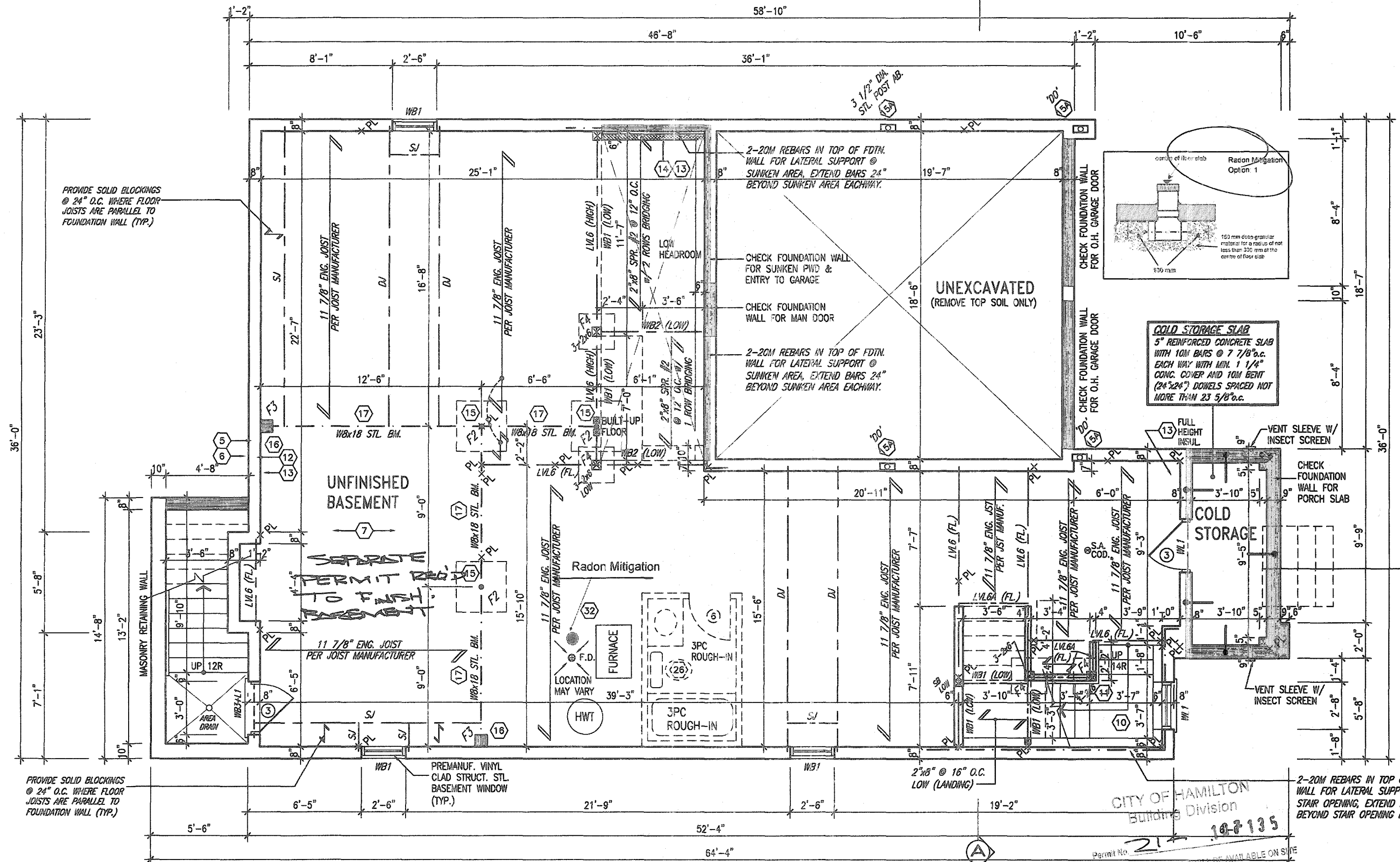


3189 SF.



REFER TO PAGE
A8b FOR INSET
STEP DETAIL

BASEMENT PLAN - ELEV. '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 20 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
NOV 20 2020
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION, INSULATION
UNINTERRUPTED BY FRAMING

18			9		
17			8		
16			7		
15			6		
14			5		
13			4	CUSTOM PER PURCHASER REQUEST	OCT 25/20 GW
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
name
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

CITY OF HAMILTON
Building Division
Permit No. 21-107135
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAR 09 2021
DATE
FOR CHIEF BUILDING OFFICIAL

MOUNTAINASH 4-274 COMPLIANCE PACKAGE 'A1'

Greenpark. MOUNTAINASH 4
13.5m
project name
RUSSELL GARDENS PH. 3 HAMILTON, ON.
drawing no.
19014
date
JAN 2020
drawn by
M.HUR
checked by
3/16" = 1'-0"
scale
BASEMENT PLAN - ELEV. 3
this name
MOUNTAINASH-4-274
date
JAN 23 2020 - 6:51 PM

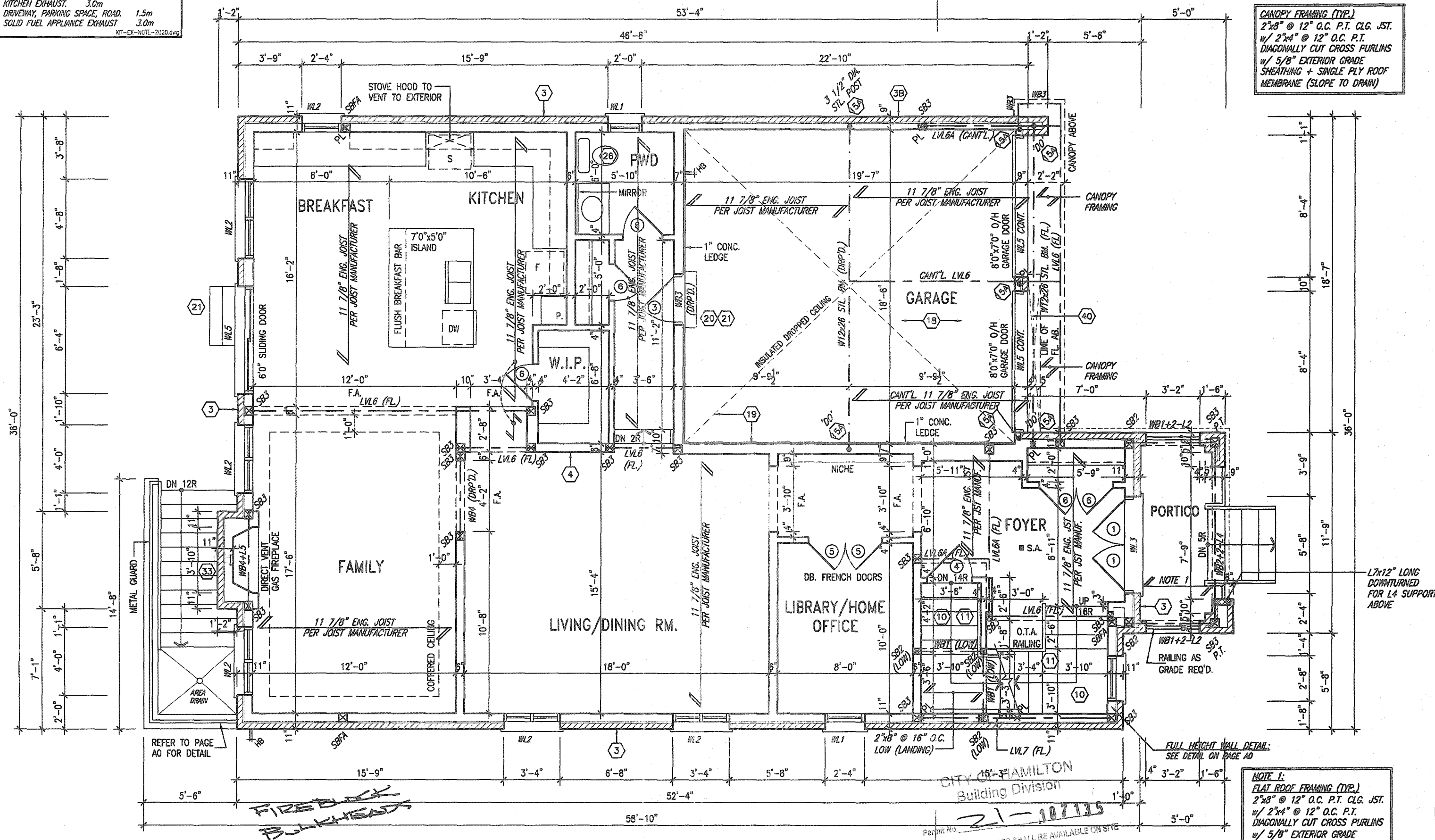
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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST.	3.0m
• DRIVEWAY, PARKING SPACE, ROAD.	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-FY-SCTC-2020.005

CANOPY FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. CLG. JSI.
 w/ 2"x4" @ 12" O.C. P.T.
 DIAGONALLY CUT CROSS FURLINS
 w/ 5/8" EXTERIOR GRADE
 SHEATHING + SINGLE PLY ROOF
 MEMBRANE (SLOPE TO DRAIN)



GROUND FLOOR PLAN - ELEV. '3'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY 
DATE JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and Deems no further
professional responsibility.

Nov 2020

STRUDET INC.
FOR STRUCTURE ONLY

18	.	.	.	.	9	.	.	.
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14	.	.	.	.	5	.	.	.
13	.	.	.	.	4	CUSTOM PER PURCHASER REQUEST	CCT 23/20	GW
12	.	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	GW
11	.	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10	.	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description		date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information		
Richard Vink		244
name	signature	B
registration information		
VA3 Design INC.		426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

 **Greenpark.**

Project name **RUSSELL GARDENS PH. 3** **HAMILTON**

into **AN. 2020** **GROUND FLOOR**

room by **designed by** **scale**

1:100 **3/16" = 1'-0"**

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MOUNTAINASH 4
13.5m
project no.
19014
PLAN - ELEV. 3
drawing no.
A2b
file name
MOUNTAINASH-4-274
24 Apr - Fri - Oct 23 2020 - 651 MB

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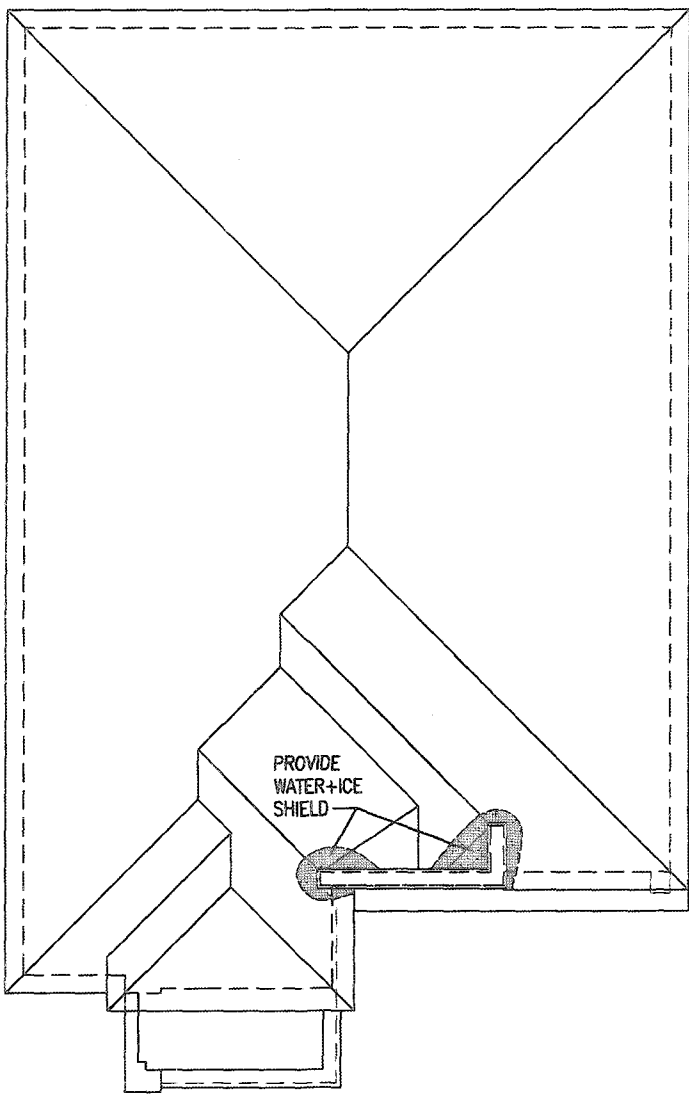
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3189 SF.

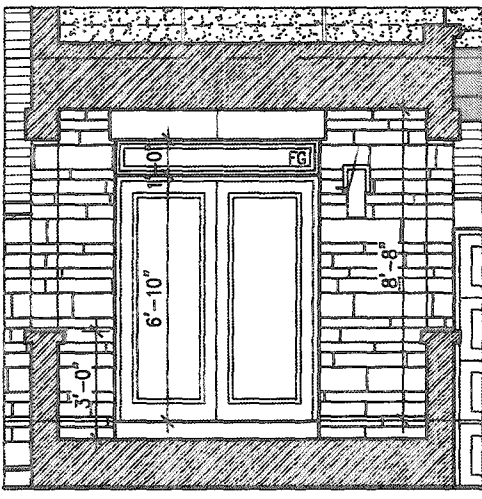
CITY OF HAMILTON
Building Division

Permit No. **21-107135**

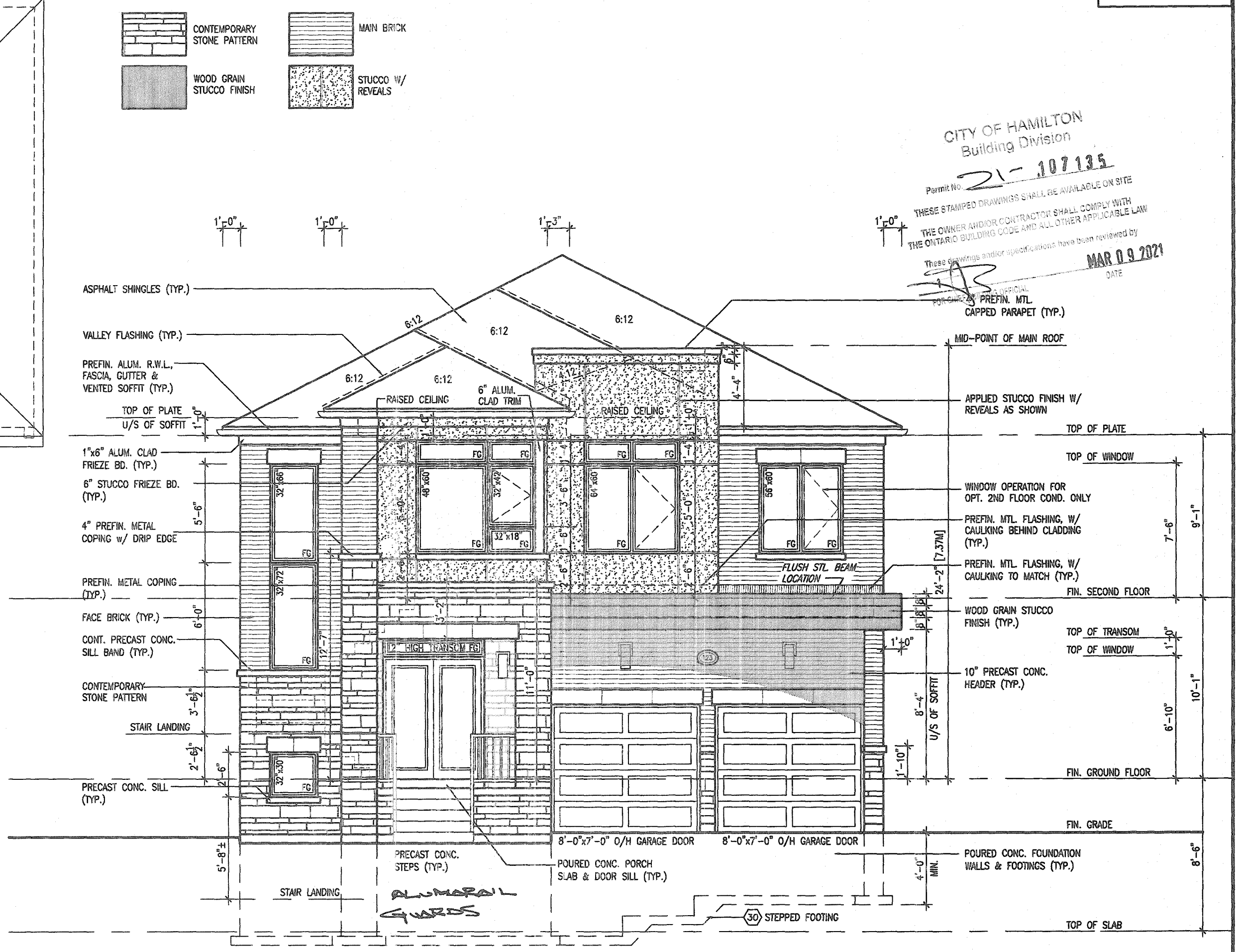
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These drawings and/or specifications have been reviewed by
MAR 09 2021
DATE



ROOF PLAN - ELEV. '3'



INSIDE PORTICO
ELEVATION '3'



PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

FRONT ELEVATION - ELEV. '3'

MOUNTAINASH 4-274

COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONSTRUCTION REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JAN 28, 2021**
This stamp certifies compliance with the applicable Architectural Guidelines only and does not further professional responsibility.

18			9				
17			8				
16			7				
15			6				
14			5				
13			4	CUSTOM PER PURCHASER REQUEST	OCT 23/20	GW	
12			3	ISSUED FOR PERMIT.	MAR 31/20	GW	
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20	GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42855
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

MOUNTAINASH 4
13.5m

project name
RUSSELL GARDENS PH. 3

city
HAMILTON, ON.

date
JAN. 2020

drawn by
H.MUR

checked by
3/16" = 1'-0"

scale

drawing no.
A4b

project no.
19014

front elevation - ELEV. 3

MOUNTAINASH-4-274

DATE - HAMILTON/ONTARIO/PHASE 3/16" = 1'-0" MOUNTAINASH-4-274/PHASE 3/16" = 1'-0" MOUNTAINASH-4-274/PHASE 3/16" = 1'-0" MOUNTAINASH-4-274/PHASE 3/16" = 1'-0"

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY [Signature]
DATE JAN 28, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility

CITY OF HAMILTON
Building Division

21- 107135

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been approved by _____ DATE **MAR 09 2021**

 _____
FOR CHIEF BUILDING OFFICIAL

— ASPHALT SHINGLES (TYP.)

— VALLEY FLASHING (TYP.)

— PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

— 1"x6" ALUM. CLAD TOP OF WINDOW
FRIEZE BD. (TYP.)

— PREFIN. METAL COPING
(TYP.)

FIN. SECOND FLOOR

10" PRECAST CONC.
HEADER (TYP.)

TOP OF WINDOW

CONTEMPORARY
STONE PATTERN

RAILING AS
GRADE REQ'D.

FIN. GROUND FLOOR

FIN. GRADE

—POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

TOP OF SLAB

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1145.54 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=80.19 SQ. FT.
GLAZING PROVIDED	=72.52 SQ. FT. (GLASS AREA ONLY)

MOUNTAINASH 4-274
COMPLIANCE PACKAGE 'A1'

18			9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.	
17			8			
16			7			
15			6		Richard Vink	24486
14			5		<i>R Vink</i>	EC01
13			4	CUSTOM PER PURCHASER REQUEST	OCT 23/20 GW	www registration information
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW	VAB Design Inc. 42638
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW	
no. description		date	by	no. description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t +1-616-830-2255 f +1-616-830-4782
va3design.com

MOUNTAINASH 4

13.5m

project name: RUSSELL GARDENS PH. 3 municipality: HAMILTON, ON. project no.: 19014

date: JAN. 2020 checked by: scale: 3/16" = 1'-0" drawing no.: A5b

LEFT SIDE ELEVATION - ELEV. 3

titl no. MOUNTAINASH-4-274

DWG - HAMILTON MOUNTAINASH 4-274.dwg

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CITY OF HAMILTON
Building Division

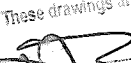
1-00
Permit No. **21-107135**

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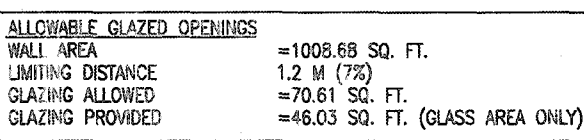
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

MAR 09 2021

 DATE

FOR CHIEF BUILDING OFFICIAL



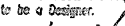
~~1145 SF~~
A.O. @ 2m = 7% = 80.13 SF
P.O. = 58.3 SF

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE JAN 22 2023

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Design Guidelines only and bears no further
professional responsibility.

18	.	.	.	9	.	.	.
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15	.	.	.	6	.	.	.
14	.	.	.	5	.	.	.
13	.	.	.	4	CUSTOM PER PURCHASER REQUEST	OCT 23/20	GW
12	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	GW
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 26/20	GW
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the criteria Building Code to be a Designer.		
qualification information		
Richard Vink		24488
name	signature	BCID
registration information		
VAS Design Inc.		42655
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		



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t 416.630.2255 f 416.630.4782
va3design.com



project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON.		project no. 19014	
date JAN. 2020		RIGHT SIDE ELEVATION - ELEV. 3			drawing no.
drawn by N.HUR		checked by 3/16" = 1'-0"		file name MOUNTAINASH-4-274	
					A6b

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3189 SF.

CITY OF HAMILTON
Building Division

Permit No. **21-107135**

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These drawings and/or specifications have been reviewed by
MAR 09 2021

FOR CHIEF BUILDING OFFICIAL

1'-0"

1'-0"

6:12

6:12

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

TOP OF PLATE

BRICK SOLDIER
HEADER (TYP.)

TOP OF WINDOW

PRECAST CONC. SILL
(TYP.)

FIN. SECOND FLOOR

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

FACE BRICK (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

PRECAST CONC.
STEP (TYP.)

POURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

42" HIGH METAL GUARD
FASTENED TO POURED
CONC. FDN WALL AND
BRICK FACE OF UNIT

PROVIDE 6" HIGH
POURED CONC. CURB
FOR DOOR SILL

TOP OF SLAB

FLOOR DRAIN TO
CONNECT TO
STORM SEWER

REAR ELEVATION - ELEV. '3'

MOUNTAINASH 4-274
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JAN 26, 2021**
This stamp certifies compliance with the applicable
Design Guidelines only and does not constitute
professional responsibility.

18.			9.		
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14.			5.		
13.			4.	CUSTOM PER PURCHASER REQUEST	OCT 23/20 GW
12.			3.	ISSUED FOR PERMIT	MAR 31/20 GW
11.			2.	UPDATED PER ENG & CLIENT COMMENTS	MAR 19/20 GW
10.			1.	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCOI
42658
name
registration information
VA3 Design Inc.
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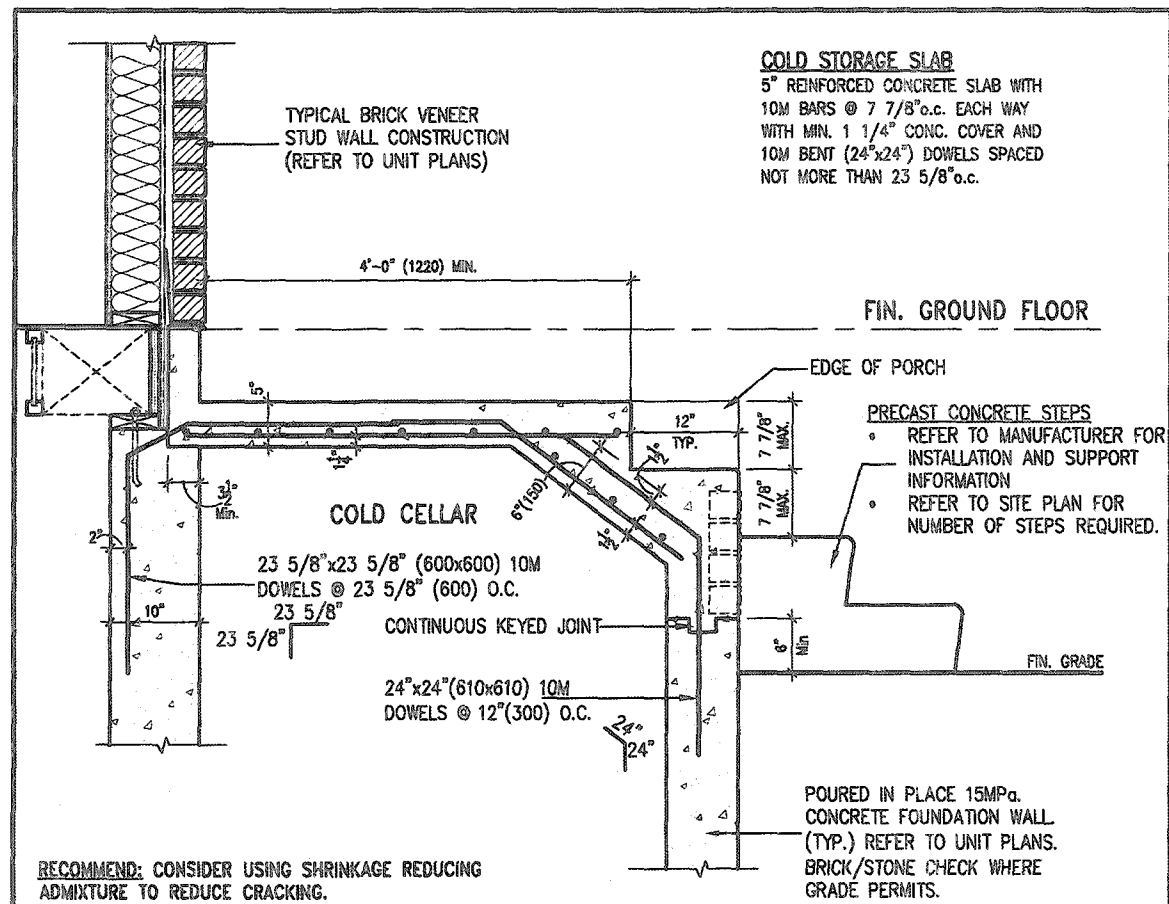
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3
drawing no.
A7b
drawing title
REAR ELEVATION - ELEV. 3
date
JAN. 2020
checked by
N.HUR
scale
3/16" = 1'-0"
drawing no.
MOUNTAINASH-4-274
project no.
19014
drawing no.
A7b

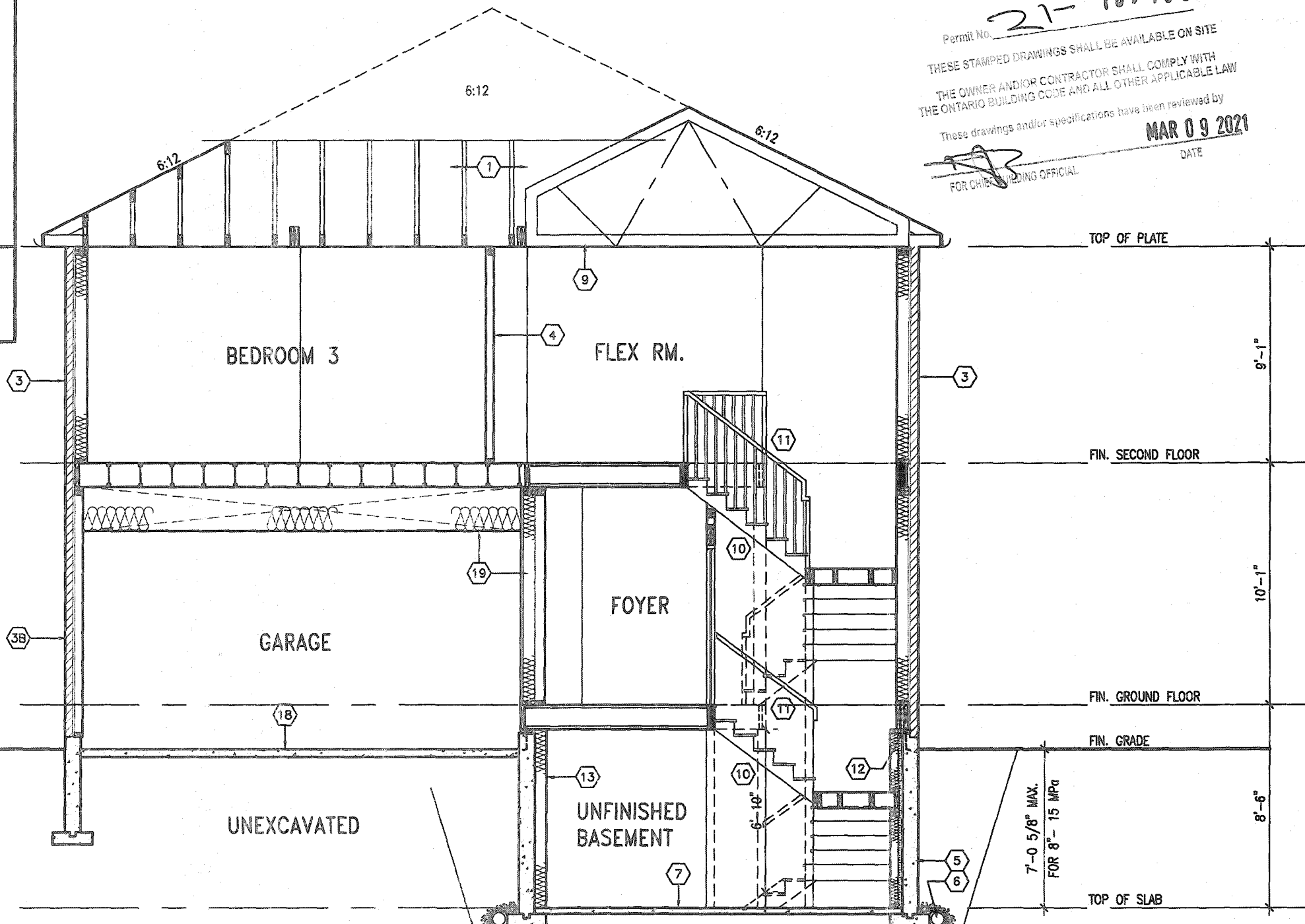
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3189 SF.



INSET PORCH STEPS

SCALE: Not to Scale



CROSS SECTION A-A - ELEV. '3'

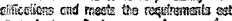
MOUNTAINASH 4-274
COMPLIANCE PACKAGE 'A1'

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STRUDET INC.
FOR STRUCTURE ONLY

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
17				8					
16				7			qualification information		
15				6			Richard Vink	2448	
14				5				signature	BCI
13				4	CUSTOM PER PURCHASER REQUEST	OCT 23/20	VA3 Design Inc.	4265	
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW		
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW		
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 26/20	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has no objections and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information	<i>R. Vink</i>	244
name	signature	B
registration information		
VA3 Design Inc.		426
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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478:
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[illegible]

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