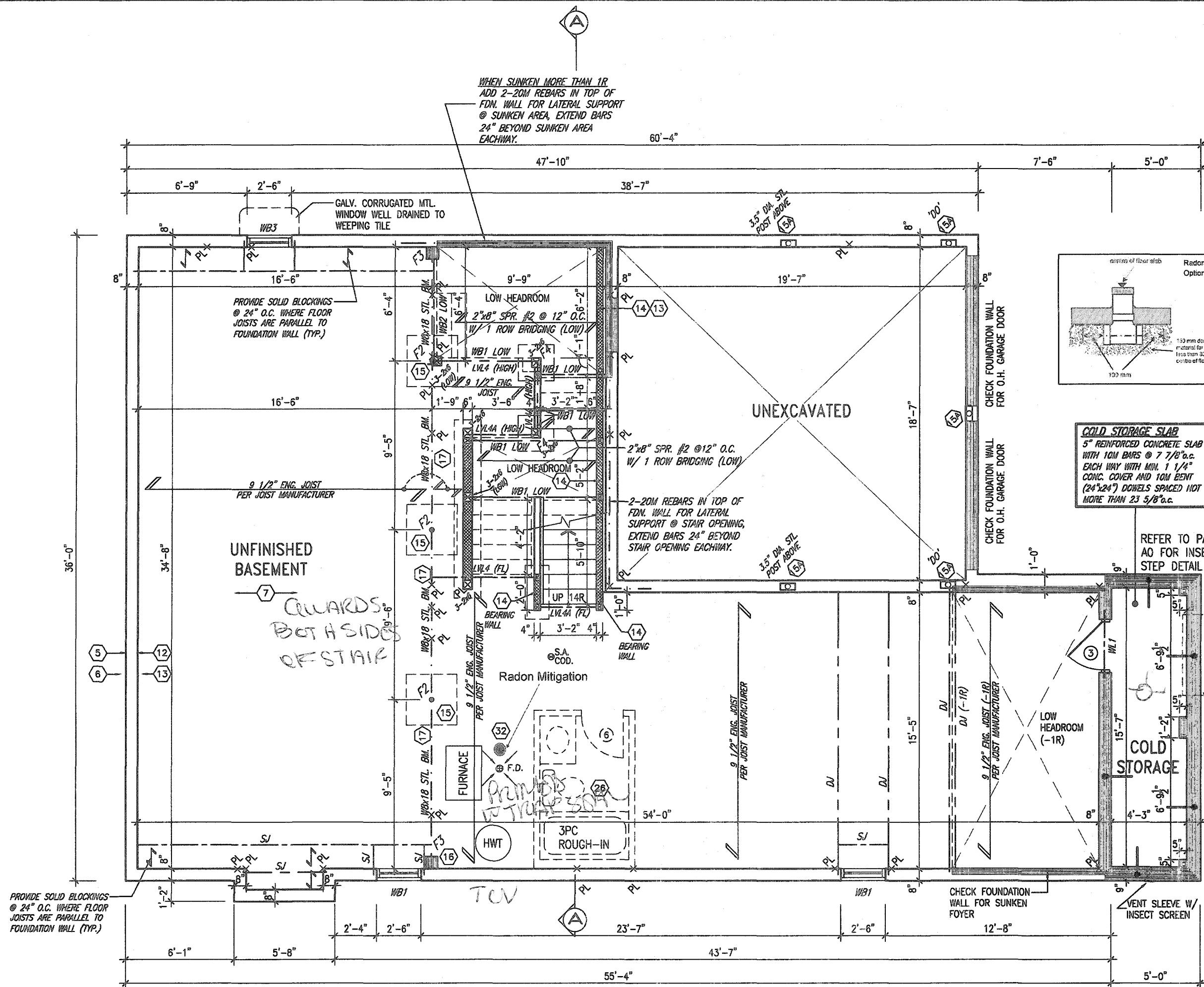


3288 SF.



BASEMENT FLOOR PLAN '2'

MOUNTAINASH 5-294
COMPLIANCE PACKAGE 'A1'



STRUDET INC.
FOR STRUCTURE ONLY

9					The undersigned has ordered and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7					qualification information
6					Richard Wink 2448
5	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW	name	signature
4	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG 28/20	DB	registration information	60
3	ISSUED FOR PERMIT.	APR 13/20	GW	WAS Design Inc.	42655
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name
RUSSELL GARDENS PH. 3

date

drawn by CL checked by - scale 3/16" = 1'-0"

CEG - (E)ADP (E)WORKING 201910214 (E)UNIT'S SUMMARY 44' MOUNTAINASI (CUSTOMS) MOUNTAINASI-5-234 11014-MOUNTAINASI-5-234.dcm - Tue - Oct 6 2020 - 4:57 PM

MOUNTAINASH 5
13.5m

municipality
HAMILTON, ON

BASEMENT PLAN - ELEV. 2

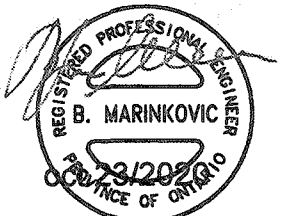
file name
19014-MOUNTAINASH-5-284

drawing no.

A1a1

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3288 SF.



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CITY OF HAMILTON
Planning & Development Department
FEB 04 2021
RECEIVED
DATE
FILE

CITY OF HAMILTON
Building Division
Permit No. 107192

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 23, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

GROUND FLOOR PLAN '2'

MOUNTAINASH 5-294
COMPLIANCE PACKAGE 'A1'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
KIT-EX-NOTE-2020.0.09

9.					
8.					
7.					
6.					
5.	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW		
4.	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG 28/20	DB		
3.	ISSUED FOR PERMIT.	APR 13/20	GW		
2.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

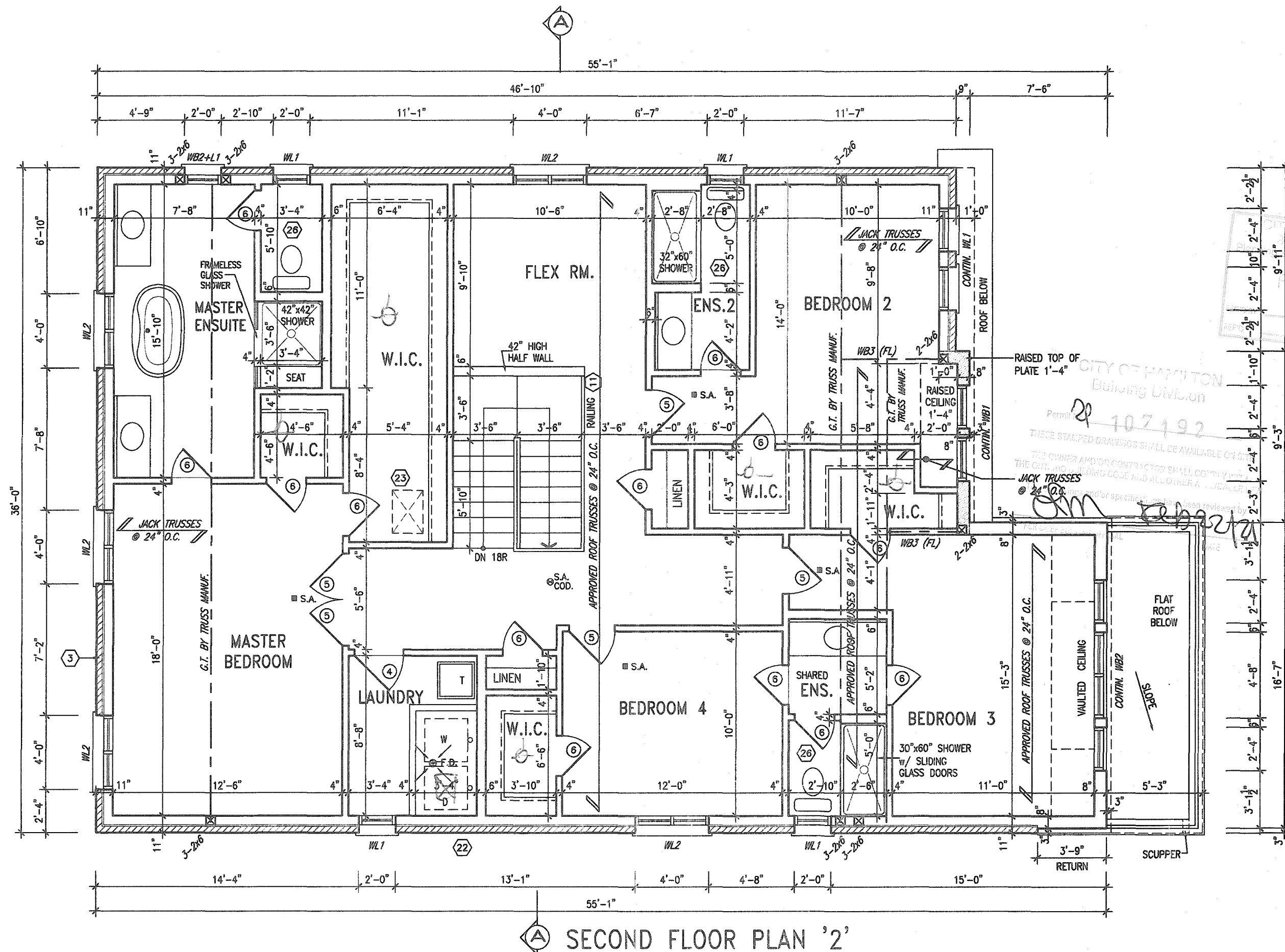
VAS
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name		location		project no.	
RUSSELL GARDENS PH. 3		HAMILTON, ON		19014	
date		GROUND FLOOR PLAN - ELEV. 2			drawing no.
JANUARY 2020					A2a
drawn by		checked by	scale	file name	
CL		-	3/16" = 1'-0"	19014-MOUNTAINASH-5-294	
CITY - HAYWARD MOUNTAINASH 2014 1644 RUSSELL GARDENS 141 MOUNTAINASH CUSTOMER MOUNTAINASH-5-294 (1/11/14) MOUNTAINASH-5-294.dwg - Tue Oct 6 2020 - 457 FB					

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3288 SF.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. GB-NOTE-2020.620

9						The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8							
7							
6						qualification information	
5	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW			Richard Vink	24AB
4	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG 28/20	DB			signature	BO
3	ISSUED FOR PERMIT.	APR 13/20	GW			VAS Design Inc.	4265
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW				
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW				
no.	description		date	by			

VA3
DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

JANUARY 2020

drawn by _____ checked by _____ scale _____

CL - - - - - 3/16" = 1'-0"

CREGG - 1614 CHINESE WORKINGS 2019A 15014 CREGG ARTS SUPPLY CO. INC. HONOLULU HI CUSTOMER SIGNAGE

MOUNTAINASH 5
13.5m

HAMILTON, ON

SECOND FLOOR PLAN - ELEV. 2

file name
19014-MOUNTAINASH-5-294

A3a

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SHINGLES

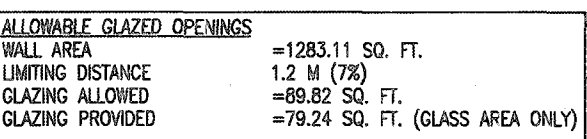
CITY OF HAMILTON
BUILDING DEPT
Planning & Development Department

EXP. 01 2021

RECORD # _____ DATE _____
RECORD # _____ DATE _____



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CITY OF HAMILTON
Building Division
Permit No. 21 107192

The drawings and/or specifications have been reviewed by
dm **Feb 22/21**
 FOR CHIEF BUILDING OFFICIAL

MOUNTAINASH 5-294
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: JAN 28, 2021

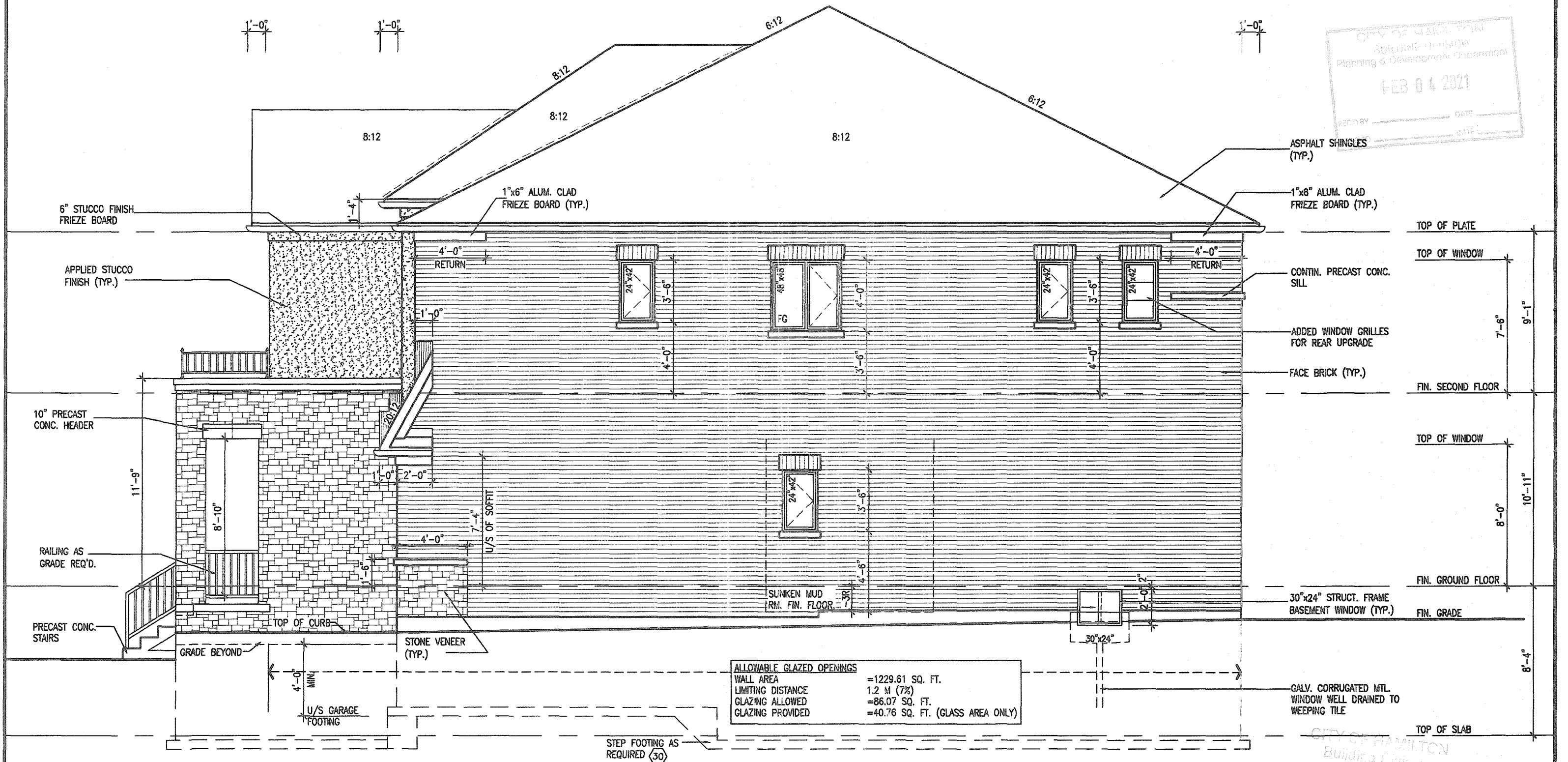
This stamp certifies compliance with the applicable
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416.630.2255 f 416.630.4782
va3design.com

		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
drawn by CL		drawing no. 19014-MOUNTAINASH-5-284	
checked by -		title name LEFT SIDE ELEVATION - ELEV. 2	
scale 3/16" = 1'-0"		A5a	
CRG - H:\ARCHIVE\PROJECTS\2019\19014\GARDENS\GREENPARK\MOUNTAINASH\LEFT SIDE ELEVATION\MOUNTAINASH-5-284\19014-MOUNTAINASH-5-284.dwg - Twp - Oct 6 2020 - 4:57 PM			

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3288 SF.



RIGHT SIDE ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28 2021
This stamp certifies compliance with the applicable Architectural Design Guidelines, only and does not constitute professional responsibility.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488
6				name registration information
5	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW	VA3 Design Inc. 42650
4	CUSTOM DRAWING FOR PURCHASER REQUEST	AUG 28/20	DB	
3	ISSUED FOR PERMIT	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 28/20	GW	
no.	description	date	by	

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

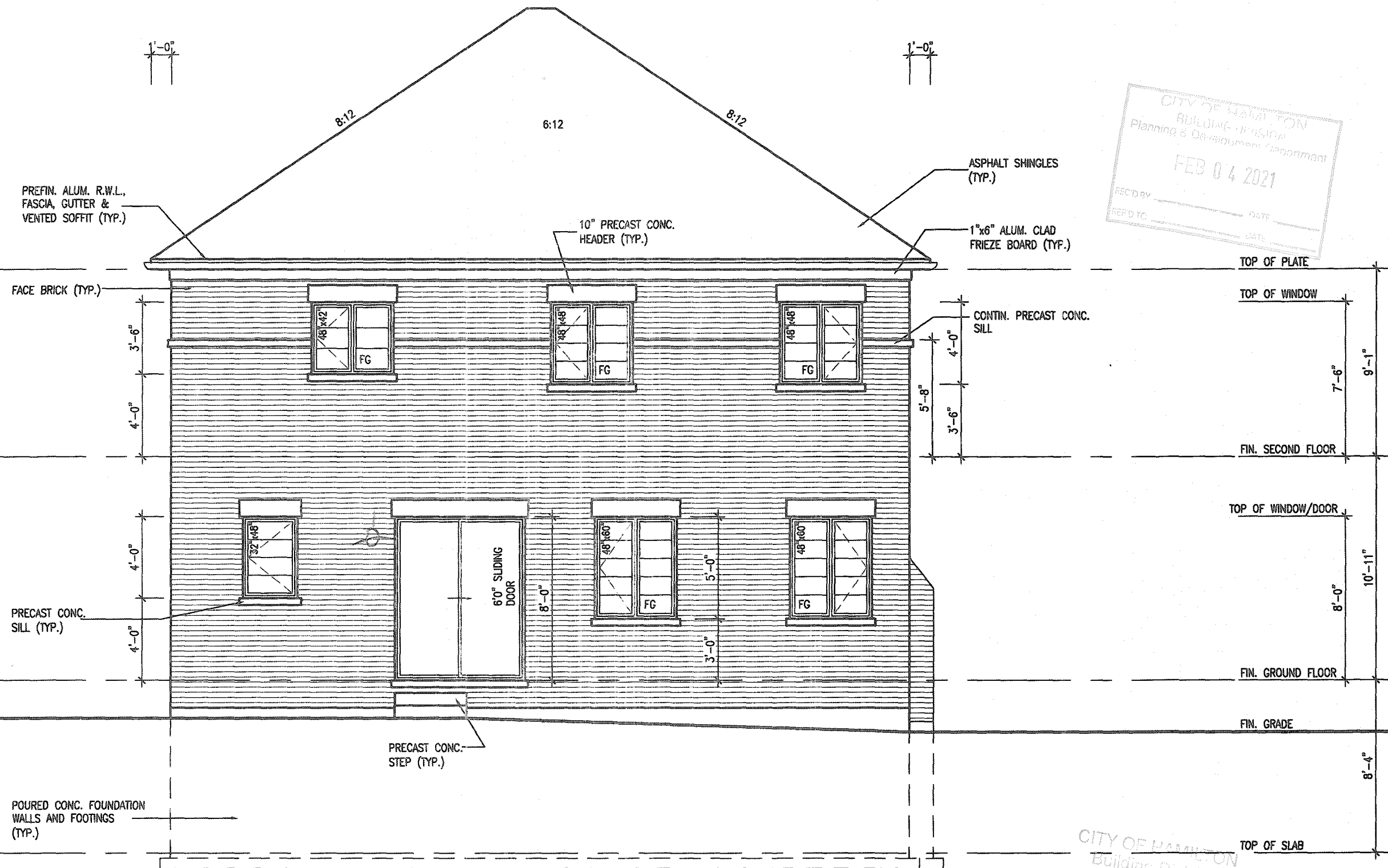
Greenpark.

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON	project no.	19014
date	JANUARY 2020	drawn by	checked by	3/16" = 1'-0"	
CL	19014-MOUNTAINASH-5-294	19014-MOUNTAINASH-5-294	19014-MOUNTAINASH-5-294	19014-MOUNTAINASH-5-294	
RIGHT SIDE ELEVATION - ELEV. 2					

A6a

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3288 SF.



UPGRADED REAR ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24468
6				signature
5	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW	name registration information
4	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG 28/20	DS	VAS Design Inc. 42658
3	ISSUED FOR PERMIT.	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name	RUSSELL GARDENS PH. 3	city	HAMILTON, ON	project no.	19014
date	JANUARY 2020	checked by	scale	drawing no.	A7a
drawn by	CL	3/16" = 1'-0"			
CL					
19014-MOUNTAINASH-5-294					

MOUNTAINASH 5-294
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division
Permit No. 28 107192
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
The conditions and/or specifications have been reviewed by
[Signature] Feb 22/21
FOR CHIEF BUILDING OFFICIAL

Architectural cross-section drawing of a house, showing the roof, second floor, first floor, and unfinished basement. The drawing includes room labels: W.I.C., LIN., FLEX RM., LIVING/DINING RM., UNFINISHED BASEMENT, and SUNKEN MUD RM. It also shows a staircase, a chimney, and various structural details like joists, rafters, and foundation elements. Callouts 1 through 29 are used to identify specific components.

CITY OF HAWAII, HONOLULU
BUILDING DIVISION
Planning & Development Department
FEB 04 2021
RECD BY _____ DATE _____
FEB 04 2021
FEB 04 2021

Permit No. 21 107192
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
DM Feb 22/21
 FOR CHIEF BUILDING OFFICIAL DATE

Greenpark.

MOUNTAINASH 5
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON	19014

date JANUARY 2020	SECTION A-A - ELEV. 2		drawing no.
drawn by CL	checked by -	scales 3/16" = 1'-0"	file name 19014-MOUNTAINASH-S-29d
PDS-C:\PROJECTS\WATER\19014\19014-01\MOUNTAINASH-S-29A.dwg - Twp - Qd. 6 2019 - 457 ft			A8a

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REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
No. 2312020
PROVINCE OF ONTARIO

9					The undersigned has reviewed and taken responsibility for this design and has the qualifications and means the requirements set out in the
8					Ontario Building Code to be a Designer.
7					qualification information
6					Richard Vink 24488 <i>R Vink</i> signature EC
5	REAR UPGRADE REVISED PER A.C.	OCT 06/20	GW		
4	CUSTOM DRAWING FOR PURCHASER REQUEST.	AUG 28/20	DB		VAS Design Inc. 42658
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW		
no. description		date by		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	