

3409 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL **90 KPa ENGINEERED FILL SOIL**
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1a	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-6"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0", 2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

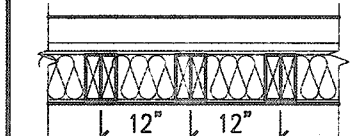
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

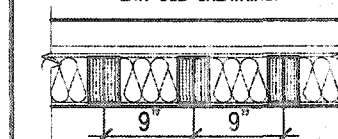
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

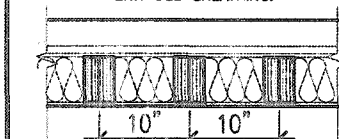
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



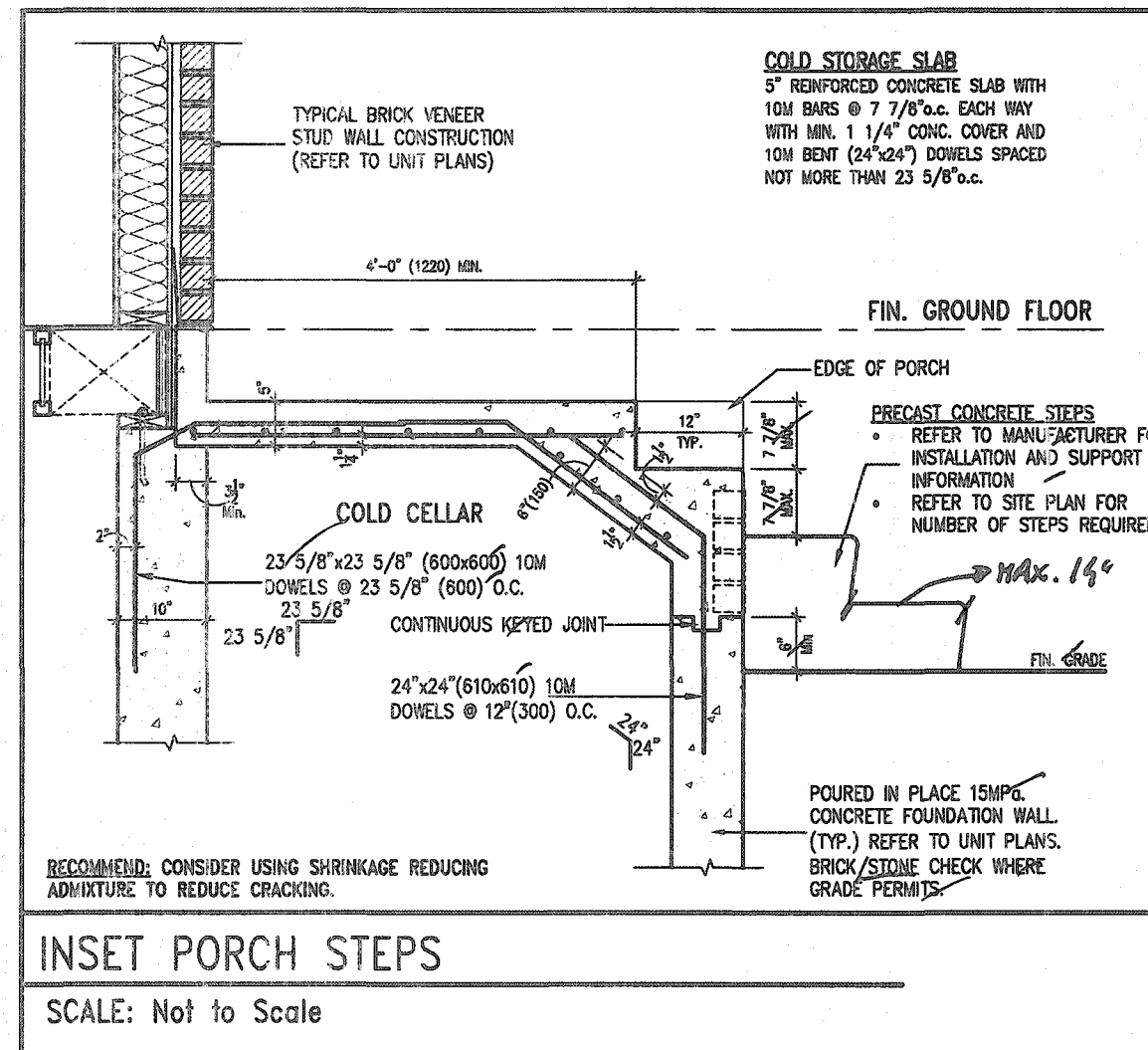
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TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".



RECOMMEND: CONSIDER USING SHRINKAGE REDUCING ADMIXTURE TO REDUCE CRACKING.

INSET PORCH STEPS

SCALE: Not to Scale

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
MOUNTAINASH 6-295, ELEV. 3	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	394 S.F.	205.028 S.F.	22.93 %
LEFT SIDE	1359 S.F.	99.99 S.F.	7.36 %
RIGHT SIDE	1282 S.F.	66.33 S.F.	5.17 %
REAR	793 S.F.	151.66 S.F.	19.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4328.00 S.F.	523.01 S.F.	12.08 %
TOTAL SQ. M.	402.08 S.M.	48.59 S.M.	12.08 %

AREA CALCULATIONS		ELEV '3'
GROUND FLOOR AREA	1480 SF	
SECOND FLOOR AREA	1877 SF	
TOTAL FLOOR AREA	3357 SF	(311.87 m2)
FIRST FLOOR OPEN AREA	0 SF	
SECOND FLOOR OPEN AREA	11 SF	
ADD TOTAL OPEN AREAS	+11 SF	
ADD FINISHED BSMT AREA	+0 SF	
GROSS FLOOR AREA	3368 SF	(312.90 m2)
GROUND FLOOR COVERAGE	1487 SF	
GARAGE COVERAGE/AREA	393 SF	
PORCH COVERAGE/AREA	58 SF	
COVERAGE W/ PORCH	1938 SF	(180.05 m2)
COVERAGE W/O PORCH	1880 SF	(174.66 m2)



STRUDET INC.
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division

Permit No. 21-107161

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

MAR 1 2021

DATE

MOUNTAINASH 6-295 COMPLIANCE PACKAGE 'A1'



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com



MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3 HAMILTON, ONTARIO
drawing no.
19014

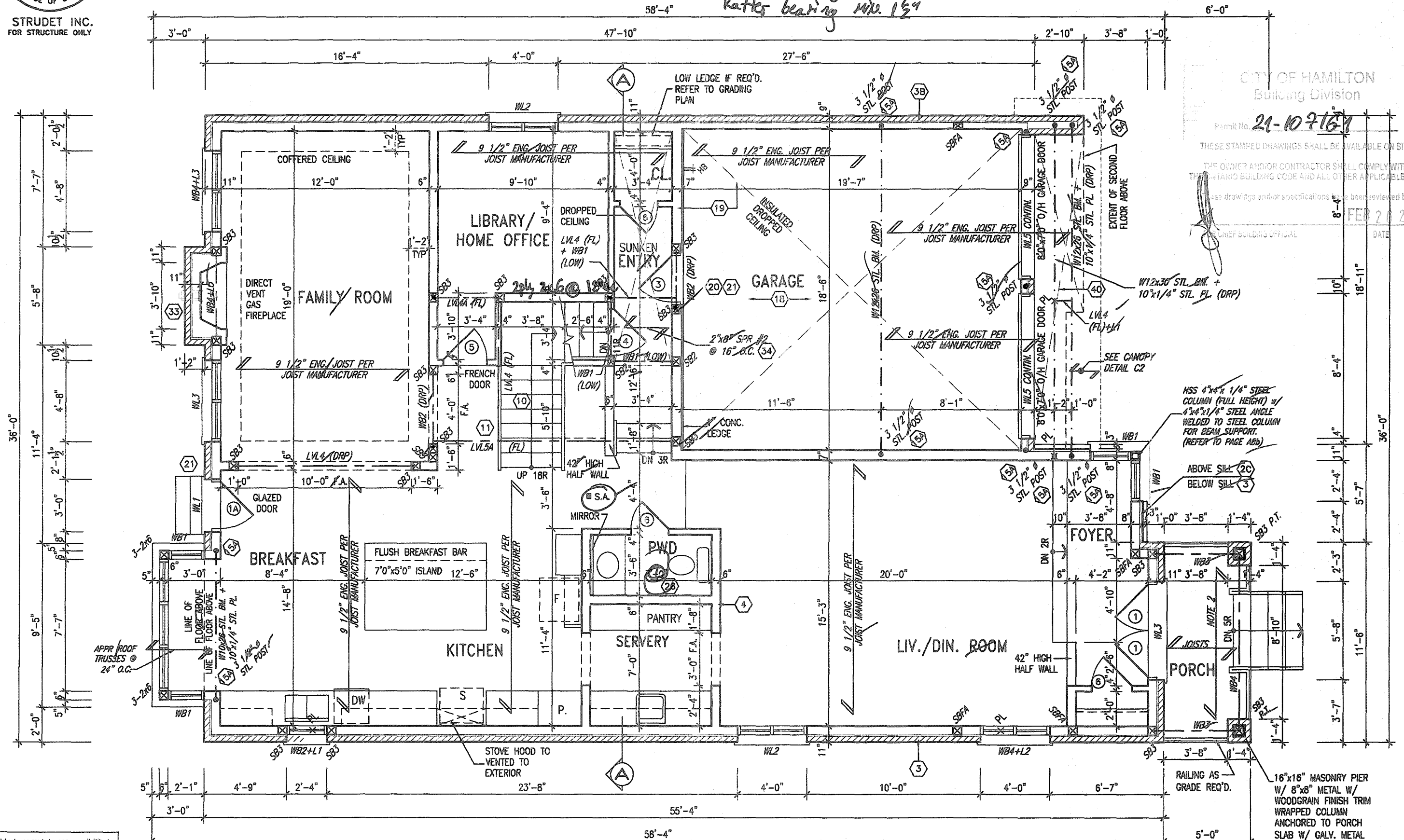
date
JAN 2020
drawn by
BD.BIM
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-6-295
drawing no.
A0



- Gas fire place must be CSA/ULC/CCMC approved and be installed in accordance to local utilization code.
- Storage walls must be tight to gasproof and self-closing weatherstrip door.

- All plumbing is subject to field inspection by City of Hamilton.
- Beam bearing min. $3\frac{1}{2}"$
- Joist bearing max. $1\frac{1}{2}"$
- Lintel bearing min. $1\frac{1}{2}"$
- Rafter bearing min. $1\frac{1}{2}"$

3409 SF.



GROUND FLOOR PLAN - ELEV. '3'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER CBC, DIV. B- TABLE 6.2.3.12.

• KITCHEN EXHAUST:	3.0m
• DRIVEWAY, PARKING SPACE, ROAD:	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg

NOTE 2:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

MOUNTAINASH 6-295
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 6
13.5m

project name	town	municipality	project no.
RUSSELL GARDENS PH. 3		HAMILTON, ONTARIO	19014
date	drawing title		drawing no.
JAN 2020	GROUND FLOOR PLAN - ELEV. '3'		
drawn by	checked by	scale	file name
BD.BIM	-	3/16" = 1'-0"	19014-MOUNTAINASH-6-295

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Building Division

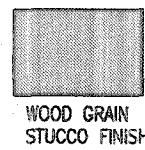
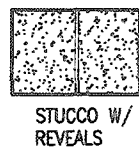
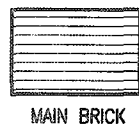
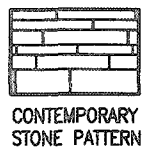
Permit No. 21-107161

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FEB 26 2021
DATE

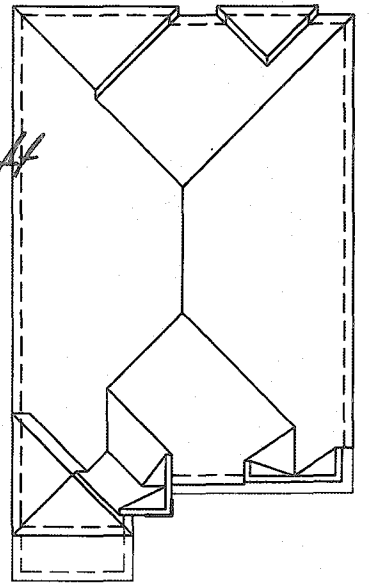


Note:

• Approved CSA/CCMC stucco system specs
must be on-site prior installation.

• Provide roof natural ventilation for every 1/300sqft
of the insulated roof attic space.

3409 SF.



ROOF PLAN-3



FRONT ELEVATION '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

EXTERIOR RAILINGS:

3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PORCH STEPS (TYP.)

PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

18			9						
17			8						
16			7						
15			6						
14			5	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT			
13			4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 27/20	GW			
12			3	ISSUED FOR PERMIT.	APR 13/20	GW			
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW			
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Richard Vink	<i>R. Vink</i>	24468	
name	signature		
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ONTARIO

MOUNTAINASH 6
13.5m

project no.
19014

drawn by
BD.BHM

checked by
3/16" = 1'-0"

FRONT ELEVATION - ELEV '3'

19014-MOUNTAINASH-6-295

drawing no.
A4b

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CONTEMPORARY
STONE PATTERN



MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

CITY OF HAMILTON
Building Division

Permit No. 21-107161

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE L

FEB 26 2021

THE BUILDING OFFICIAL

DATE _____

— VALLEY FLASHING
(TYP)

1"x6" ALUM. CLAD
FRIEZE BD.

TOP OF PLATE

TOP OF WINDOW

CONTIN. PRECAST
CONC. SILL (TYP.)

WOOD GRAIN STUCCO
FINISH (TYP.)

FIN. SECOND FLO

TOP OF WINDOW

16"x16" MASONRY
PIER W/ 8"x8" CO
- W/ WOOD GRAIN
STUCCO FINISH TR
WRAPPED COLUMN
(TYP.)

FIN. GROUND FLO

SUNKEN FOYER (

FIN. GR

CONTEMPORARY STONE
PATTERN (TYP)

TOP OF SLAB

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2023
This stamp certifies compliance with the applicable
Design Guidelines and bears no further
professional responsibility.

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1392.11 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=97.45 SQ. FT.
GLAZING PROVIDED	=83.67 SQ. FT.

30"x24" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

MOUNTAINASH 6-295
COMPLIANCE PACKAGE 'A1'


Greenpark.

MOUNTAINASH 6
13.5m

HAMILTON, ONTARIO

LEFT SIDE ELEVATION - ELEV '3'

ଦିଶାଙ୍କ ନଂ.

A5b

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8				qualification information	
16				7					
15				6				Richard Vink	2446
14				5	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT	name	BC
13				4	CUSTOM DRAWINGS PER PURCHASER REQUEST	AUG 27/20	GW	signature	
12				3	ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc.	4265
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW		
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by	no.	description	date	by		

VA3

DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

drawn by
JAN 2020

checked by _____ scale _____
- $3/16'' = 1'-0''$

CRIS - H:\ARCHIVE\WORKING\2019\19014.CRI\UNITS\SINGLES\44' MCKINTOSH\CUSTOMS\MOUNTAINSH-6-295\19014-MOUNTAINSH-6-295.dwg - Mon - Dec 14 2020 - 4:53 PM

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CONTEMPORARY
STONE PATTERN

MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

CITY OF HAMILTON
Building Division

Permit No. 21-107161

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These drawings and/or specifications have been reviewed by

FEB 26 2021

~~FOR CHIEF BUILDING OFFICIAL~~

DATE _____

MTL. FLASHING, W/
CAULKING BEHIND —
CLADDING (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER & —
VENTED SOFFIT (TYP.)

6:12

—ASPHALT SHINGLES
(TYP.)

— VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

7-6⁵⁹

— PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

FIN. SECOND FLOOR

TOP OF DOOR/TRANSOM:

10" PRECAST CONC.-
HEADER (TYP.)

FACE BRICK CAP
W/ FLASHING
FULL DEPTH

___ ALUM. CLAD TRIM BDS.

PRECAST CONC.-
SILL (TYP.)

CONTINUOUS PRECAST
CONC. SILL (TYP.)

FIN. GROUND FLOOR

PRECAST CONC.
STEP (TYP.)

TOP OF SLAB

Note: • separate building permit is required to construct Decks.

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18				9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 signature 2440 EC
17				8	-	-	qualification information	
16				7	-	-	Richard Vink	
15				6	-	-		
14				5	REVISED REAR BOX BAY PER CLIENT.	DEC. 14/20	WT	
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11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW	4262
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
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 Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawing no. 19014-MOUNTAINASH-6-255		drawing no. A7b	
drawn by BD:HM		REAR ELEVATION - ELEV "3" 19014-MOUNTAINASH-6-255	
checked by -		scale 3/16" = 1'-0"	
title name 19014-MOUNTAINASH-6-255			

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