

3189 SF.

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)
LVL8 = 2-1 3/4"x14" (2-45x356)
LVL9 = 3-1 3/4"x14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0"-7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

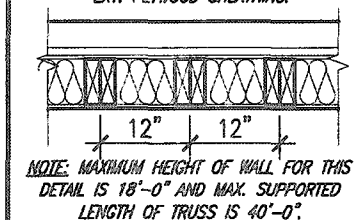
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

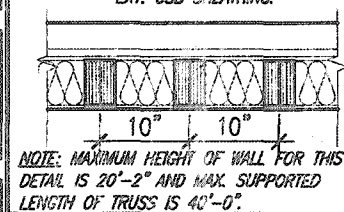
REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

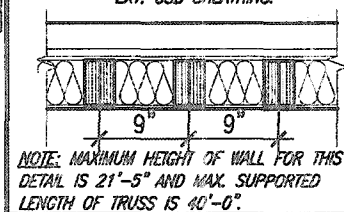
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL CLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL CLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 09 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB-12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

AREA CALCULATIONS ELEV '3' LOT 312

GROUND FLOOR AREA	1398 SF
SECOND FLOOR AREA	1792 SF
TOTAL FLOOR AREA	3190 SF (296.36 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	6 SF
ADD TOTAL OPEN AREAS	+6 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3196 SF (296.92 m2)
GROUND FLOOR COVERAGE	1405 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	59 SF
COVERAGE W/ PORCH	1857 SF (172.52 m2)
COVERAGE W/O PORCH	1798 SF (167.04 m2)

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
MOUNTAINASH 4, EL. 3 LOT 312			
FRONT	885.01 S.F.	179.83 S.F.	20.79 %
LEFT SIDE	1228.36 S.F.	80.00 S.F.	6.52 %
RIGHT SIDE	1225.05 S.F.	74.08 S.F.	6.05 %
REAR	793.71 S.F.	160.00 S.F.	20.16 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4110.13 S.F.	493.89 S.F.	12.02 %
TOTAL SQ. M.	381.84 S.M.	45.83 S.M.	12.02 %

CITY OF HAMILTON
Building Division

Permit No. **21-106977**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE **02/24/21**

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name **RUSSELL GARDENS PH. 3** municipality **HAMILTON, ON.**

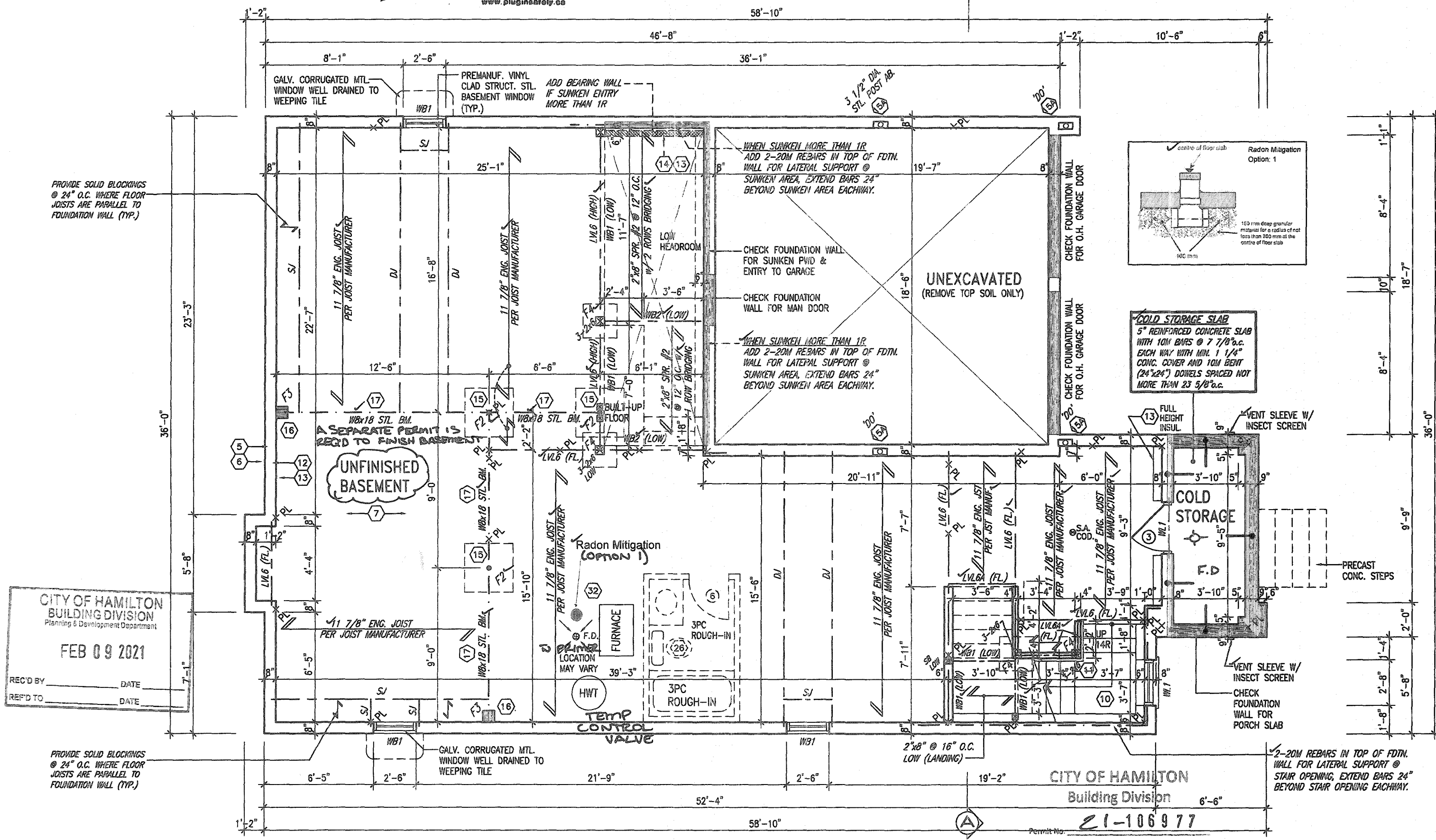
date **JAN. 2020** drawn by **N.HUR** scale **3/16" = 1'-0"** sheet no. **19014-MOUNTAINASH-04-312** drawing no. **A0**

All drawings, specifications, related documents and designs are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (373-7233)
PLUG IN SAFELY HIRE A LICENSED
ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.plugin safely.ca

3189 SF.



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 09 2021
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: JAN 25 2021
This stamp certifies compliance with the applicable Architectural Design Guidelines and any provisions in the subdivision agreement.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
OCT 23/2020
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

18			9		
17			8		
16			7		
15			6		
14			5	REAR UPGRADE REVISED PER A.C.	OCT 05/20 GW
13			4	CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20 DB
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no	description	date	by	no	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
BASEMENT PLAN - ELEV. 3
19014-MOUNTAINASH-04-312
1-8-2020
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-04-312
1-8-2020

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A1b

BASEMENT PLAN - ELEV. '3'

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE 02/24/21

Electrical Contractor
Registration Agency



of the
**Electrical
Safety
Authority**



**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY
ELECTRICAL SAFETY AUTHORITY
SUPERVISOR BEFORE
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY HIRE A LICENSED
FIND A CONTRACTOR AT
www.electrification.ca**

CANOPY FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. CLG. JST.
 W/ 2"x4" @ 12" O.C. P.T.
 DIAGONALLY CUT CROSS PURLINS
 W/ 5/8" EXTERIOR GRADE
 SHEATHING + SINGLE PLY ROOF
 MEMBRANE (SLOPE TO DRAIN)

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] 02/24/21

FOR CHIEF BUILDING OFFICIAL DATE 4

NOTE 1:
✓ FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 09 2021

REC'D BY _____ DATE _____

REF'D TO _____ DATE _____

MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY  _____
DATE JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines, only and bears no further
professional responsibility

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
23202
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

18			9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17			8				
16			7				qualification information
15			6				Richard Vink <i>R Vink</i> 2448
14			5	REAR UPGRADE REVISED PER A.C.	CCT 06/20	GW	name
13			4	CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20	DB	registration information
12			3	ISSUED FOR PERMIT.	MAR 31/20	GW	VAS Design Inc. 4265
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	Drawings are not to be copied.
no. description		date	by	no. description	date	by	

N	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	
N	Richard Vink	
N	name	
N	signature	
N	registration information	
N	V33 Design Inc.	
N	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All equipment and machinery are instruments of service and the responsibility of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 **Greenpark.**

Project name **RUSSELL GARDENS PH. 3** Location **HAMILTON,**

To **AM. 2020** Ground floor

Drawn by **MUR** checked by _____ scale **3/16" = 1'-0"**

© - 1990 Greenpark Corp. All rights reserved. No part of this publication may be reproduced without prior written permission from Greenpark Corp.

MOUNTAINASH 4
13.5m

project no.
19014

LAN - ELEV. 3
file name
MOUNTAINASH-04-312
2.4m - Tue - Oct 6 2009 - 6:51 PM

drawing no.
A2b

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER CBC, DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(f).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CB-NOTE-2020-2329

PLUMBING SUBJECT TO FIELD INSPECTION.
53'-4"

Permit No. 27-106977

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL _____ DATE _____

MOUNTAINASH 4
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON.	19014

SECOND FLOOR PLAN - ELEV. 3 drawing no.

19014-MOUNTAINASH-04-312 **A3b**

*This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.*

STRUDET INC.
FOR STRUCTURE ONLY

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
FOR MORE INFORMATION PLEASE CALL
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
PLUG IN SAFELY HIRE A LICENCED
ELECTRICAL CONTRACTOR**

FEB 09 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

18	.	.	.	9	.	.	.
17	.	.	.	8	.	.	.
16	.	.	.	7	.	.	.
15	.	.	.	6	.	.	.
14	.	.	.	5	REAR UPGRADE REVISED PER A.C.	OCT 03/20	GW
13	.	.	.	4	CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20	DE
12	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	GW
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description	dctg	by

The undersigned has reviewed and takes responsibility for this case and has the qualifications and meets the requirements set out in Article Bidding Data to be a Designer. qualification information Richard Vink name <i>R Vink</i> signature registration information VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the presence of the Designer which must be returned at the completion of the Drawings are not to be used.	

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name
RUSSELL GARDENS PH. 3

date JAN. 2020
 drawn by N.HUR checked by scale 3/16" = 1'-0"

SECOND FLOOR PLAN - ELEV. 3

19014-MOUNTAINASH-04-312

file name

drawing no. A3b

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 09 2021

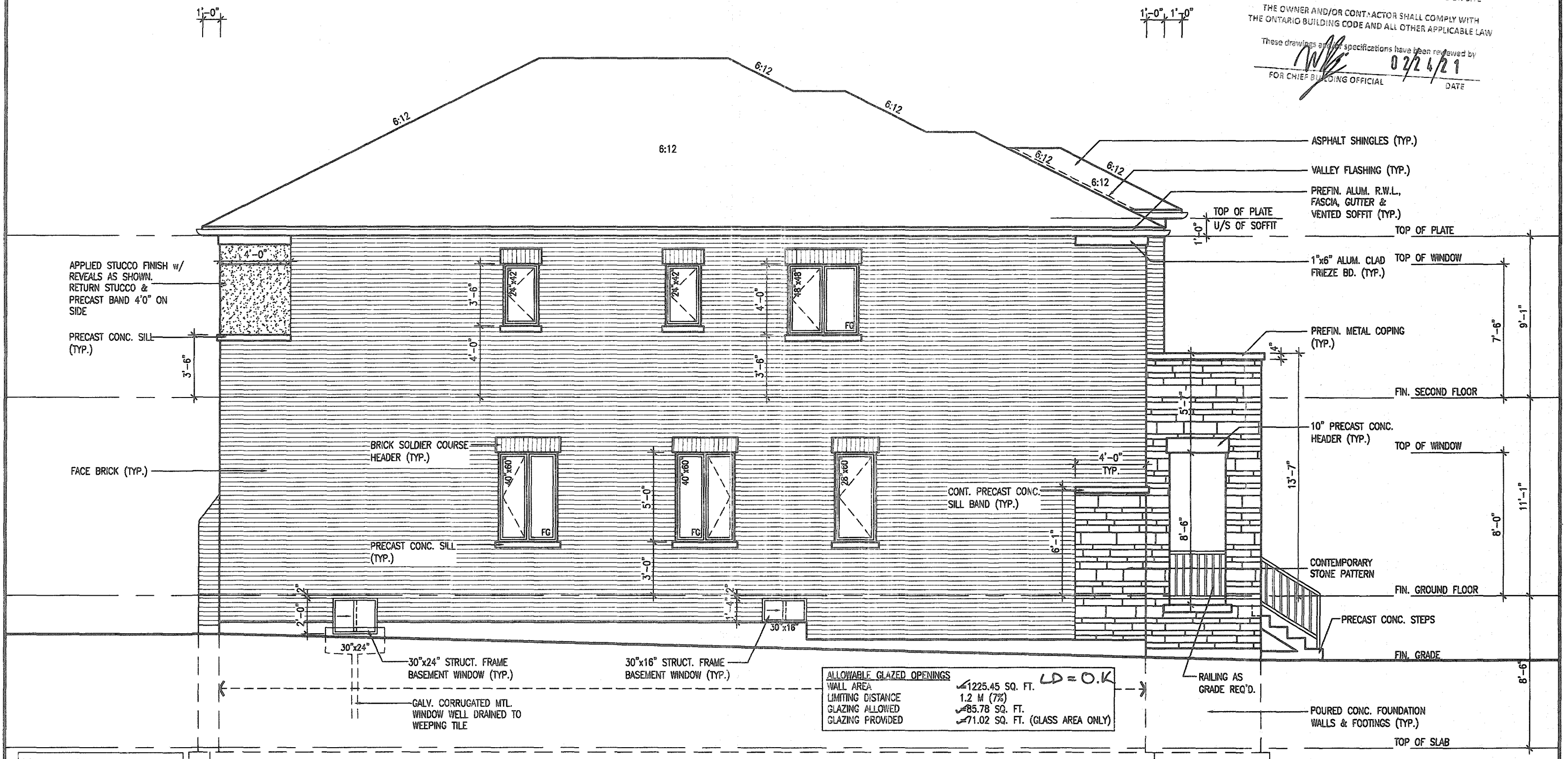
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 21-106977

These drawings and/or specifications have been reviewed by

WJG 02/24/21

FOR CHIEF BUILDING OFFICIAL DATE



MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 

DATE JAN 28 2021

This drawing certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

18	.	.	.	.	9	.	.	.
17	.	.	.	.	8	.	.	.
16	.	.	.	.	7	.	.	.
15	.	.	.	.	6	.	.	.
14	.	.	.	.	5	REAR UPGRADE REVISED PER A.C.	OCT 05/20	G
13	.	.	.	.	4	CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20	D
12	.	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	G
11	.	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	G
10	.	.	.	.	1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	G
no.	description		date	by	no.	description	date	revised by

W B W W W	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink <i>R Vink</i> 244 name signature V&3 Design Inc. 426 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of this work.
-----------------------	--

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



project name	project no.
RUSSELL GARDENS PH. 3	19014
city	county
HAMILTON, ON.	
date	drawing no.
JAN. 2020	
LEFT SIDE ELEVATION - ELEV. 3	
drawn by	checked by
M.HUR	
scale	file name
3/16" = 1'-0"	19014-MOUNTAINASH-04-312

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 09 2021

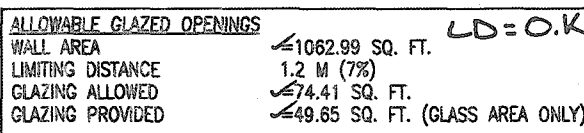
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

Permit No. 21-106977

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

02/24/21

$$1^{\circ}-0^{\circ}$$


JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE 12/28/2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

18		-	9			The undersigned has reviewed and takes responsibility for this design and uses the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	8			
16		-	7			qualification information
15		-	6			Richard Vink 2448B <i>R Vink</i> signature
14		5	REAR UPGRADE REVISED PER A.C.	OCT 05/20	GW	name BCIN
13		-	4 CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20	DB	registration information VA3 Design Inc. 4265B
12		-	3 ISSUED FOR PERMIT.	MAR 31/20	GW	
11		-	2 UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job. Drawings are not to be copied.
10		-	1 PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW	
no. description		date	by	no. description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

MOUNTAINASH 4
13.5m

project name: **RUSSELL GARDENS PH. 3** municipality: **HAMILTON, ON.** project no.: **19014**

dts: **JAN. 2020** RIGHT SIDE ELEVATION - ELEV. 3 drawing no.: **A6b**

drawn by: **N.HUR** checked by: [signature] scale: **3/16" = 1'-0"** title name: **19014-MOUNTAINASH-04-312**

sheet - R41602NEW04-02161-0804-01-01-SUBS-EV-MOUNTAINASH-CUSTOMERS-MOUNTAINASH-4-R41614-HDRMTNASH-04-312Aen - Iss - 04 2020 - 651 Pgs

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3189 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 09 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. **21-106977**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] **02/24/21**
FOR CHIEF BUILDING OFFICIAL DATE



UPGRADED REAR ELEVATION - ELEV. '3'

MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE **JAN 28, 2021**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information <i>Richard Vink</i> 24488 signature BCIN name registration information VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
17			8				
16			7				
15			6				
14			5				
13			4				
12			3				
11			2				
10			1				
no.	description	date	by	no.	description	date	by

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

drawn by
N.HUR

checked by
3/16" = 1'-0"

scale

date
JAN. 2020

drawing no.
A7b

MOUNTAINASH 4
13.5m

project no.
19014

city
HAMILTON, ON.

rear elevation - elev. 3

19014-MOUNTAINASH-04-312

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3189 SF.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

FEB 09 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

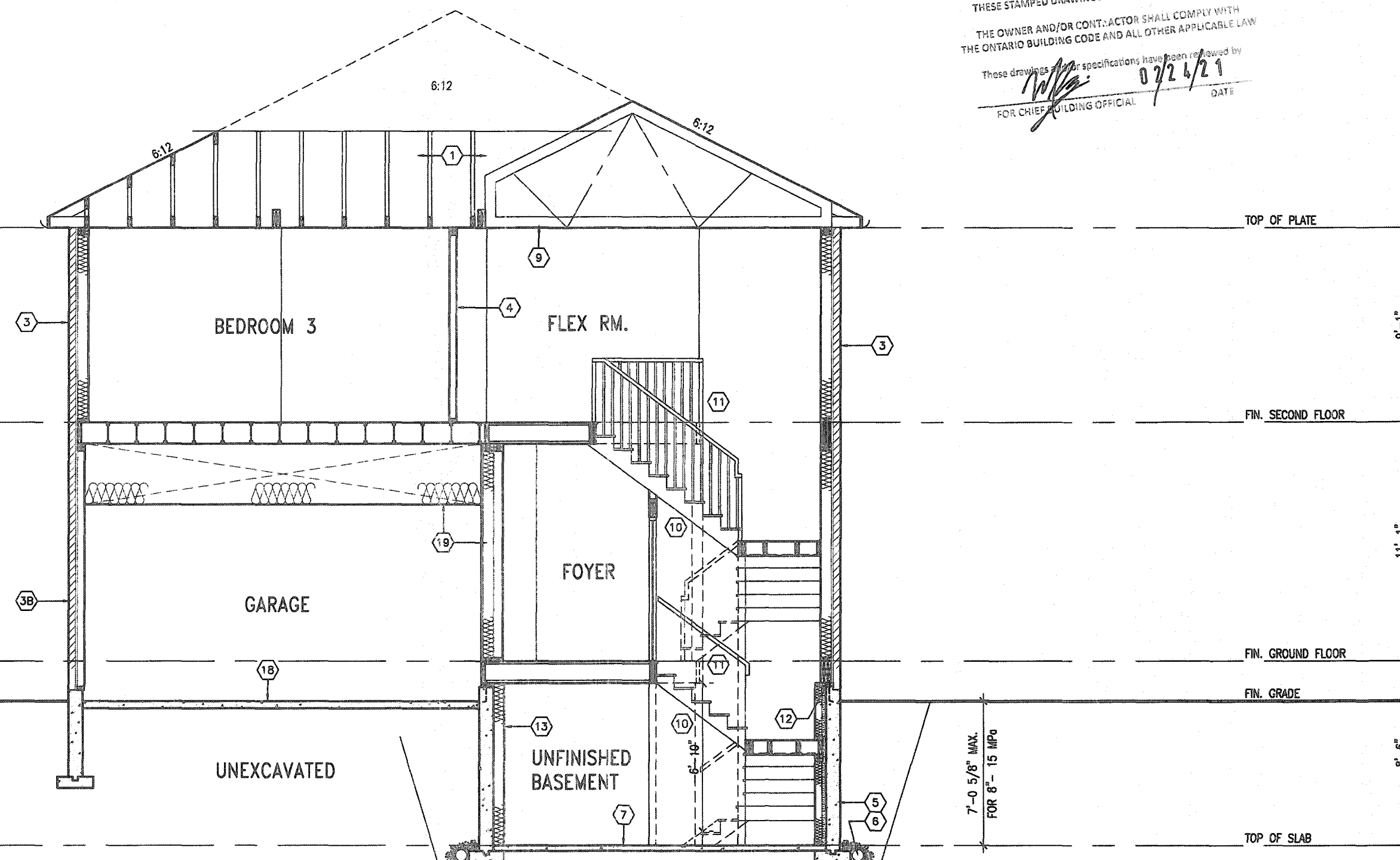
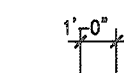
CITY OF HAMILTON
Building Division

Permit No. **21-106977**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] **02/24/21** DATE
FOR CHIEF BUILDING OFFICIAL



CROSS SECTION A-A - ELEV. '3'

MOUNTAINASH 4-312
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR UPGRADE REVISED PER A.C.	OCT 05/20	GW
13				4	CUSTOM DWG FOR PURCHASER REQUEST.	SEP 01/20	DB
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW
no.	description	date	by	no.	description	date	by

This undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
signature
V3 Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be sized.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
v3design.com

Greenpark.

project name **RUSSELL GARDENS PH. 3** municipality **HAMILTON, ON.**

date **JAN. 2020** drawn by **N.HUR** checked by **3/16" = 1'-0"**

CROSS SECTION A-A - ELEV. 3

19014-MOUNTAINASH-04-312

drawing no. **A8b**