
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW		
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and makes the requirements set out in the Ontario Building Code to use a Designer.
qualification information
Richard Vink
signature
2448E
BCN
42853
VIA Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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DESIGN

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020
checked by
3/16" ± 1'-0"

location
HAMILTON, ON

SECOND FLOOR PLAN - ELEV. 1

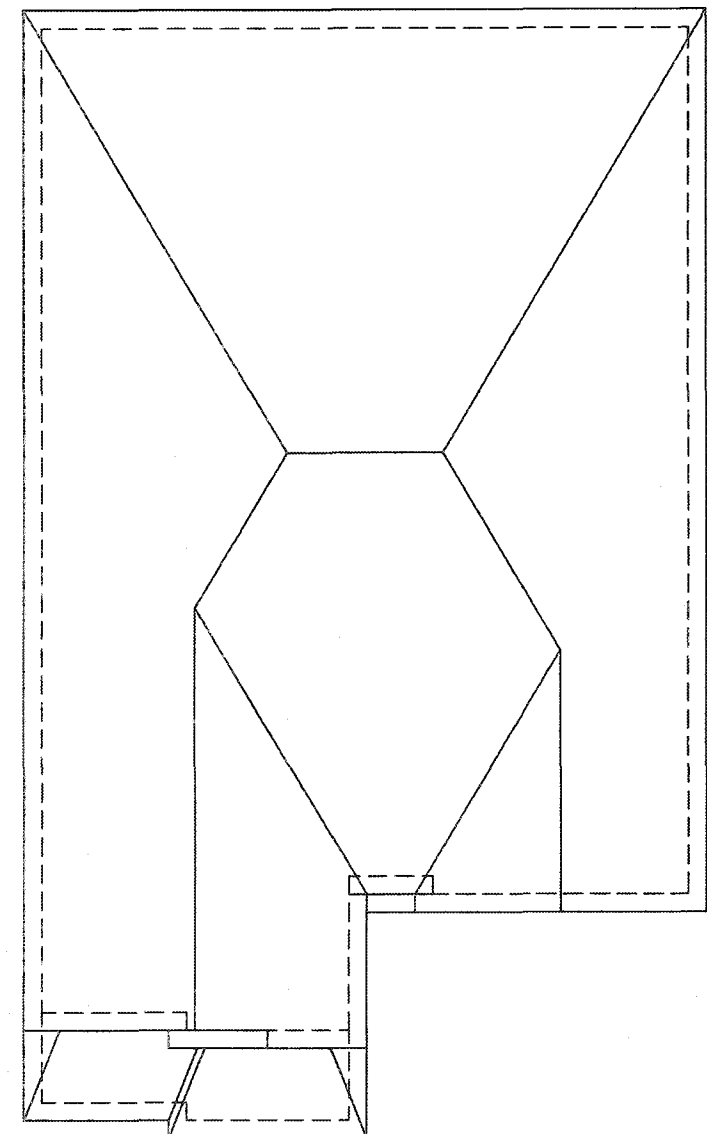
MOUNTAINASH 5
13.5m

project no.
19014

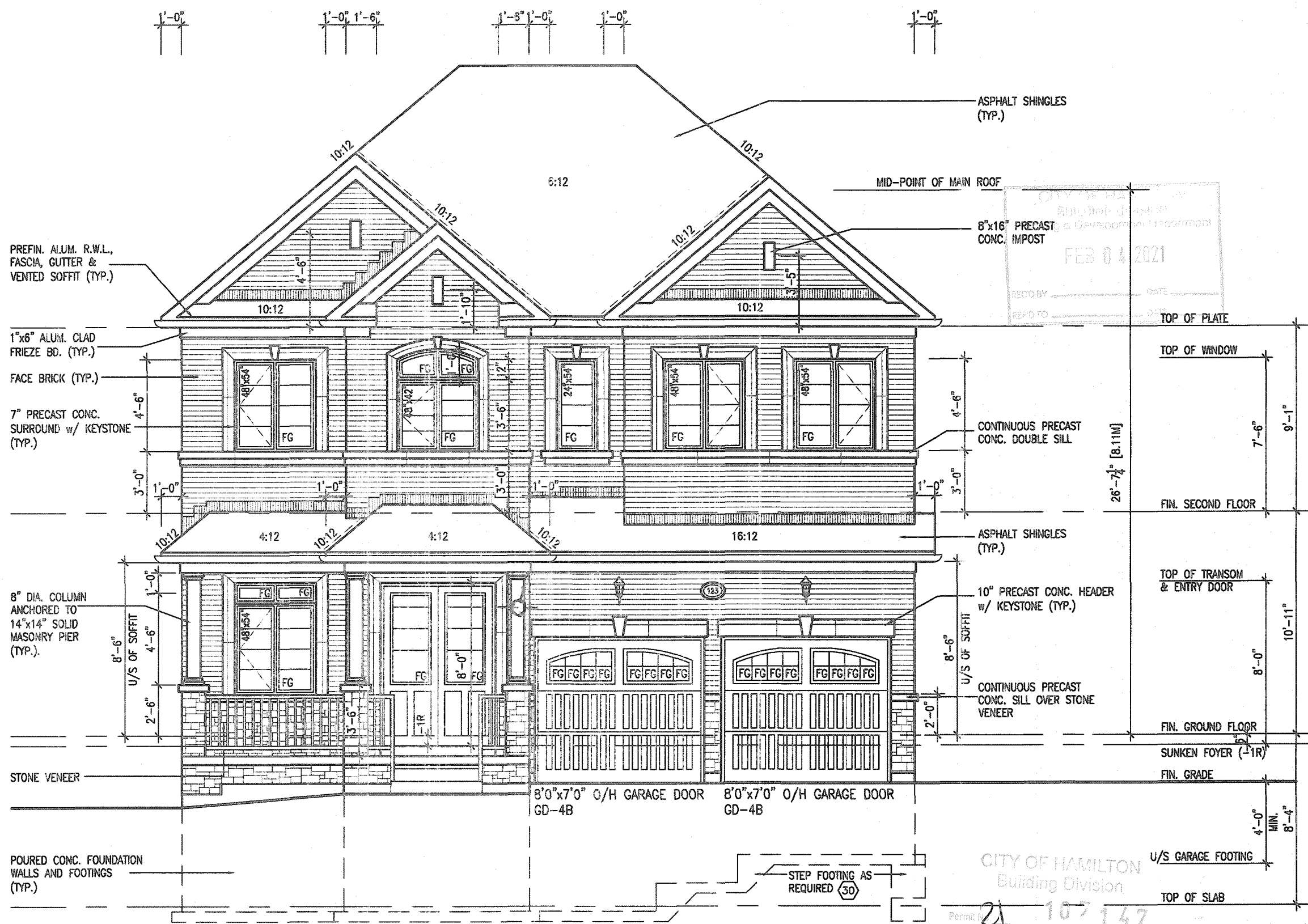
drawing no.
A3

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3288 SF.



ROOF PLAN-1



FRONT ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 22 2021
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PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

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6					
5					
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no.	description	date	by		

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qualification information
Richard Vink
signature
24428
BCN
42856
name
registration information
VAS Design Inc.
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Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

checked by
CL

scale
3/16" = 1'-0"

project no.
19014

municipality
HAMILTON, ON

front elevation - ELEV. 1

file name
19014-MOUNTAINASH-5-258

drawing no.
A4

MOUNTAINASH 5-258
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 5
13.5m

CITY OF HAMILTON
Building Division
Permit 21 107 147
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY AND BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] DATE
FOR CITY BUILDING OFFICIAL

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

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TOP OF WINDOW

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

CONTINUOUS PRECAST
CONC. DOUBLE SILL

FIN. SECOND FLOOR

TOP OF WINDOW

8" DIA. COLUMN
ANCHORED TO 14"x14"
SOLID MASONRY PIER
(TYP.).

RAILING AS
GRADE REQ'D.

FIN. GROUND FLOOR

FIN. GRADE _____

STONE VENEER
(TYP.)

TOP OF SLAB

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1373.28 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=96.13 SQ. FT.
GLAZING PROVIDED	=79.24 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 5-258
COMPLIANCE PACKAGE 'A1'

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						qualification information
7						Richard Vink 2442
6						name <i>R Vink</i> signature EC
5						registration information
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW			VAS Design Inc. 4262
3	ISSUED FOR PERMIT.	APR 13/20	GW			
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by			



VA3
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t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

date JANUARY 2020
 drawn by CL checked by - scale 3/16" = 1'-0"

MOUNTAINASH 5
13.5m

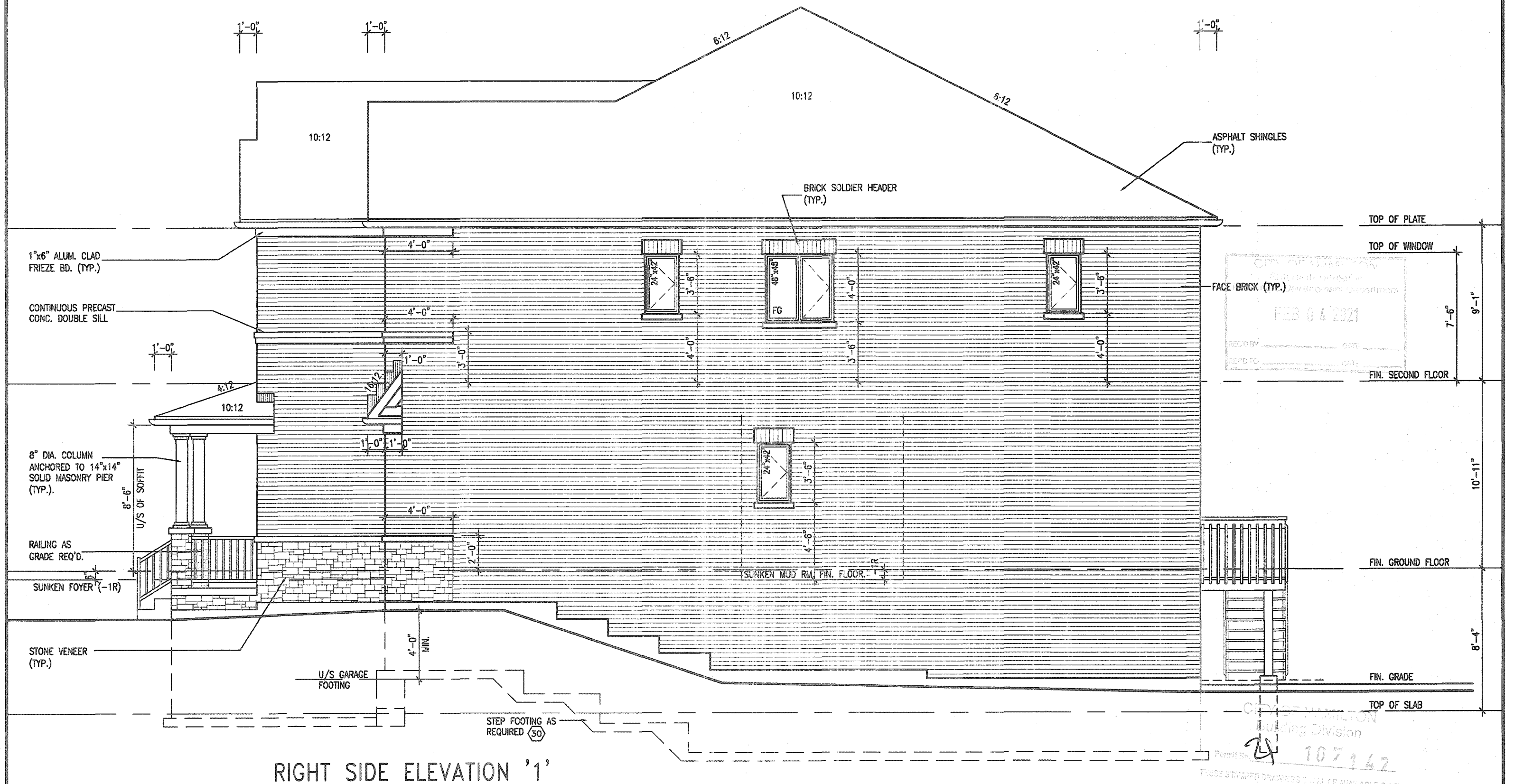
HAMILTON, ON	
FEET SIDE ELEVATION - ELEV	4

19014-MOUNTAINASH-5-258

A5

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RIGHT SIDE ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 22, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1361.55 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=97.41 SQ. FT.
GLAZING PROVIDED	=31.13 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 5-258
COMPLIANCE PACKAGE 'A1'

no.	description	date	by
9			
8			
7			
6			
5			
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW
3	ISSUED FOR PERMIT.	APR 13/20	GW
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
municipality
HAMILTON, ON
date
JANUARY 2020
drawn by
CL
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-5-258
file name
19014-MOUNTAINASH-5-258
drawing no.
A6

MOUNTAINASH 5
13.5m
project no.
19014
drawing no.
A6

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3288 SF.



TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF DOOR/WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
RECD BY _____ DATE _____
REF TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
The drawings and/or specifications have been reviewed by
JAM Feb 22/21
DATE

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-6" FIN. FIRST FLOOR TO
GRADE CONDITION.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY _____
DATE JAN 25 2021
This stamp certifies compliance with the applicable Design Guidelines only and carries no further professional responsibility.

REAR ELEVATION '1'

MOUNTAINASH 5-258
COMPLIANCE PACKAGE 'A1'

9				The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24408 signature
6				more registration information
5				VAS Design Inc. 42558
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW	
3	ISSUED FOR PERMIT.	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description	date	by	

VAS
DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

project no.
19014

drawing no.
A7

18014-MOUNTAINASH-5-258

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This architectural cross-section drawing illustrates a multi-level residential structure. The main floor features a large **LIVING/DINING RM.** on the left, a **W.I.C.** (Walk-In Closet) and **LIN.** (Linen closet) area, and a **FLEX RM.** on the right. A central staircase with railings (callout 10) leads down to an **UNFINISHED BASEMENT** and up to a **SUNKEN MUD RM.** The sunken mud room includes a set of stairs (callout 11) leading further down. The drawing shows a gabled roof with trusses (10:12) and various structural details like walls, floors, and stairs. Numerous callouts (1-17, 29) and dimensions (1'-0", 3'-6", 8") are provided for reference.

CITY OF HAWAII
PLANNING DIVISION
Planning & Development Department

FEB 04 2021

REC'D BY: [redacted] DATE: [redacted]
REF'D TO: [redacted] DATE: [redacted]

CITY OF HAMILTON
Building Division

Permit No. 24 107147

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
TO THE OWNER AND/OR CONTRACTOR SHALL OBTAIN FROM
THE CHICAGO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Design drawings and/or specifications have been reviewed by
Jim Feb 22/2
 FOR Chief BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON



STRUDET INC.
FOR STRUCTURE ONLY

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
8						
7					qualification information	
6					Richard Mink	2412
5					name	signature
4	CUSTOM PER PURCHASER REQUEST.	SEP 25/20	GW		registration information	BC
3	ISSUED FOR PERMIT.	APR 13/20	GW		VAS Design Inc.	4263
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
10	description	date	by			



VA3
DESIGN

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Greenpark.

project name
RUSSELL GARDENS PH. 3

Date JANUARY 2020		
drawn by CL	checked by -	scale $3/16'' = 1'-0''$

municipality
HAMILTON, ON

SECTION A-A - ELEV. 2

file name
19014-MOUNTAINASH-5-258

MOUNTAINASH 5
13.5m

project no.
19014

drawing no.

A8