

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (125x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

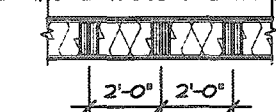
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 10'-0"

TWO STORY HEIGHT WALL DETAIL

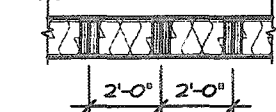
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @9" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

AREA CALCULATIONS		ELEV. 3
GROUND FLOOR AREA	=	1215 Sq. Ft.
SECOND FLOOR AREA	=	1438 Sq. Ft.
TOTAL FLOOR AREA	=	2653 Sq. Ft.
		246.47 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	105 Sq. Ft.
ADD TOTAL OPEN AREAS	=	105 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2758 Sq. Ft.
		256.23 Sq. M.
GROUND FLOOR COVERAGE	=	1215 Sq. Ft.
GARAGE COVERAGE / AREA	=	397 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1685 Sq. Ft.
		156.54 Sq. m.
TOTAL COVERAGE W/O PORCH	=	1612 Sq. Ft.
		149.76 Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

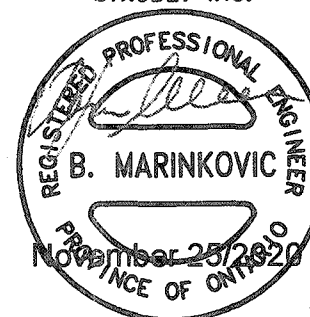
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1.051 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	8.52 (R50 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATINGS = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

VALLEYCREEK 3		ELEV. 3			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	691.75	64.27	119.86	11.14	17.33 %
LEFT SIDE	1059.86	98.46	86.47	8.03	8.16 %
RIGHT SIDE	1059.86	98.46	86.47	8.03	8.16 %
REAR	682.29	63.39	157.41	14.62	23.07 %
TOTAL	3493.76	324.58	346.40	36.83	11.35 %

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON

STRUDET INC.



FOR STRUCTURE ONLY

VALLEYCREEK 3-308

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 308	OCT 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

28770

NAME

SIGNATURE

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6

P (416) 738-4096

F (905) 660-0748



SHEET TITLE

GENERAL NOTES
& CHARTS

SCALE

BY

MB

DATE

DEC 2019

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA

2,772

PAGE No.

0

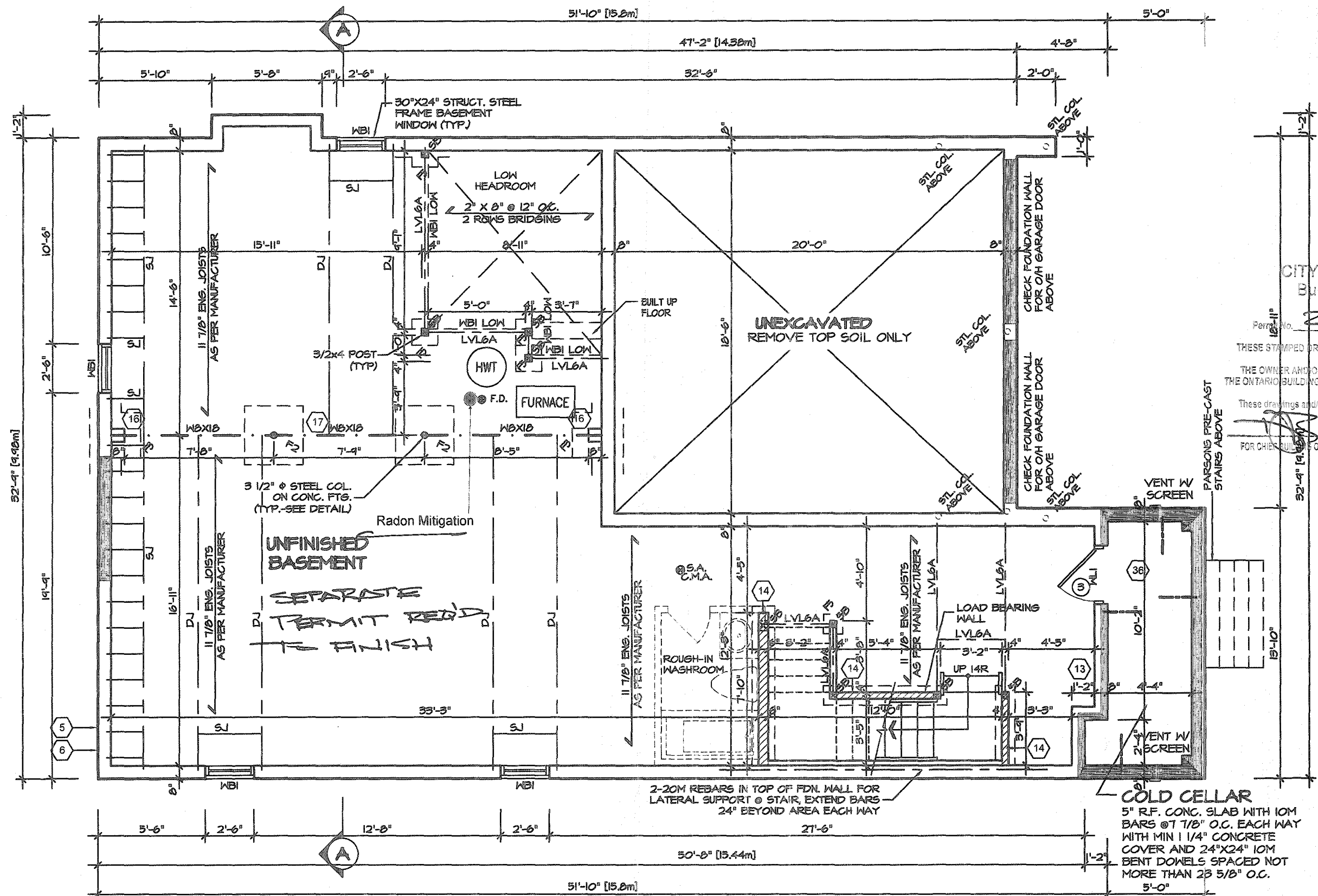
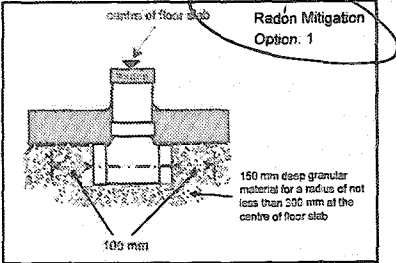
PROJECT

12-04-19



PROJECT NAME

RUSSELL GARDENS III



BASEMENT PLAN 3

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

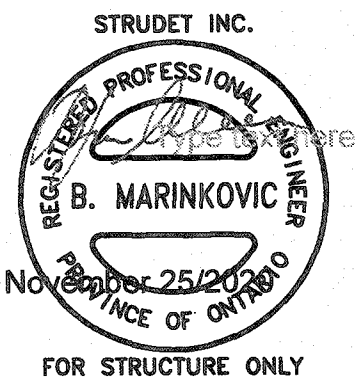
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

CITY OF HAMILTON
Building Division

Permit No. **21 107141**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FEB 23 2021
FOR CHIEF BUILDING OFFICIAL DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE **16th 28 2021**
This stamp certifies compliance with the applicable Design Guidelines only and carries no further professional responsibility.

VALLEYCREEK 3-308

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 308	OCT 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4086
F (905) 660-0746



SHEET TITLE
**BASEMENT PLAN
ELEVATION 3**

SCALE
3/16"=1'-0"

DATE
DEC 2019

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

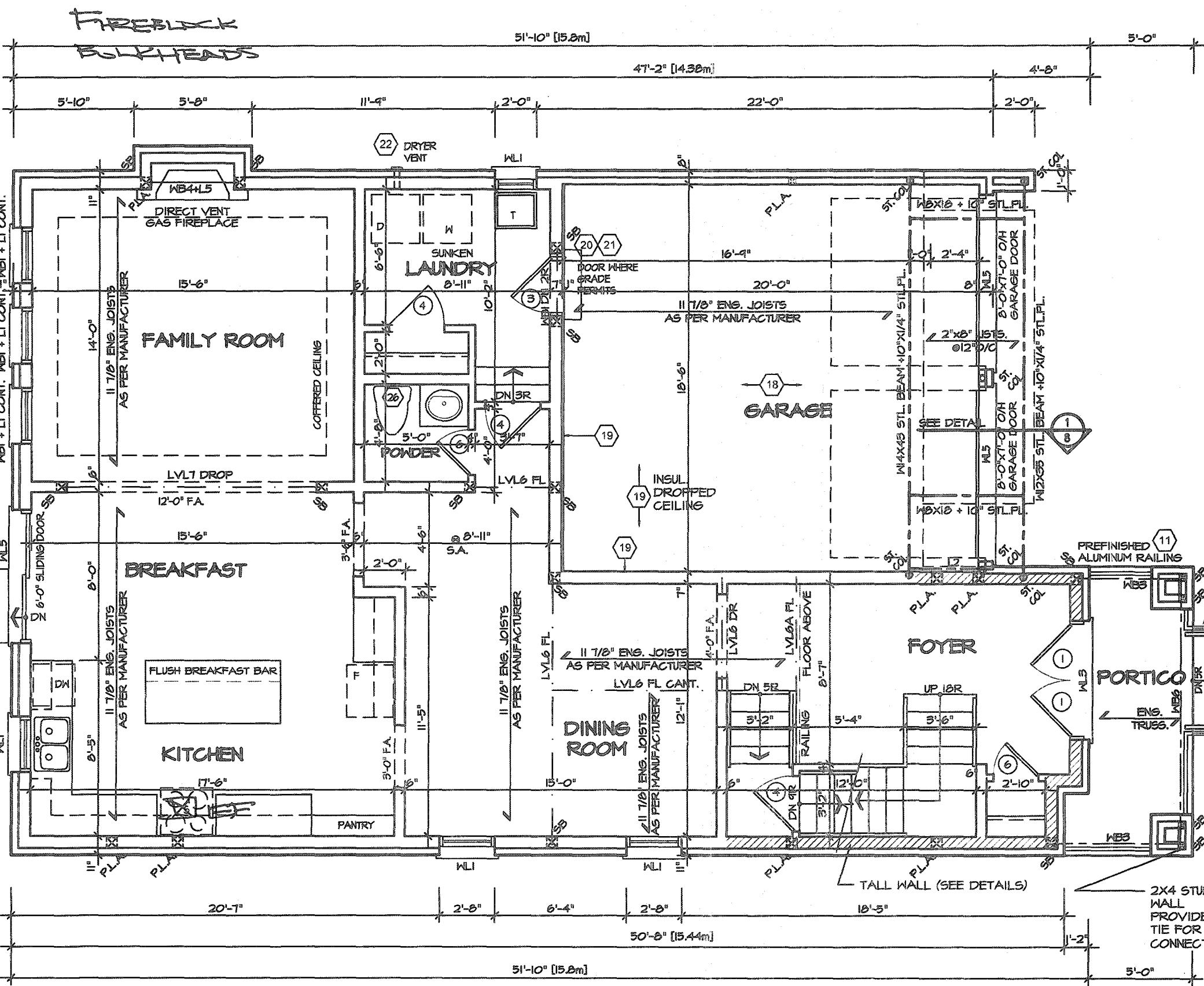
AREA
2,772

PAGE No.
1-3

PROJECT
12-04-19

Greenpark

PROJECT NAME
RUSSELL GARDENS III



FIRST FLOOR PLAN 3

CITY OF HAMILTON
Building Division

Permit No. **21 107161**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 23 2021
DATE

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 25/2020
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

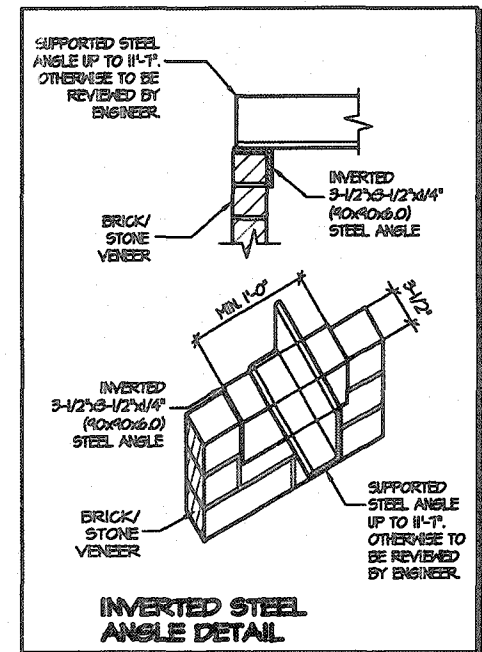
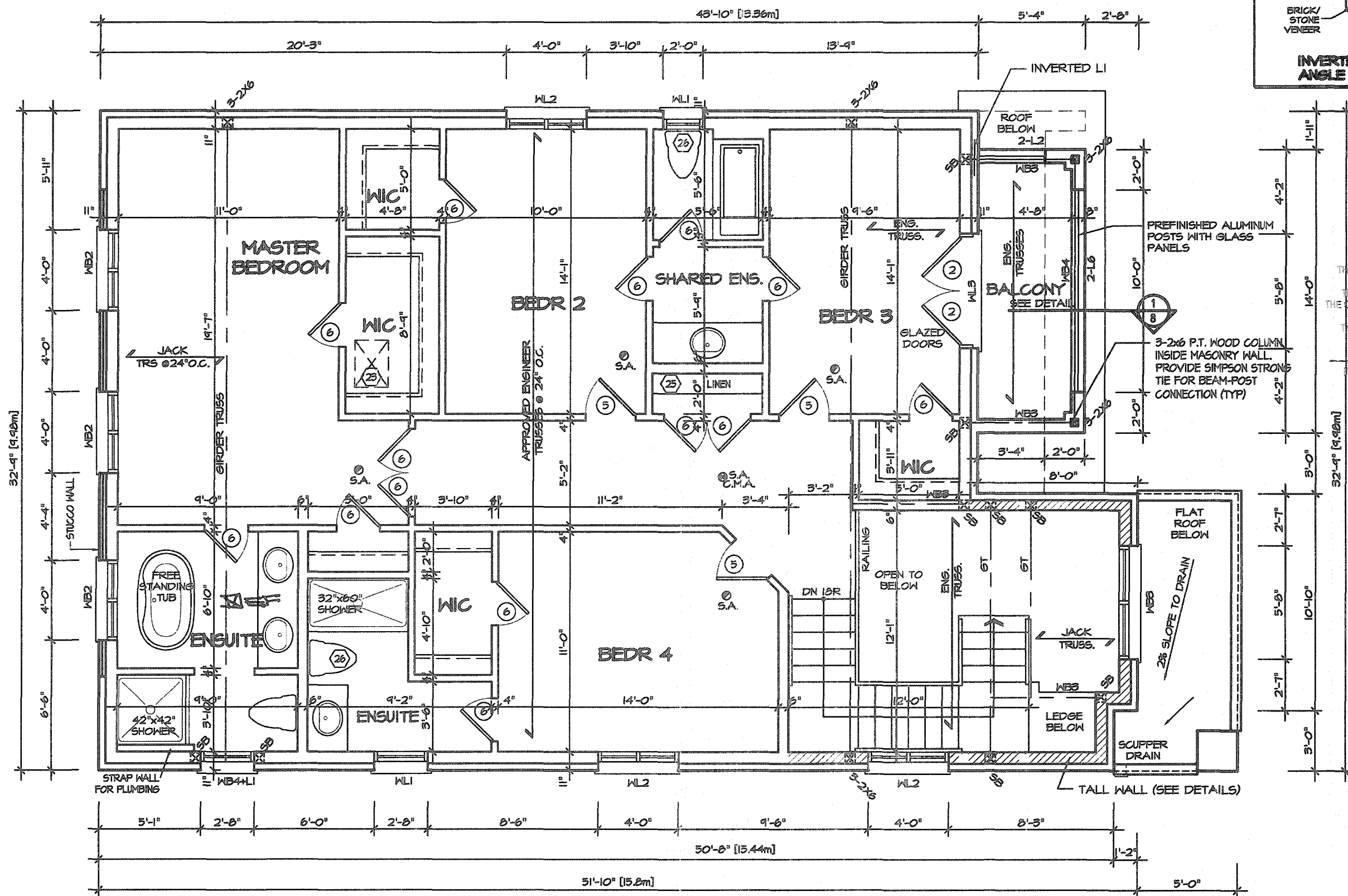
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: **[Signature]**
DATE: **JAN 23 2021**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

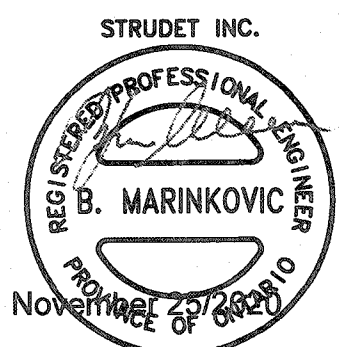
VALLEYCREEK 3-308
COMPLIANCE PACKAGE "A1"

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR NAME</div> <div>28770 SIGNATURE</div> <div>BCIN</div>	<div>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE FIRST FLOOR PLAN ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 2-3		PROJECT NAME RUSSELL GARDENS III
3.	UPDATED FOR LOT 308				DATE DEC 2019	TYPE	PROJECT 12-04-19			
2.	ISSUED FINAL REFERENCE									
1.	ISSUED FOR COORDINATION									
REVISIONS										

November 6, 2020 3:55:03 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 3 E3 LOT 308 10FT CEILING.DWG



CITY OF HAMILTON
Building Division
Permit No. **22 107141**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 23 2021
FOR CHIEF BUILDING OFFICIAL DATE



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JAN 28 2021**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

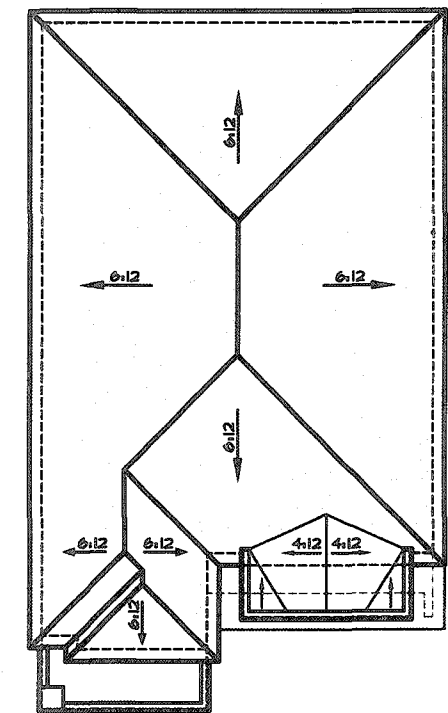
SECOND FLOOR PLAN 3

VALLEYCREEK 3-308

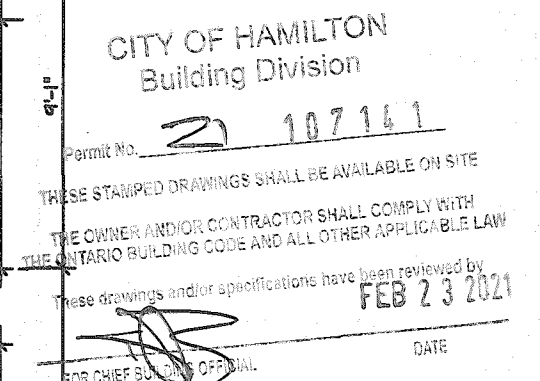
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME 28770 SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0748</p>	<p>REGION DESIGN INC.</p>	SHEET TITLE SECOND FLOOR PLAN ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSELL GARDENS III
4.						SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 3-3	
3.	UPDATED FOR LOT 308	OCT 2020								
2.	ISSUED FINAL REFERENCE	MAR 2020								
1.	ISSUED FOR COORDINATION	JAN 2020					DATE DEC 2019	TYPE	PROJECT 12-04-19	
REVISIONS										

November 6, 2020 3:55:48




INSIDE PORTICO BALCONY ELEVATION



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

COMPLIANCE PACKAGE "A1"

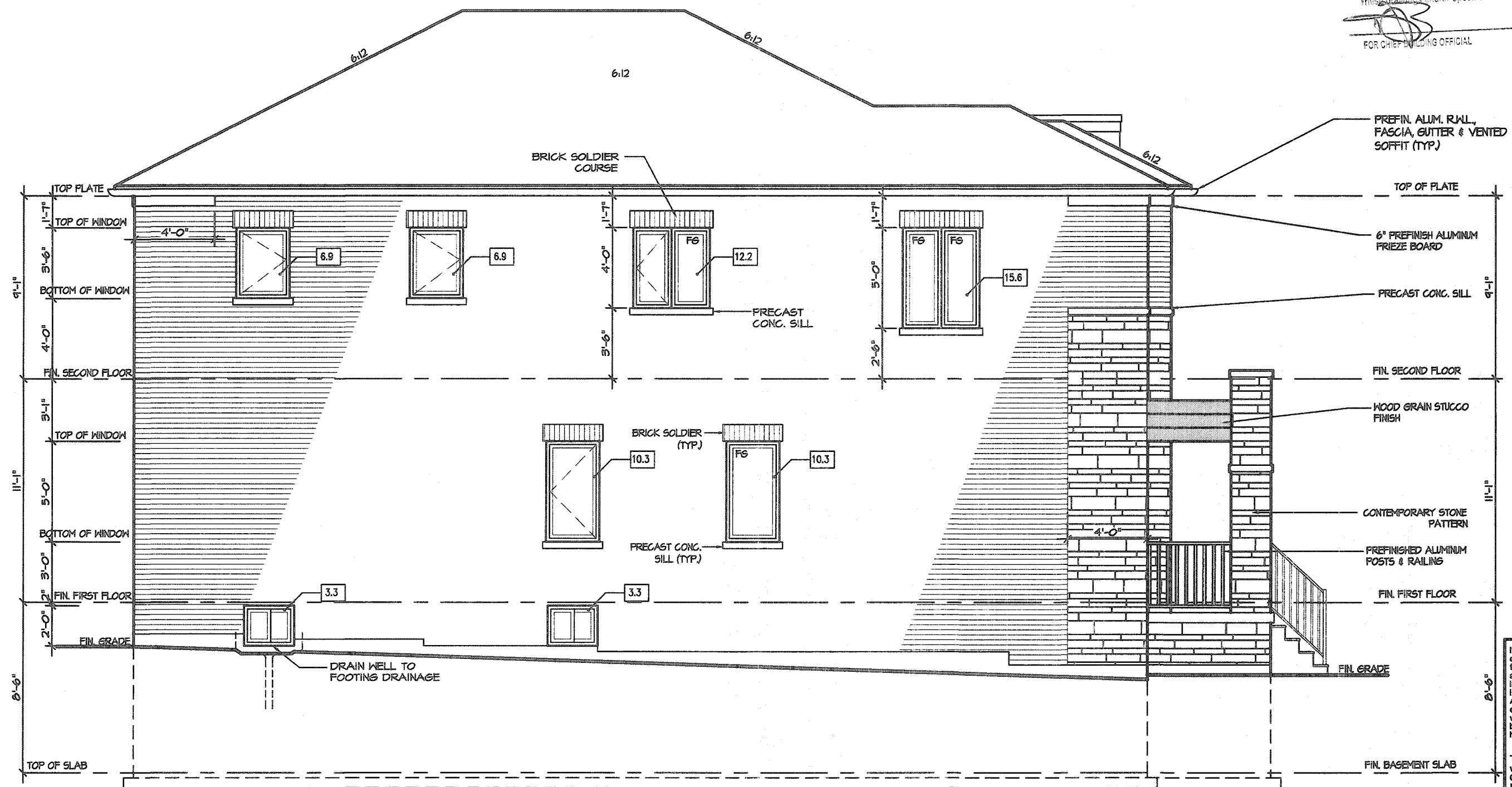
5			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME</p> <p> SIGNATURE</p> <p>28770 BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	SHEET TITLE FRONT ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME RUSSELL GARDENS III
4						SCALE 3/16"=1'-0"	BY MB	AREA 2,772	PAGE No. 4-3	
3	UPDATED FOR LOT 308	OCT 2020				DATE DEC 2019	TYPE	PROJECT 12-04-19		
2	ISSUED FINAL REFERENCE	MAR 2020								
1	ISSUED FOR COORDINATION	JAN 2020								
REVISIONS										

CITY OF HAMILTON
Building Division

Permit No. **21 107141**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] **FEB 23 2021**
FOR CHIEF BUILDING OFFICIAL DATE



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA 1055.86
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD) 73.91
ACTUAL WINDOW AREA 66.00
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA 68.80

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: **[Signature]**
DATE: **JAN 28 2021**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 3-308

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 308	OCT 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR **[Signature]** **28770**
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE LEFT SIDE ELEVATION 3	
SCALE 3/16"=1'-0"	BY MB
DATE DEC 2019	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 2,772	PAGE No. 5-3
PROJECT 12-04-19	

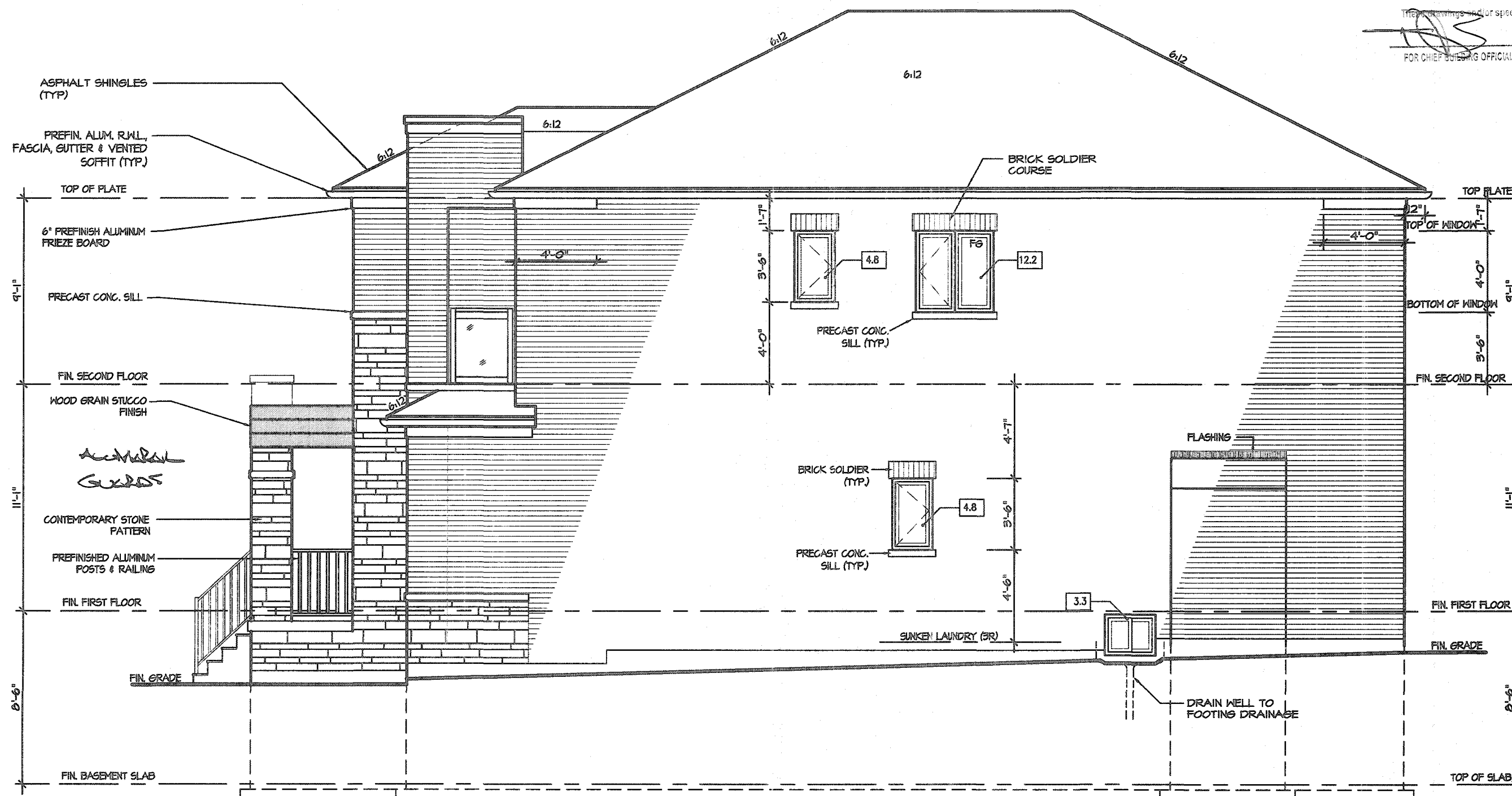
Greenpark	
PROJECT NAME RUSSELL GARDENS III	

CITY OF HAMILTON
Building Division

Permit No. **21 107141**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN REVIEWED BY
[Signature] **FEB 23 2021**
FOR CHIEF BUILDING OFFICIAL DATE



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1059.86
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	74.19
ACTUAL WINDOW AREA	23.70
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL OPENING AREA	25.10

OK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY **[Signature]**
DATE: **JAN 28, 2021**

This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility

VALLEYCREEK 3-308

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 308	OCT 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.6 of the building code

VIKAS GAJJAR **[Signature]** **28770**
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746



SHEET TITLE
RIGHT SIDE
ELEVATION 3

SCALE
3/16"=1'-0"
DATE
DEC 2019

BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2.772
PROJECT
12-04-19

PAGE No.
6-3



PROJECT NAME
RUSSELL GARDENS III

CITY OF HAMILTON
Building Division

Permit No.

107161

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FEB 23 2021

FOR CHIEF BUILDING OFFICIAL

DATE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

VALLEYCREEK 3-308

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 308	OCT 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4096
F (905) 660-0748

REGION
DESIGN
INC.

SHEET TITLE
REAR ELEVATION 3

SCALE
3/16"=1'-0"

DATE
DEC 2019

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2,772

PROJECT
12-04-19

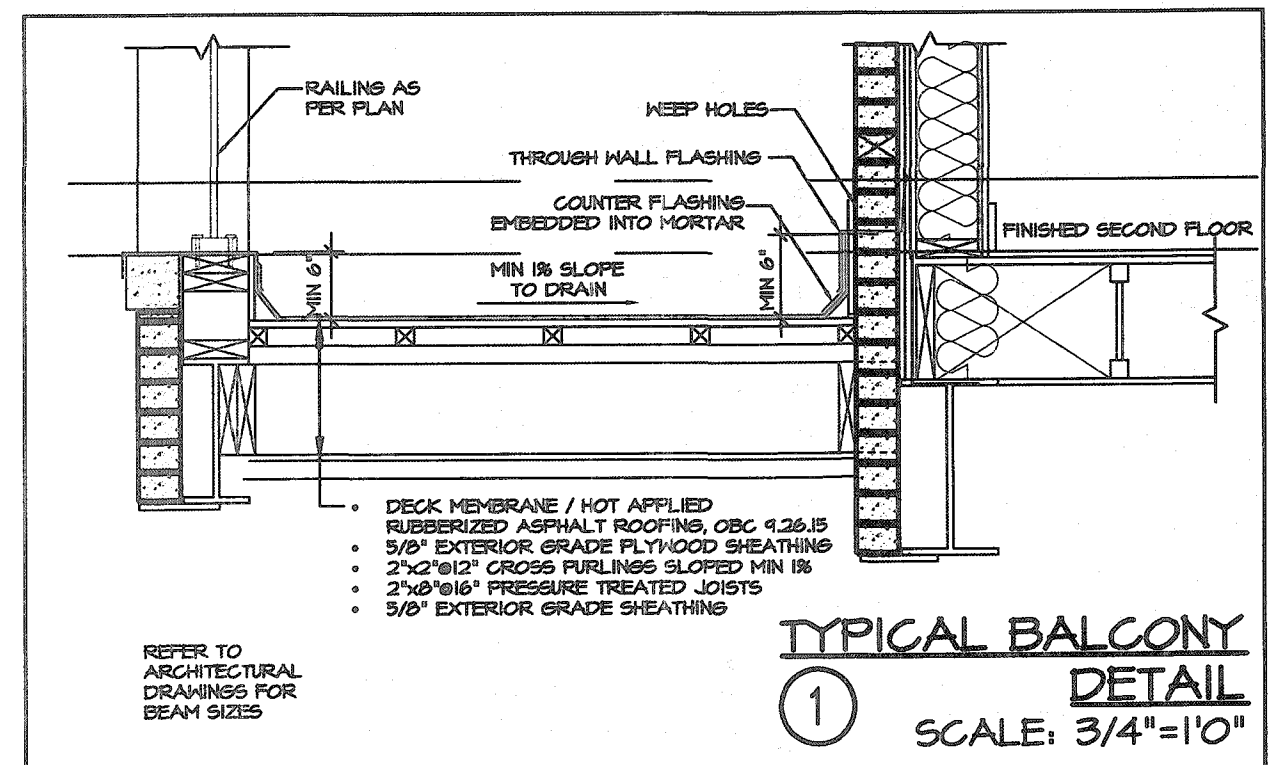
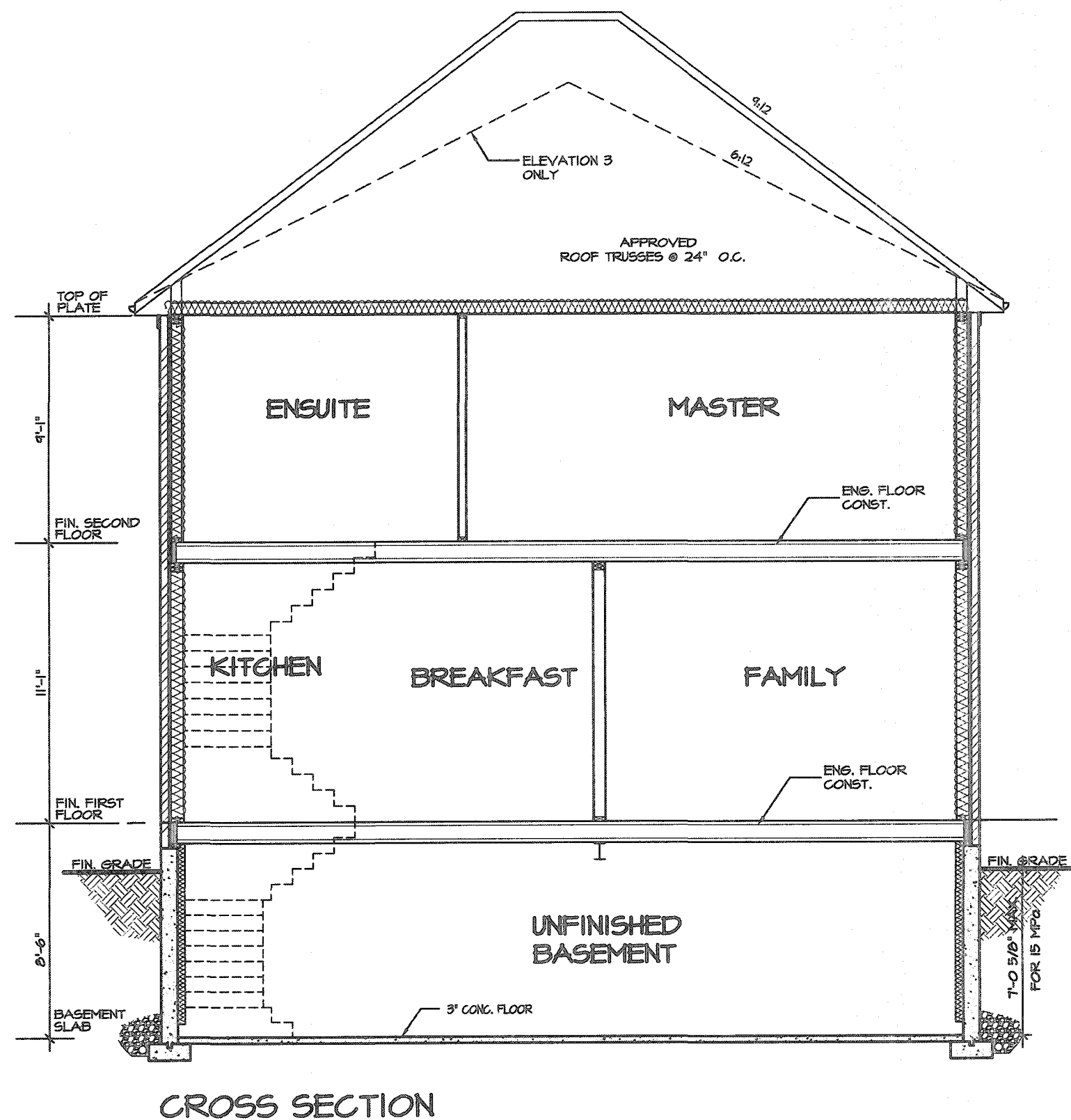
PAGE No.

7-3

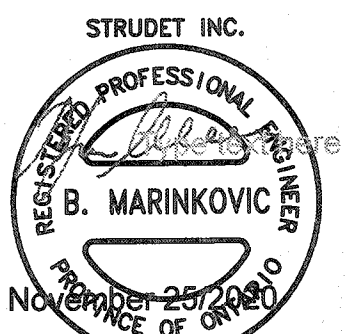
Greenpark.

PROJECT NAME
RUSSELL GARDENS III

November 6, 2020 3:55:50 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 3 ES LOT 308 10FT CEILING.DWG



CITY OF HAMILTON
Building Division
Permit No. **2** 107141
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 23 2021
FOR CHIEF BUILDING OFFICIAL DATE



FOR STRUCTURE ONLY
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

VALLEYCREEK 3-308 COMPLIANCE PACKAGE "A1"

<div> <div>5</div> <div>4</div> <div>3</div> <div>2</div> <div>1</div> </div> <div> <div>UPDATED FOR LOT 308</div> <div>ISSUED FINAL REFERENCE</div> <div>ISSUED FOR COORDINATION</div> </div> <div> <div>OCT 2020</div> <div>MAR 2020</div> <div>JAN 2020</div> </div>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME</p> <p>28770 BCIN</p> <p>SIGNATURE</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE CROSS SECTION ELEV. 1, 2 & 3</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE DEC 2019</p> <p>BY MB</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2772</p> <p>PAGE No. 8</p> <p>PROJECT 12-04-19</p>	<p>Greenpark</p> <p>PROJECT NAME RUSSELL GARDENS III</p>
---	---	--	----------------------------------	---	--	---