

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

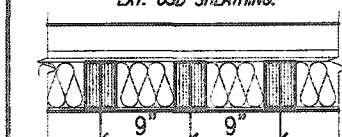
L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

TWO STOREY HEIGHT WALL DETAIL

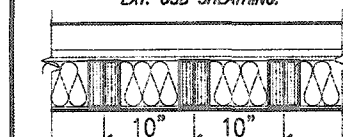
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" o.c. FULL HEIGHT, c/n SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" o.c. FULL HEIGHT, c/n SOLID BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci-- Denotes Continuous Insulation without framing interruption.

AREA CALCULATIONS

	ELEV '3'
GROUND FLOOR AREA	1480 SF
SECOND FLOOR AREA	1880 SF
TOTAL FLOOR AREA	3360 SF (312.15 m ²)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	10 SF
ADD TOTAL OPEN AREAS	+10 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3370 SF (313.08 m ²)
GROUND FLOOR COVERAGE	1487 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	58 SF
COVERAGE W/ PORCH	1838 SF (180.05 m ²)
COVERAGE W/O PORCH	1880 SF (174.66 m ²)

UNINSULATED OPENINGS (PER OBC, SB-12,3.1.1(7))

MOUNTAINASH 6-263 EL. 3 (4 BED)	ENERGY EFFICIENCY - OBC SB12
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE
FRONT	853.62 S.F. 137.36 S.F. 16.09 %
LEFT SIDE	1460.64 S.F. 92.00 S.F. 6.30 %
RIGHT SIDE	1413.24 S.F. 67.00 S.F. 4.74 %
REAR	971.91 S.F. 159.16 S.F. 16.38 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.3 S.F. REFER TO ELEVATION FOR LOCATION	0.00 S.F.
TOTAL SQ. FT.	4699.41 S.F. 455.52 S.F. 9.69 %
TOTAL SQ. M.	436.58 S.M. 42.32 S.M. 9.69 %

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

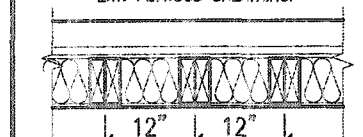
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @ 12" o.c. FULL HEIGHT, c/n SOLID BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division

Permit No. 21-107143

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and/or specifications have been reviewed by
FEB 26 2021
DATE

FOR CHIEF BUILDING OFFICIAL



STRUDET INC.
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MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

MOUNTAINASH 6
13.5m

project name RUSSELL GARDENS PH. 3	location HAMILTON, ONTARIO	project no. 19014
date JAN 2020	scale 3/16" = 1'-0"	drawing no. A0
drawn by BD.BM	checked by 3/16" = 1'-0"	file name 19014-MOUNTAINASH-6-263

GENERAL NOTES & CHARTS

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3409 SF.

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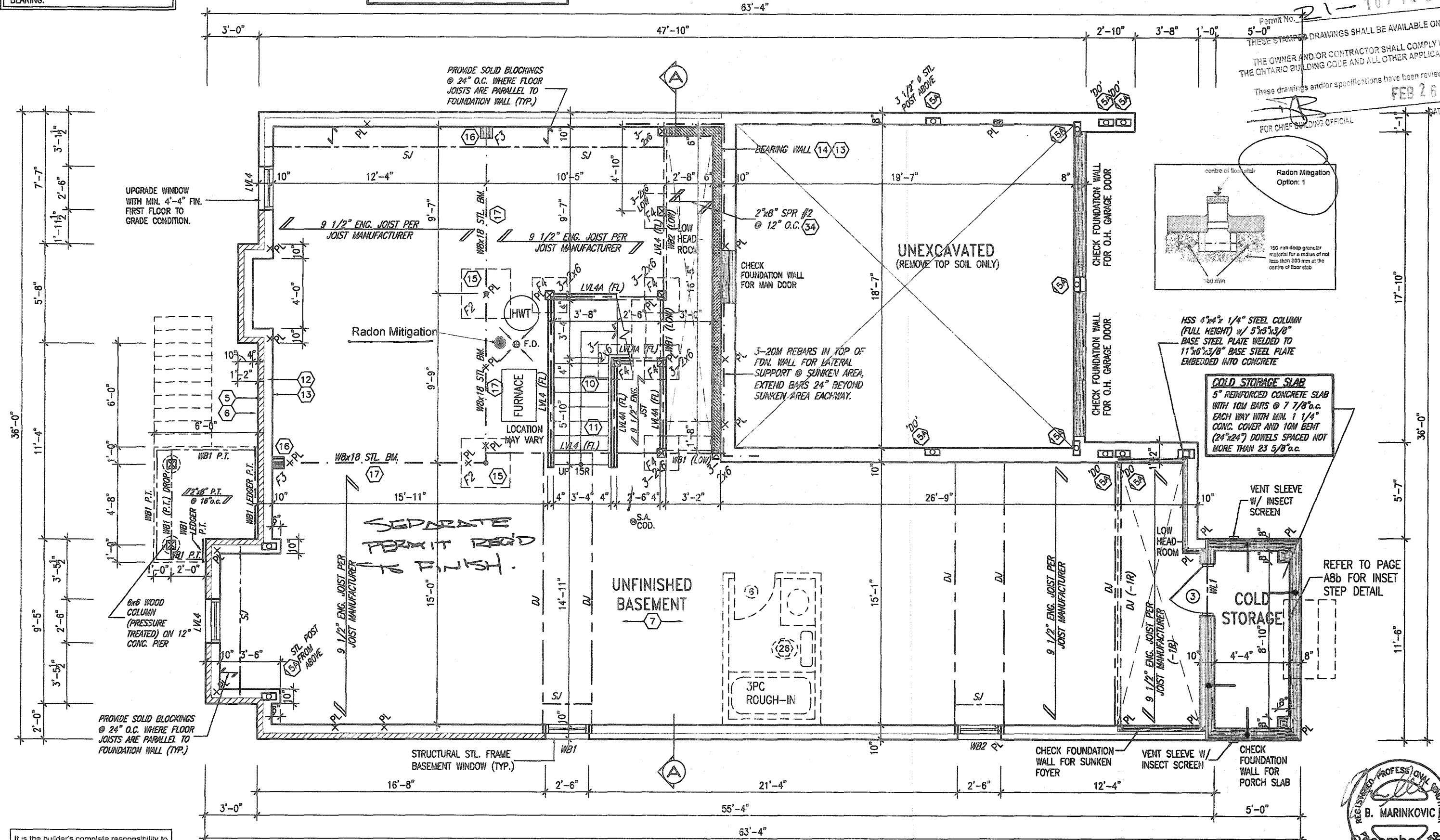
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**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16" O.C. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

**BASEMENT WALL INSULATION
(TYP.)** (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

VEENER CUT
WHEN VEENER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)
FOR ADDITIONAL WOOD DECK INFORMATION.



BASEMENT PLAN - ELEV. '3'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
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18		9			
17		8			
16		7			
15		6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT
14		5	CUSTOM PER PURCHASER REQUEST.	OCT 06/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
signature
24488
BOB
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd Suite 120
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vas3design.com

Greenpark.

project name: **RUSSELL GARDENS PH. 3**
date: **JAN 2020**
drawn by: **BD.BIM**
checked by: **3/16" = 1'-0"**
scale: **3/16" = 1'-0"**

MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 6
13.5m
project no. **19014**
drawing no. **A1b**

BASEMENT PLAN - ELEV. '3'
19014-MOUNTAINASH-6-263



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
No. 12345
Exp. Dec 31, 2020

6'-0" 107 14 3

Permit No. 21

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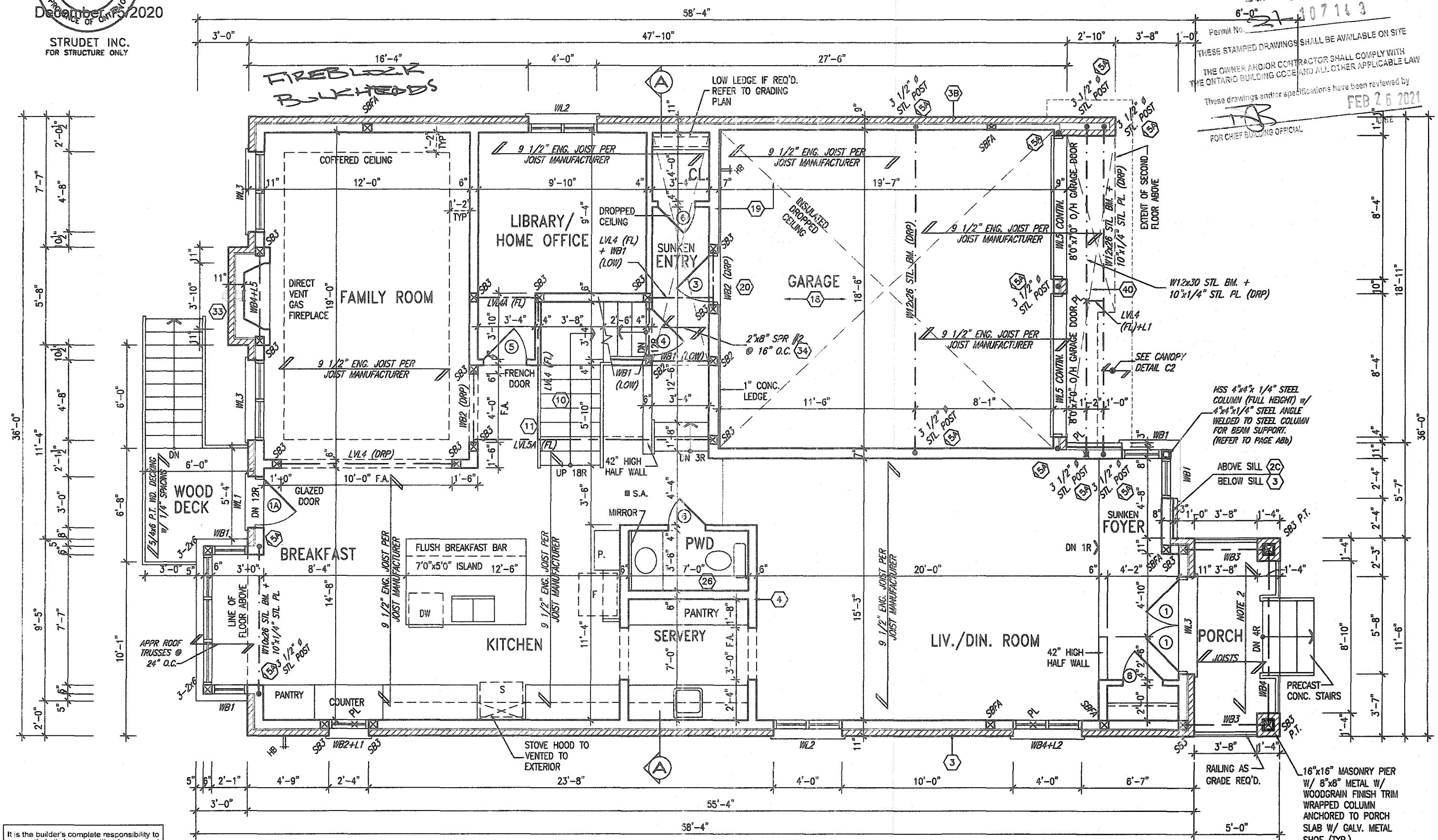
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These drawings and/or specifications have been reviewed by

TJB FEB 26 2021

FOR CHIEF BUILDING OFFICIAL

DATE



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE JAN 28, 2021

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST	3.0m
• DRIVEWAY, PARKING SPACE, ROAD	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2023.dwg

NOTE 2: BALCONY OVER PORCH
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS FURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY BLUE MEMBRANE

MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'

18				9			
17				8			
16				7			
15				6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	W
14				5	CUSTOM PER PURCHASER REQUEST.	OCT 06/20	GI
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GI
12				3	ISSUED FOR PERMIT.	APR 13/20	GI
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GI
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GI
no.	description		date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Wink 2448 name BC registration information signature V&S Design Inc. 4265	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be signed	

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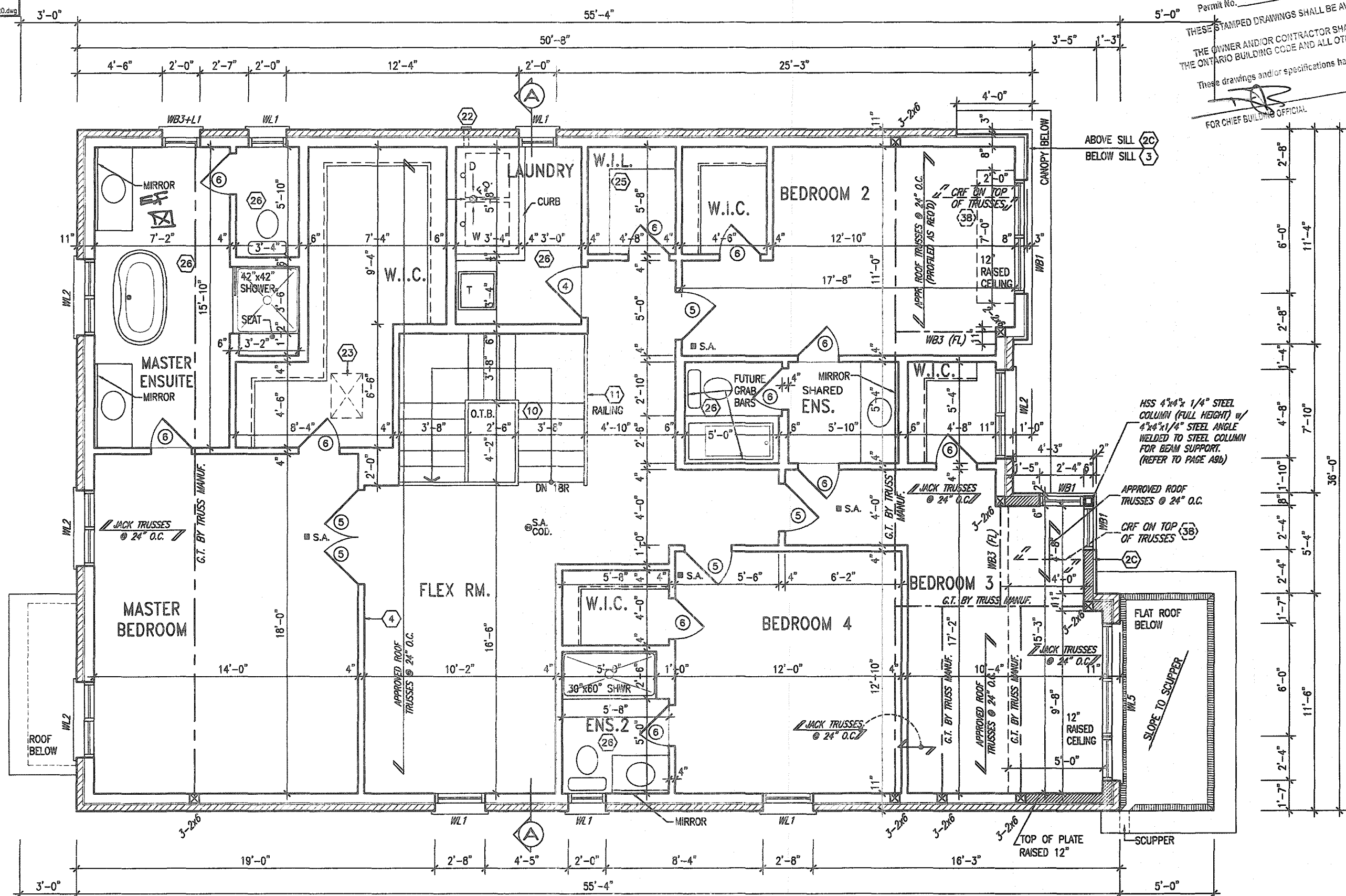
 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.FRM		checked by -	
scale 3/16" = 1'-0"		title GROUND FLOOR PLAN - ELEV. '3'	
sheet no. 19014-MOUNTAINASH-6-263		drawing no. A2b	

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER CBC, DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.2.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE = 2020.dwg

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Building Division

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FOR CHIEF BUILDING OFFICIAL



December 18, 2020

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
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SECOND FLOOR PLAN - ELEV. '3'

MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

HAMILTON, ONTARIO

SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'

drawing no.

A3b

18				9 .	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8 .	-	qualification information	
16				7 .	-		
15				6 REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20 WT	Richard Vink 	2440 BC
14				5 CUSTOM PER PURCHASER REQUEST.	OCT 06/20 GW	nema	
13				4 STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW	registration information	
12				3 ISSUED FOR PERMIT.	APR 13/20 GW	VAS Design Inc.	4265 BC
11				2 UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW		
10				1 PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW		
no. description		date	by	no. description	date	by	

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SHALL BE AVAILABLE ON

THE ONTARIO BUILDING CODE AND
 1-95
 drawings and/or specifications have been reviewed by
 FEB 26 2021
 DATE
 FOR CHIEF BUILDING OFFICIAL

FEB 26 2021
DATE



WOOD GRAIN
STUCCO FINISH

WOOD GRAIN
STUCCO FINISH

[illegible]

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2-107143

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FOR CHIEF BUILDING OFFICIAL

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ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY [Signature]
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ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1460.68 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=102.25 SQ. FT.
GLAZING PROVIDED	=78.11 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'

18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink  2446B nemo registration information VA3 Design Inc. 4265P 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 MOUNTAINASH 6 13.5m project name RUSSELL GARDENS PH. 3 municipality HAMILTON, ONTARIO project no. 19014 drawing title LEFT SIDE ELEVATION - ELEV '3' OPT. 5 BED file name 19014-MOUNTAINASH-6-263 dressing no. A5b
17		8					
16		7					
15		6	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT		
14		5	CUSTOM PER PURCHASER REQUEST.	OCT 06/20	GW		
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW		
12		3	ISSUED FOR PERMIT.	APR 13/20	GW		
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW		
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no. description			date	by	no. description	date	by

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CITY OF HAMILTON
Building Division

THESE STAMPED DRAWINGS SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Two identical diagrams of a number line segment. Each diagram shows a horizontal line with a vertical tick mark on the left labeled $1'$ and a vertical tick mark on the right labeled $0''$. The segment between the two tick marks is divided into four equal parts by three intermediate tick marks.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

APPROVED BY: [Signature]
DATE: JAN 28, 2021

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CITY OF HAMILTON
Building Division

21-107143

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FEB 26 2021

 _____

DATE _____

FOR CHIEF BUILDING OFFICIAL



MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE JAN 28 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18				9 .	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in Ontario's Building Code to be a Designer.	
17				8 .	.	.		
16				7 .	.	.	qualification information	
15				6 REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT	Richard Vink <i>R Vink</i>	2442
14				5 CUSTOM PER PURCHASER REQUEST.	OCT 06/20	GW	name	BC
13				4 STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW	registration information	
12				3 ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc. signature	4265
11				2 UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
10				1 PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by	no.	description	date	by	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



MOUNTAINASH 6
13.5m

project name RUSSELL GARDENS PH. 3	city HAMILTON, ONTARIO	municipality	project no. 19014
date JAN 2020			drawing no. A7b
drawn by BDJIM			
checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-6-263	

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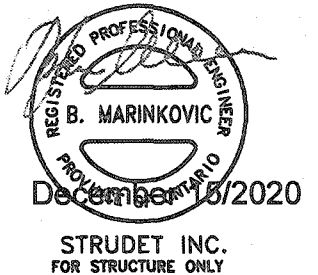
3409 SF.

CITY OF HAMILTON
Building Division

Permit No. 21-107113

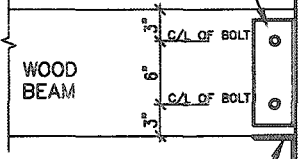
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE FEB 26 2021



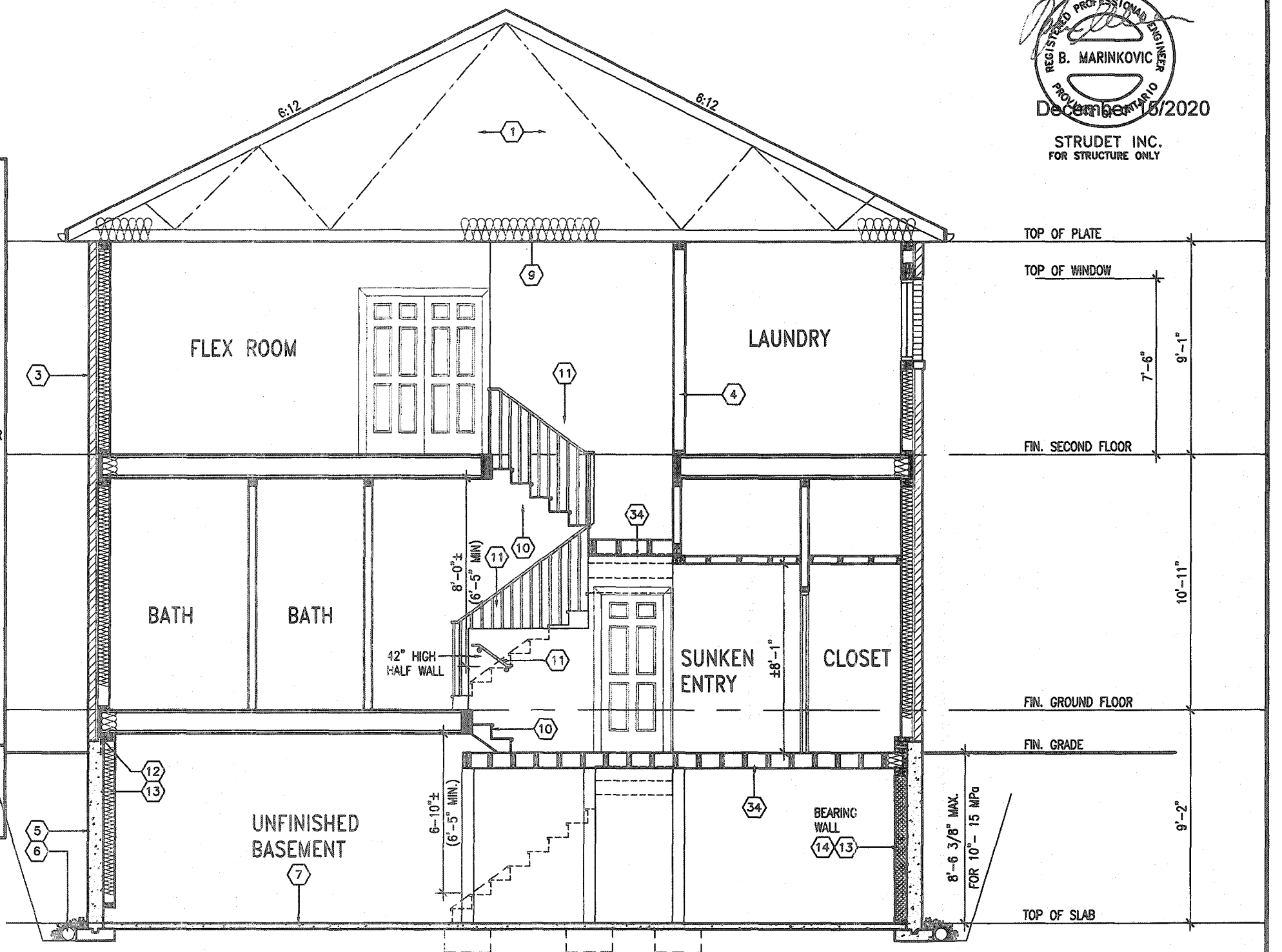
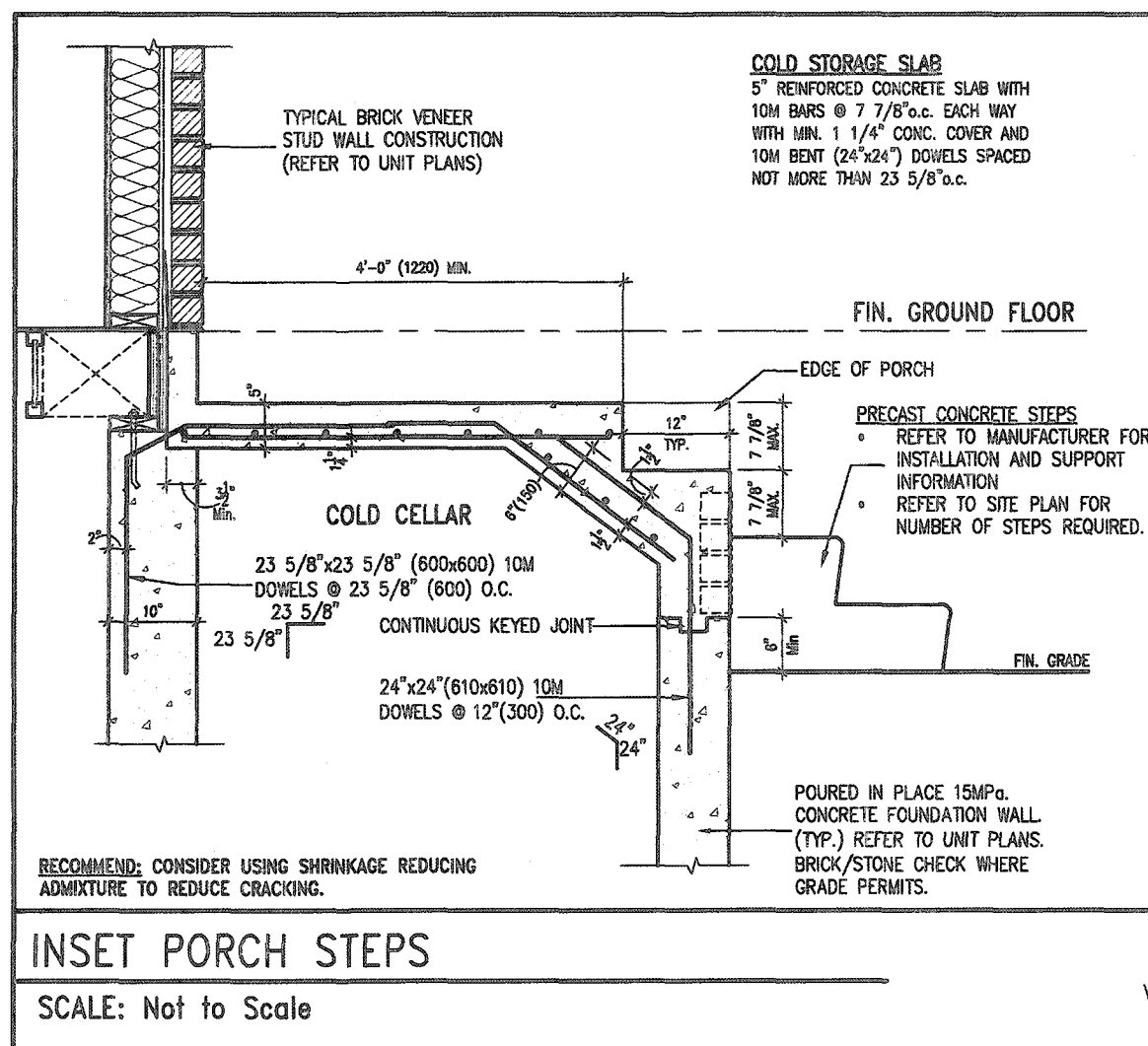
10" HIGH x 1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN. BEAM
BOLTED TO PLATE WITH
2-1/2" DIA. BOLTS.

HSS 4"x4"x 1/4" STEEL
COLUMN (FULL HEIGHT)



4"x4"x1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN FOR
BEAM SUPPORT

ELEV.
WOOD LINTEL AT STEEL COLUMN
SCALE: NOT TO SCALE



CROSS SECTION 'A-A'
(ELEV. '3')

MOUNTAINASH 6-263
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 6
13.5m

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	checked by	scale	CROSS SECTION 'A-A'	drawing no.
drawn by	BD, GJM	3/16" = 1'-0"		19014-MOUNTAINASH-6-263	A8b
DATE - 15/01/2020 15:04:00 (GMT-05:00) (MOUNTAINASH-6-263) 19014-MOUNTAINASH-6-263.dwg - Rev - Dec 14 2020 - 2:11 PM					

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

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