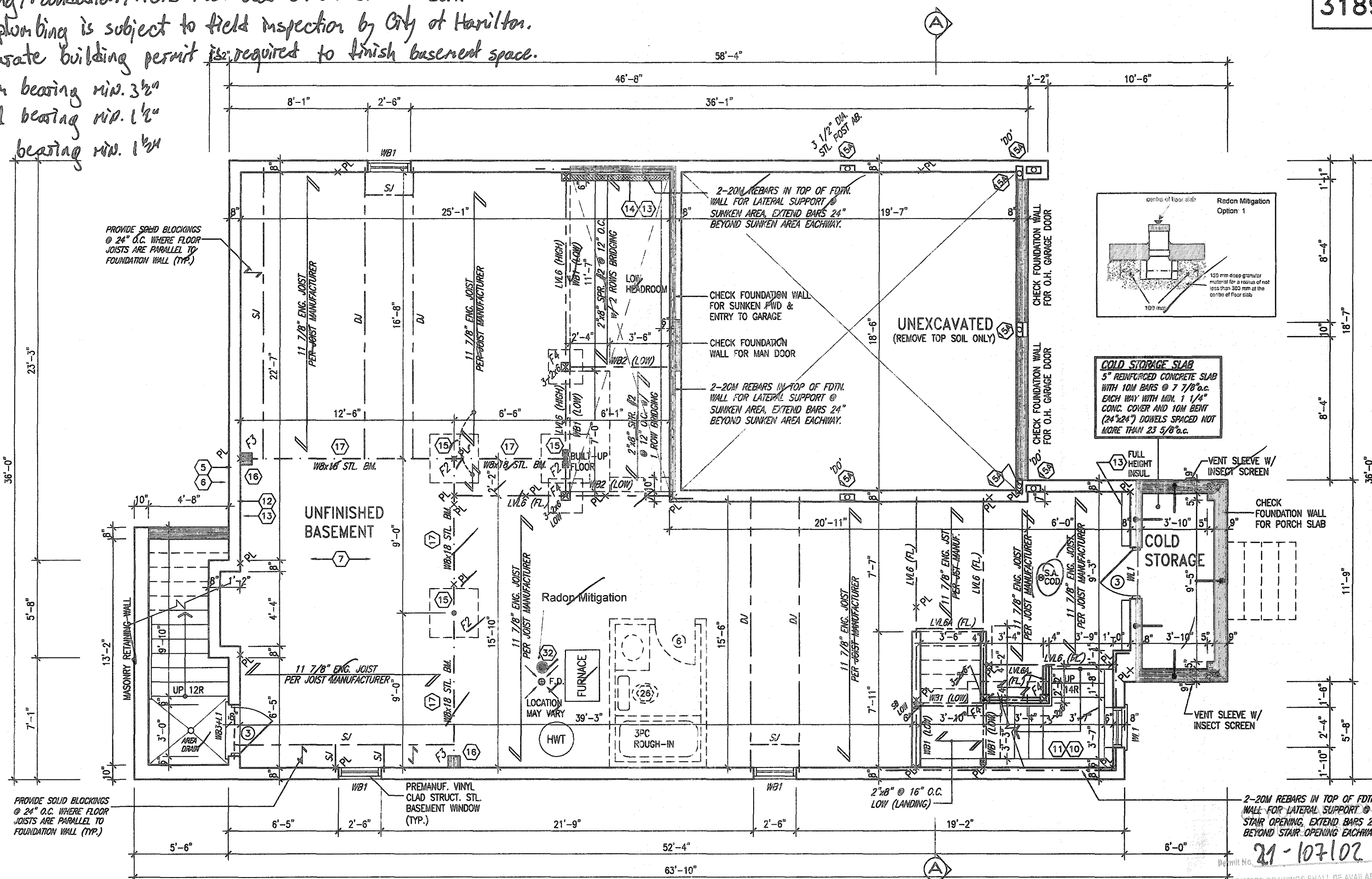


Note:

- Footing/Foundation/Piers must bear on undisturbed soil.
- All plumbing is subject to field inspection by City of Hamilton.
- Separate building permit is required to finish basement space.
- Beam bearing min. 3 1/2"
- Lintel bearing min. 1 1/2"
- Joist bearing min. 1 1/4"

3189 SF.



BASEMENT PLAN - ELEV. '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 26, 2021

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
OCT 20 2020
PROVINCE OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" O.C. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP.) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

18			9		
17			8		
16			7		
15			6		
14			5	REAR UPGRADE REVISED PER A.C.	OCT 05/20 GW
13			4	CUSTOM DRAWINGS PER PURCHASER REQUEST	SEP 24/20 GW
12			3	ISSUED FOR PERMIT	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 19/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
V3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be reused.

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
v3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
city
HAMILTON, ON.
date
JAN. 2020
drawn by
N.HUR
checked by
3/16" = 1'-0"

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A1a
BASEMENT PLAN - ELEV. 2
18014-MOUNTAINASH-4-321
JAN 26 2021

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
KIT-EX-NOTE-2020.GWS

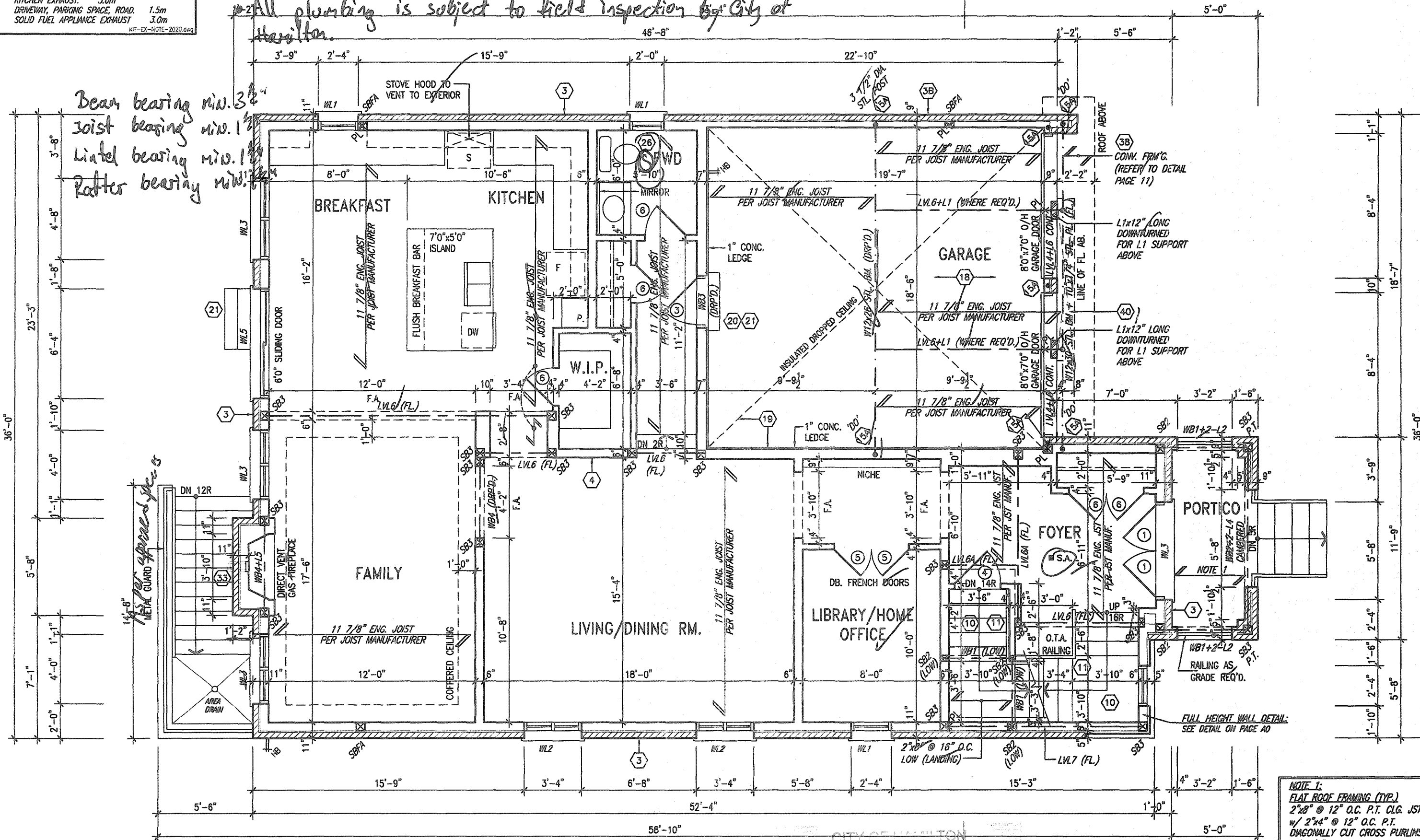
3189 SF.

Note:

• Gas fireplace must be CSA/ULB/CCMC approved and be installed in accordance to local Utilization code.

• All plumbing is subject to field inspection by City of Hamilton.

Beam bearing min. 3"
Joist bearing min. 1"
Lintel bearing min. 1"
Rafter bearing min. 1"



GROUND FLOOR PLAN - ELEV. '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 26, 2021
This certifies compliance with the applicable Design Guidelines and all applicable regulations and requirements.



no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR UPGRADE REVISED PER A.C.	CCT 05/20	GW
13				4	CUSTOM DRAWINGS PER PURCHASER REQUEST	SEP 24/20	GW
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW

The undersigned hereby certifies that he/she is a duly qualified and licensed professional engineer and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCIN
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 4
13.5m
project name: RUSSELL GARDENS PH. 3
city: HAMILTON, ON.
project no.: 19014
date: JAN. 2020
checked by: [Signature]
3/16" = 1'-0"
19014-MOUNTAINASH-4-321
drawing no.: A2a

CITY OF HAMILTON
Building Division
Permit No. 21-107102
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 26 2021
DATE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER CBC, DIV. 9-5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(g). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. CB-NOTE -2020.dwg

CITY OF HAMILTON
Building Division

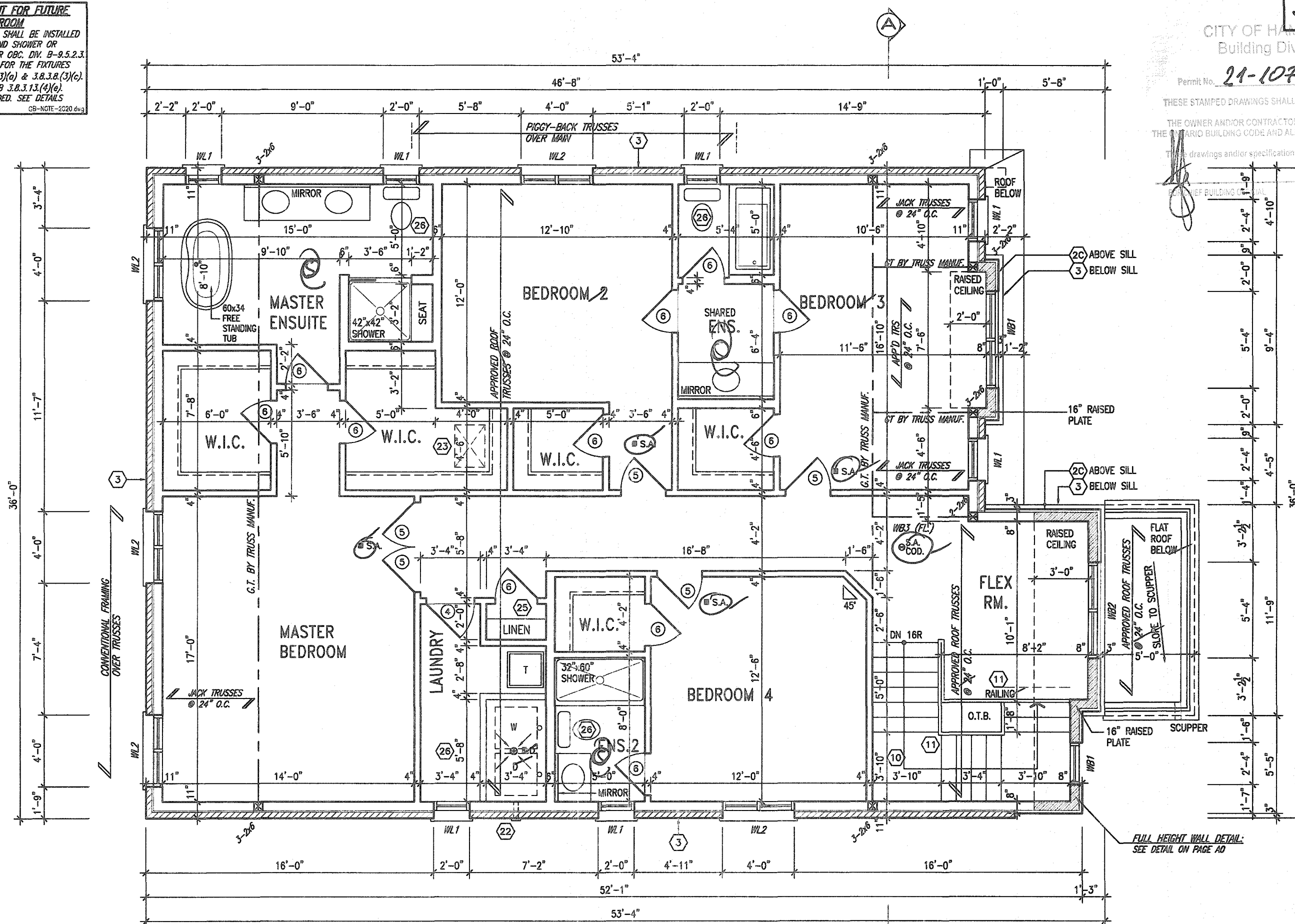
Permit No. 21-107102

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FEB 26 2021
DATE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: JAN 26 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

18		-	-	9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		-	-	8			
16		-	-	7			qualification information
15		-	-	6			Richard Vink  signature
14		-	-	5	REAR UPGRADE REVISED PER A.C.	OCT 03/20 GW	2448
13		-	-	4	CUSTOM DRAWINGS PER PURCHASER REQUEST	SEP 24/20 GW	80
12		-	-	3	ISSUED FOR PERMIT.	MAR 31/20 GW	4265
11		-	-	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW	
10		-	-	1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW	
no.	description	date	by	no.	description	date	by

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qualification information

Richard Vink 24

name signature

registration information

VAS Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

MOUNTAINASH 4-321
COMPLIANCE PACKAGE 'A1'

Greenpark.

MOUNTAINASH 4
13.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ON.	1901
date JAN. 2020	SECOND FLOOR PLAN - ELEV. 2	
drawing by M.HUR	checked by scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-4-321
CREF - ILMEDIA\WORK\2294\19014-CREATION\GARDENS\PHASE 3\2017\19014-MOUNTAINASH-4-321.dwg - TUE - OCT 6 2020 - 651 PM		A3a

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3189 SF.

CITY OF HAMILTON
Building Division

Permit No. 21-107102

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by

FEB 26 2021

THE CHIEF FUNDING OFFICIAL

DATE _____

Note:

- Approved CSA/CMC stucco system must be on-site prior installation.
- Provide roof natural ventilation for every 1/300 sq. ft of the roof attic space.

— PROVIDE ADDITIONAL
ICE AND WATER
SHIELD

ROOF PLAN - ELEV. '2'



INSIDE PORTICO
ELEVATION '2'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
CASH ADDENDUM -

APPROVED BY: [Signature]
DATE: Jan 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

FRONT ELEVATION - ELEV. '2'

18	.	.	.	9	.	.	.
17	.	.	.	8	.	.	.
16	.	.	.	7	.	.	.
15	.	.	.	6	.	.	.
14	.	.	.	5	REAR UPGRADE REVISED PER A.C.	OCT 05/20	G
13	.	.	.	4	CUSTOM DRAWINGS PER PURCHASER REQUEST	SEP 24/20	G
12	.	.	.	3	ISSUED FOR PERMIT.	MAR 31/20	G
11	.	.	.	2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20	G
10	.	.	.	1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	G
no.	description		date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Order Building Code to be a Designer. qualification information		24
Richard Wink name signature		24
registration information VA3 Design Inc.		42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be used.		

VA3 DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ON
--------------	-----------------------	--------------	--------------

0	date	JAN. 2020
32	drawn by	N.HUR
	checked by	
	scale	3/16" = 1'-0"

MOUNTAINASH 4
13.5m

FRONT ELEVATION - ELEV. 2

විපක්ෂීය බව.

A4a

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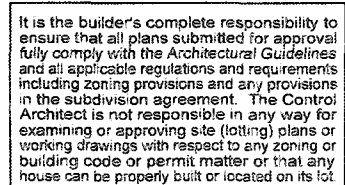
CITY OF HAMILTON
Building Division

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These drawings and/or specifications have been reviewed by

~~FEB 26 2021~~
DATE



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

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MOUNTAINASH 4-321
COMPLIANCE PACKAGE 'A1'

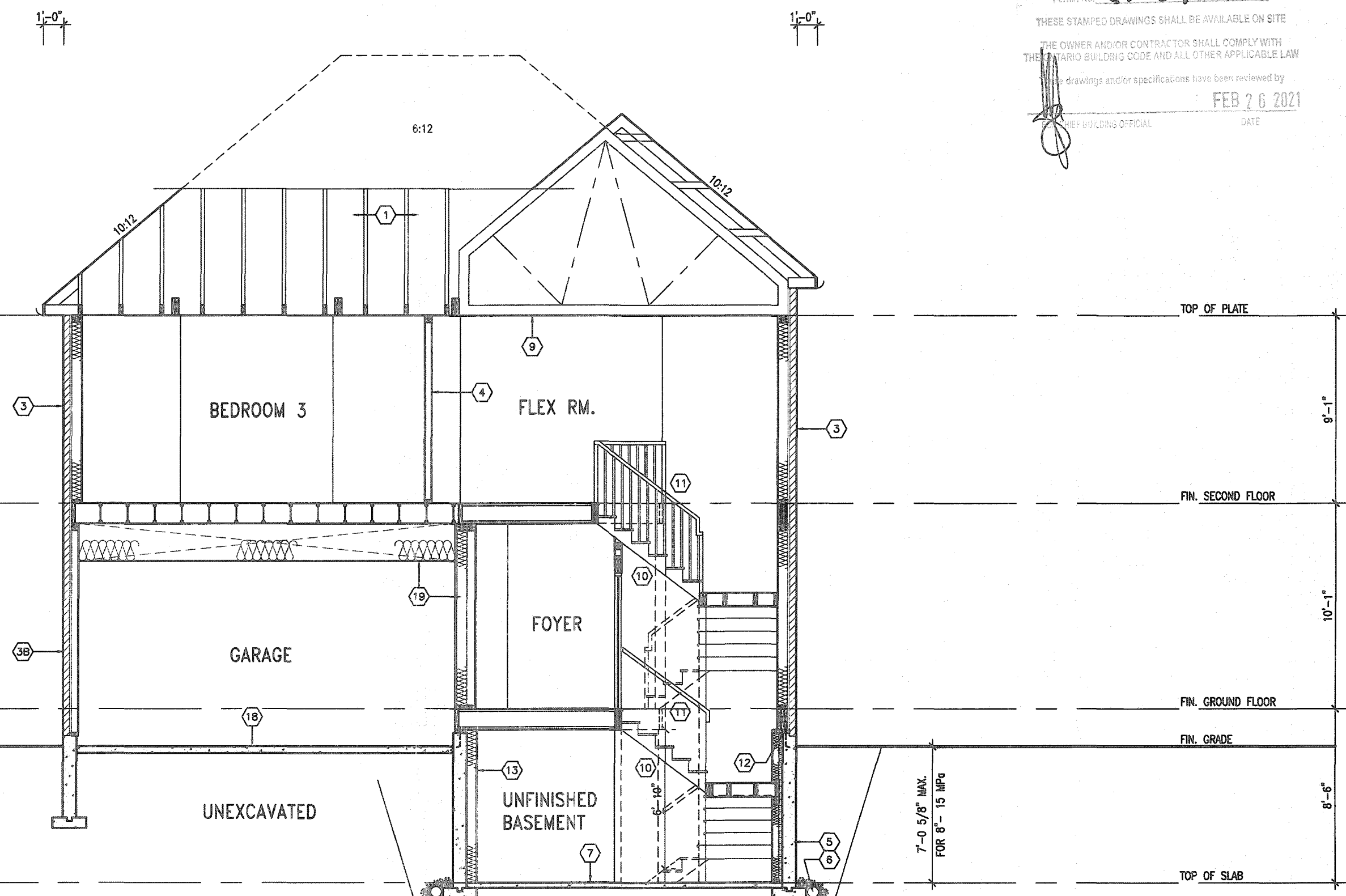
[illegible]

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3189 SF.

CITY OF HAMILTON
Building Division
Permit No. **21-107102**
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The drawings and/or specifications have been reviewed by
FEB 26 2021
CHIEF BUILDING OFFICIAL DATE



CROSS SECTION A-A - ELEV. '2'

MOUNTAINASH 4-321
COMPLIANCE PACKAGE 'A1'

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FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR UPGRADE REVISED PER A.C.	OCT 05/20	GW
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qualification information
Richard Vink
signature
24488
BCO
some registration information
VA3 Design Inc.
42658
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va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JAN. 2020
drawn by
N.MUR
checked by
scale
3/16" = 1'-0"
drawing no.
A8a

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A8a