

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FTDN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-10" (815x2381) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

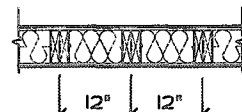
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

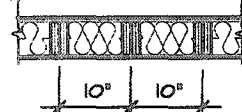
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 10'-0"

TWO STORY HEIGHT WALL DETAIL

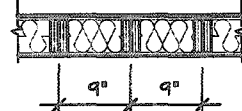
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @9" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COULMN
= 35 kNm

VALLEYCREEK 2		ELV. 2			
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	121.52	61.54	92.62	8.60	12.73 %
LEFT SIDE	1144.28	106.31	69.68	6.47	6.04 %
RIGHT SIDE	1142.41	106.13	15.17	1.41	1.33 %
REAR	856.98	79.62	143.17	13.30	16.71 %
TOTAL	3871.19	359.65	320.64	29.79	8.28 %

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1158	Sq. Ft.
SECOND FLOOR AREA	=	1454	Sq. Ft.
TOTAL FLOOR AREA	=	2612	Sq. Ft.
	=	242.66	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2624	Sq. Ft.
	=	243.78	Sq. M.
GROUND FLOOR COVERAGE	=	1158	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	70	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1626	Sq. Ft.
	=	151.06	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1556	Sq. Ft.
	=	144.56	Sq. m.

CITY OF HAMILTON
Building Division
Permit No. 21-157139
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL

STRUDEY INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 25/2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
HAMILTON

VALLYCREEK 2-324

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 326	NOV 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	FEB 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 738-4095
F (905) 660-0746

REGION
DESIGN
INC.

GENERAL NOTES
& CHARTS

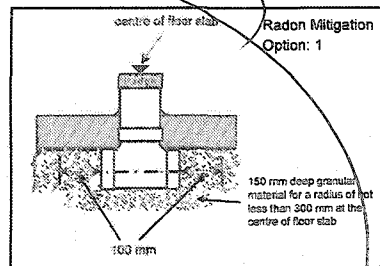
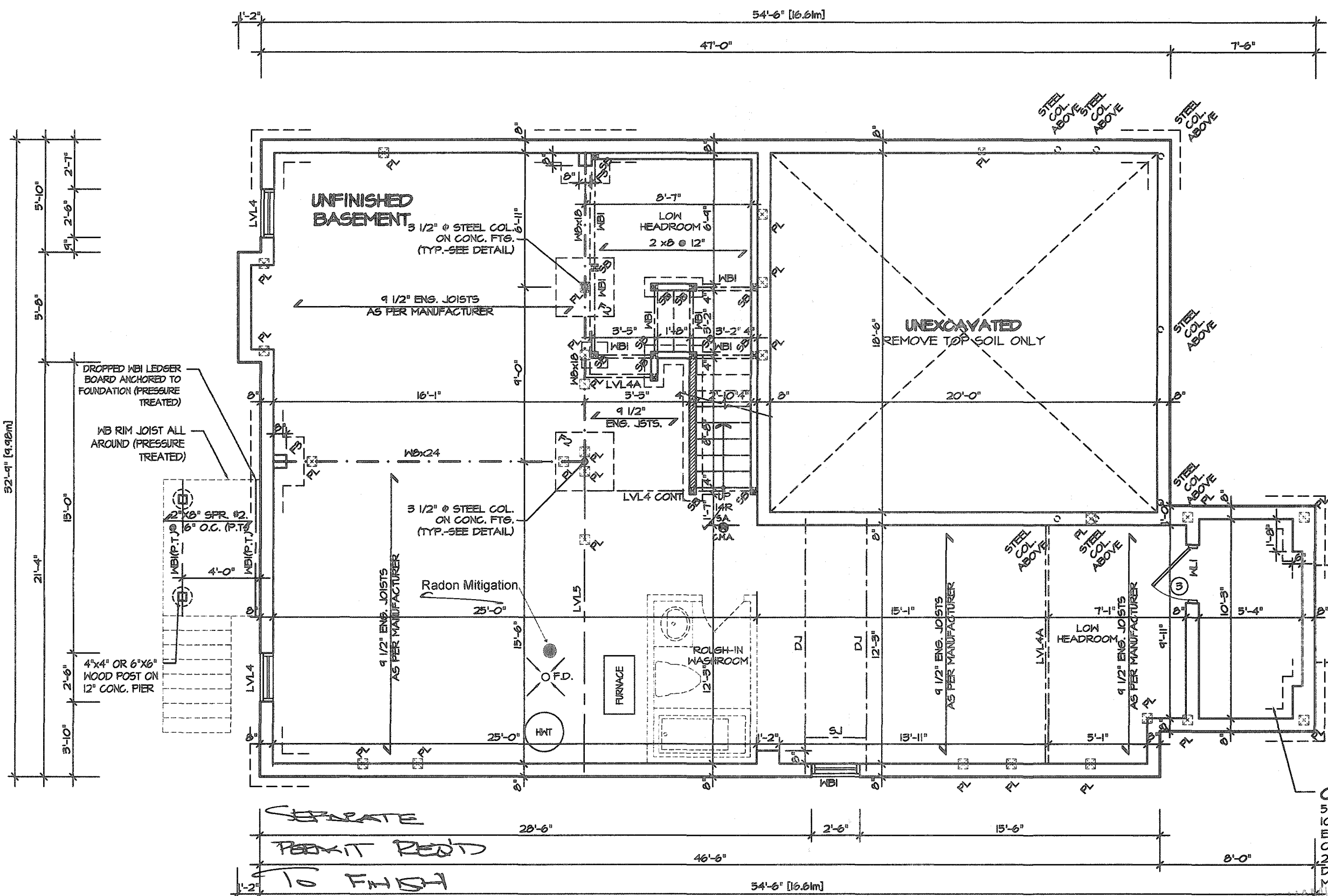
SCALE BY VG
DATE DEC 2019 AREA 2602

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

PAGE No.
0

Greenpark

PROJECT NAME
RUSSELL GARDENS III



BASEMENT PLAN 2

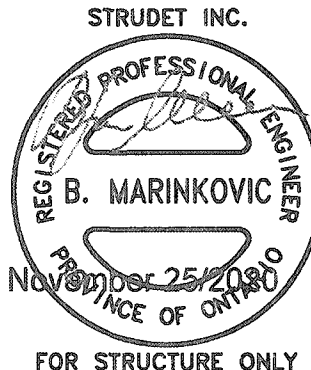
COLD CELLAR
5" R.F. CONC. SLAB WITH
10M BARS @ 7 1/8" O.C.
EACH WAY WITH MIN 1 1/4"
CONCRETE COVER AND
24"x24" 10M BENT
DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

CITY OF HAMILTON
Building Division

Permit No. **2-107137**

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature]
FOR CHIEF BUILDING OFFICIAL
DATE **MAR 18/21**



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY *[Signature]*
DATE **JAN 28, 2021**
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

VALLYCREEK 2-324

COMPLIANCE PACKAGE "A1"

5		
4		
3	UPDATED FOR LOT 326	NOV 2020
2	ISSUED FINAL REFERENCE	MAR 2020
1	ISSUED FOR COORDINATION	FEB 2020
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME *[Signature]* 28770
SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
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REGION DESIGN INC.

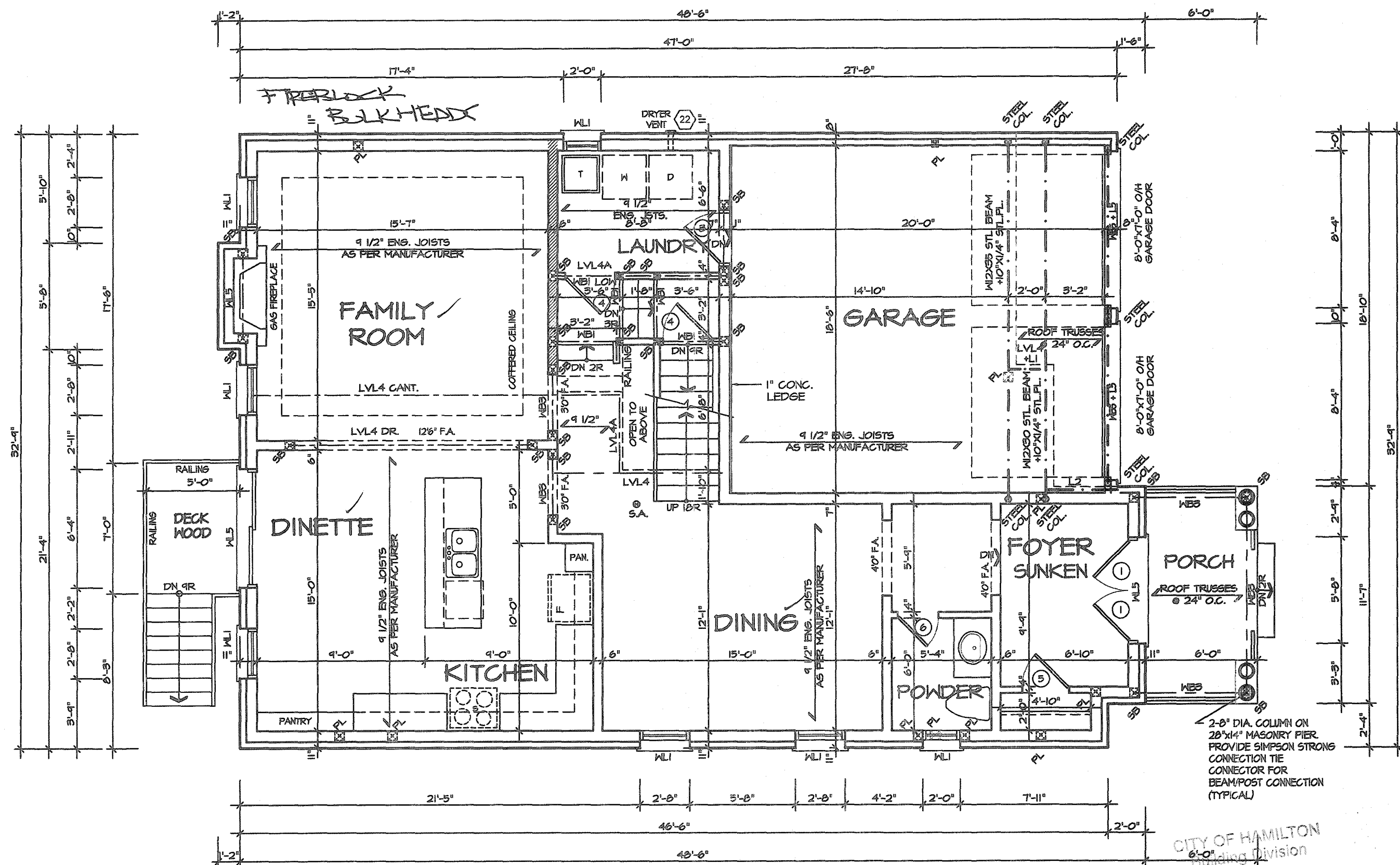
SHEET TITLE BASEMENT PLAN 2	
SCALE 3/16"=1'-0"	BY VG
DATE DEC 2019	AREA 2602

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PAGE No.
1-2

Greenpark.

PROJECT NAME
RUSSELL GARDENS III



FIRST FLOOR PLAN 2

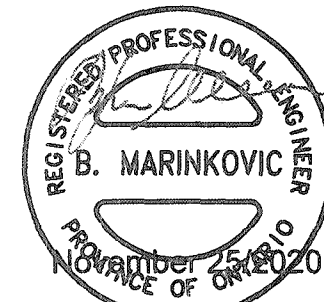
CITY OF HAMILTON
Building Division

21-157137

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by

DATE 1/21
FOR CHIEF BUILDING OFFICIAL

STRUDET INC.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE JAN 28 2021
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VALLYCREEK 2-324

COMPLIANCE PACKAGE "A1"

REVISIONS	
5.	
4.	
3.	UPDATED FOR LOT 328 NOV 2020
2.	ISSUED FINAL REFERENCE MAR 2020
1.	ISSUED FOR COORDINATION FEB 2020

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REGION
DESIGN
INC.

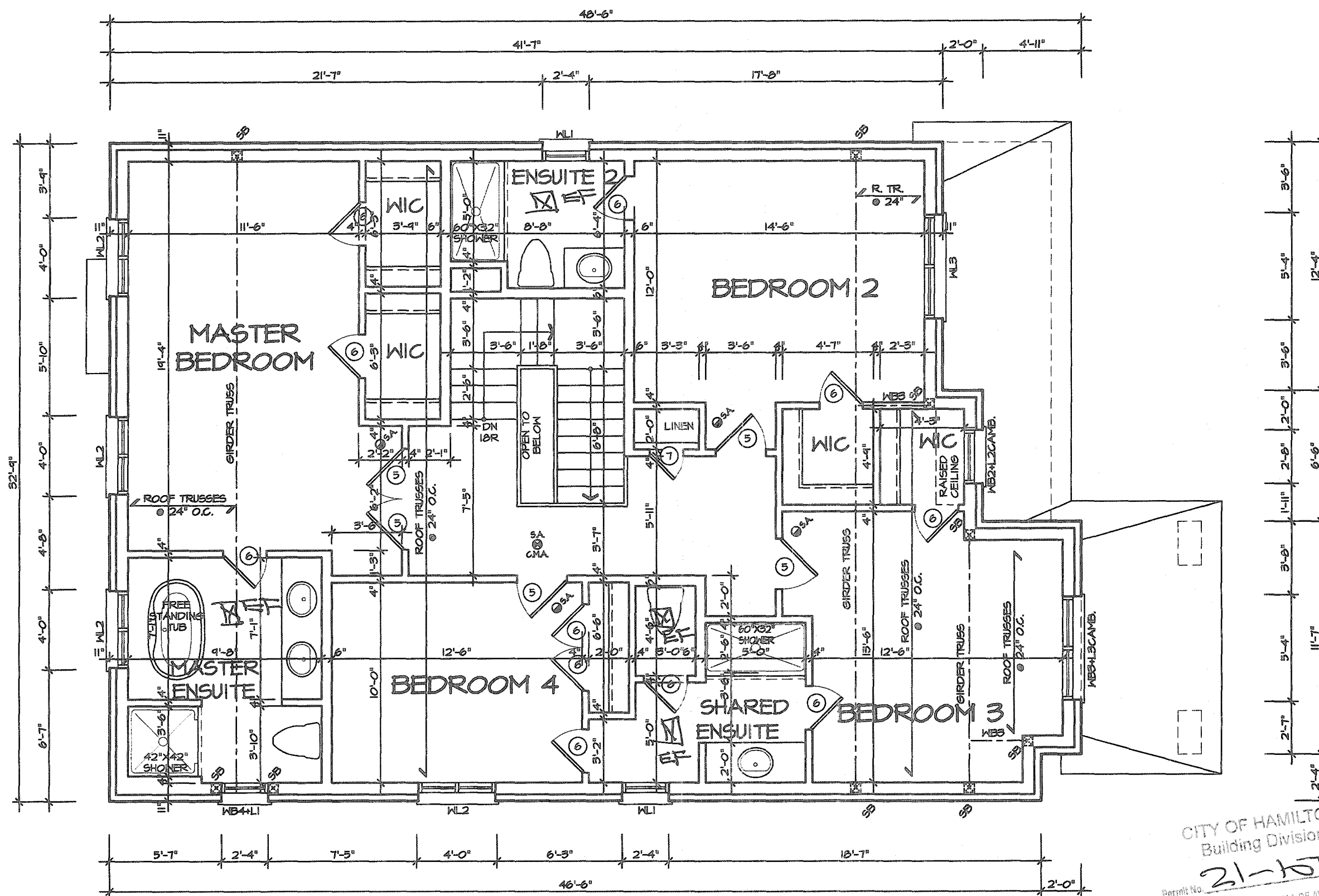
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FIRST FLOOR PLAN 2	
SCALE 3/16"=1'-0"	BY VG
DATE DEC 2019	AREA 2602

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PAGE No. 2-2

PROJECT NAME
RUSSELL GARDENS III





SECOND FLOOR PLAN 2

CITY OF HAMILTON
Building Division

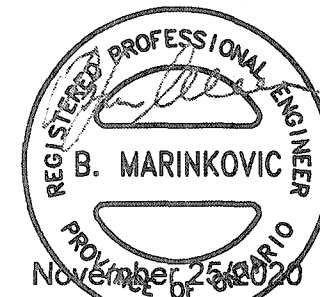
Permit No. **21-107137**

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These drawings and/or specifications have been reviewed by
[Signature] DATE **1/21**

FOR CHIEF BUILDING OFFICIAL

STRUDET INC.



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY *[Signature]*
DATE **JAN 28, 2021**

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VALLYCREEK 2-324

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	UPDATED FOR LOT 326	NOV 2020
2.	ISSUED FINAL REFERENCE	MAR 2020
1.	ISSUED FOR COORDINATION	FEB 2020
REVISIONS		

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**REGION
DESIGN
INC.**

SHEET TITLE
**SECOND
FLOOR PLAN 2**

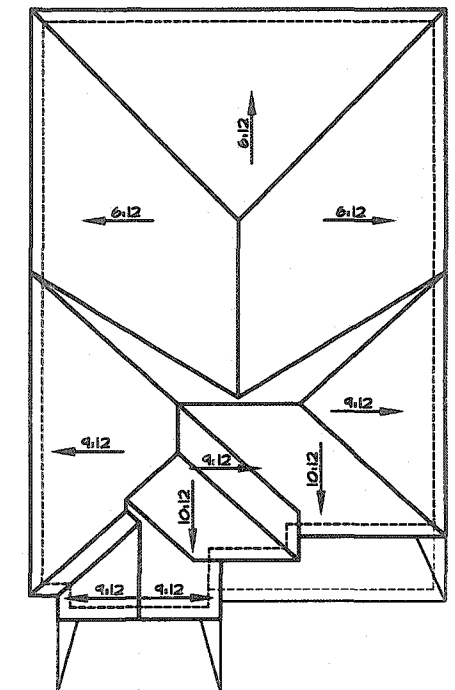
SCALE **3/16"=1'-0"**
DATE **DEC 2019**
BY **VG**
AREA **2602**

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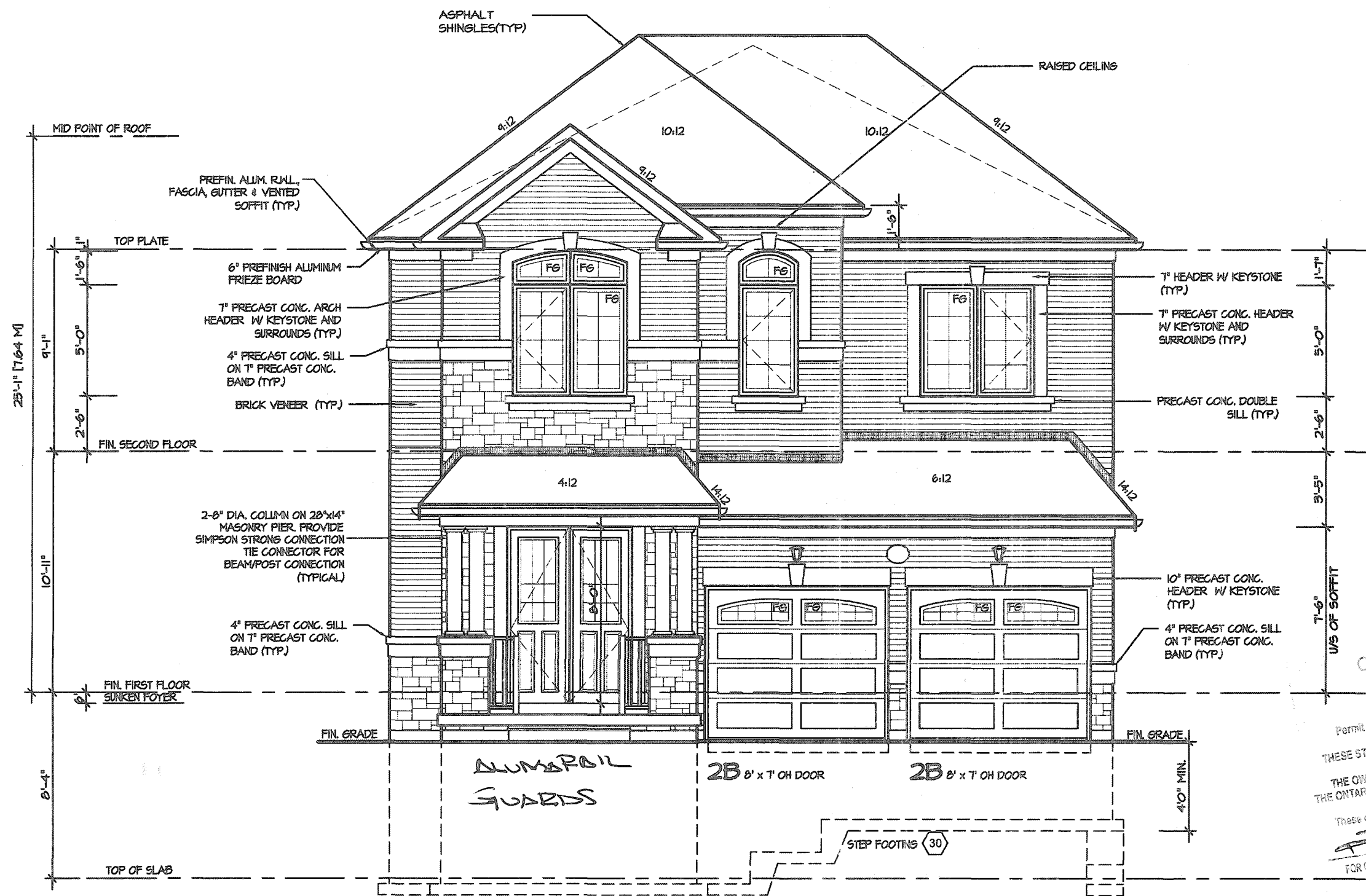
PAGE No.
3-2

Greenpark

PROJECT NAME
RUSSELL GARDENS III



ROOF PLAN 2
Scale: 1/16"=1'-0"



FRONT ELEVATION 2

CITY OF HAMILTON
Building Division
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DATE MAR 1/21

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
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VALLYCREEK 2-324

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REGION
DESIGN
INC.

SHEET TITLE FRONT ELEVATION 2	
SCALE 3/16"=1'-0"	BY VG
DATE DEC 2019	AREA 2602

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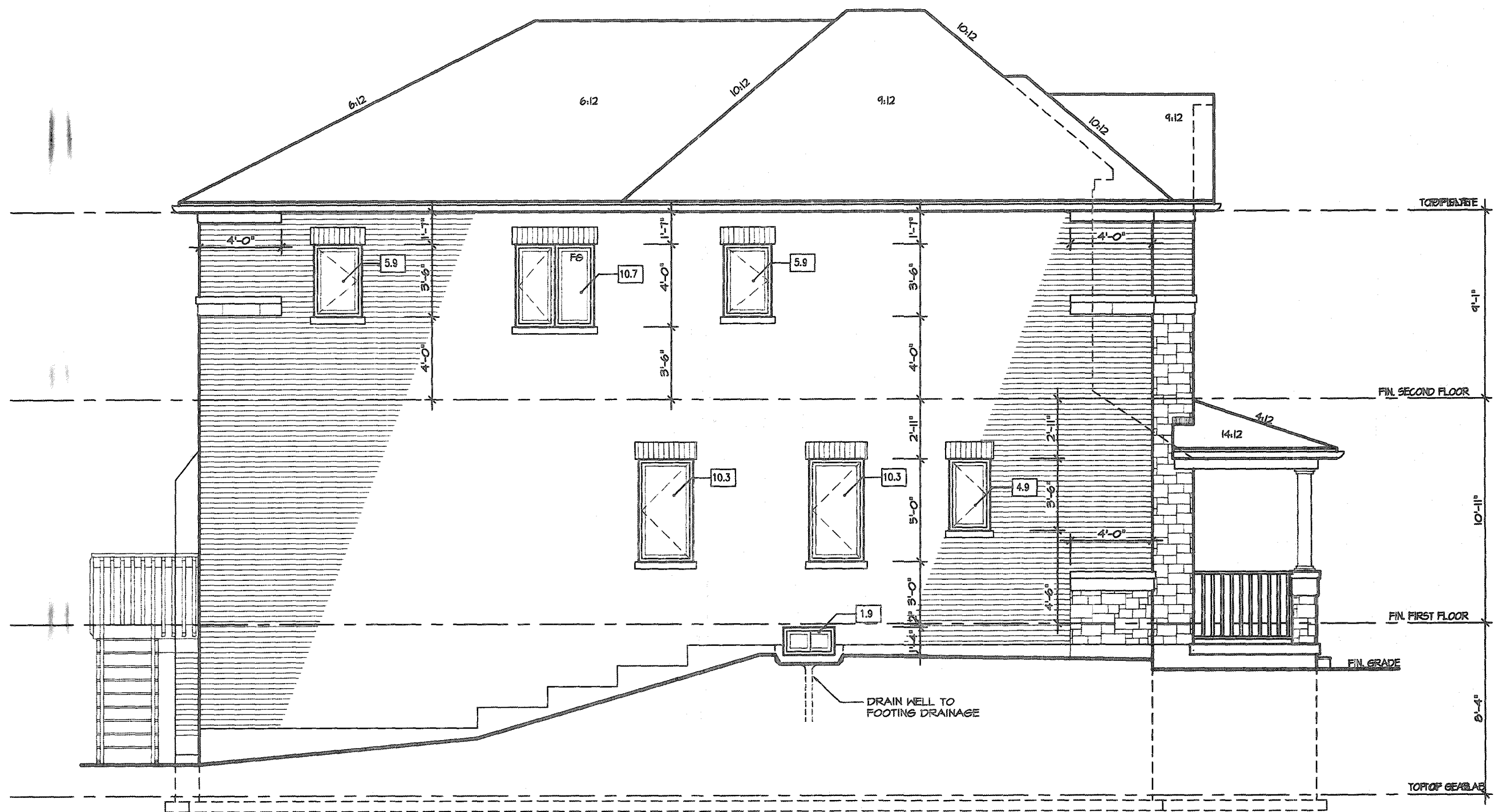
PAGE No.

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Greenpark.

PROJECT NAME

RUSSELL GARDENS III



ALLOWABLE GLAZING

WALL AREA

WALL AREA		1026.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)		71.82
ACTUAL WINDOW AREA		44.90

OK

LEFT ELEVATION 2

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FOR CHIEF BUILDING OFFICIAL
DATE 1/21

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility

VALLYCREEK 2-324

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	UPDATED FOR LOT 326	NOV 2020
2.	ISSUED FINAL REFERENCE	MAR 2020
1.	ISSUED FOR COORDINATION	FEB 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 680-0748

REGION
DESIGN
INC.

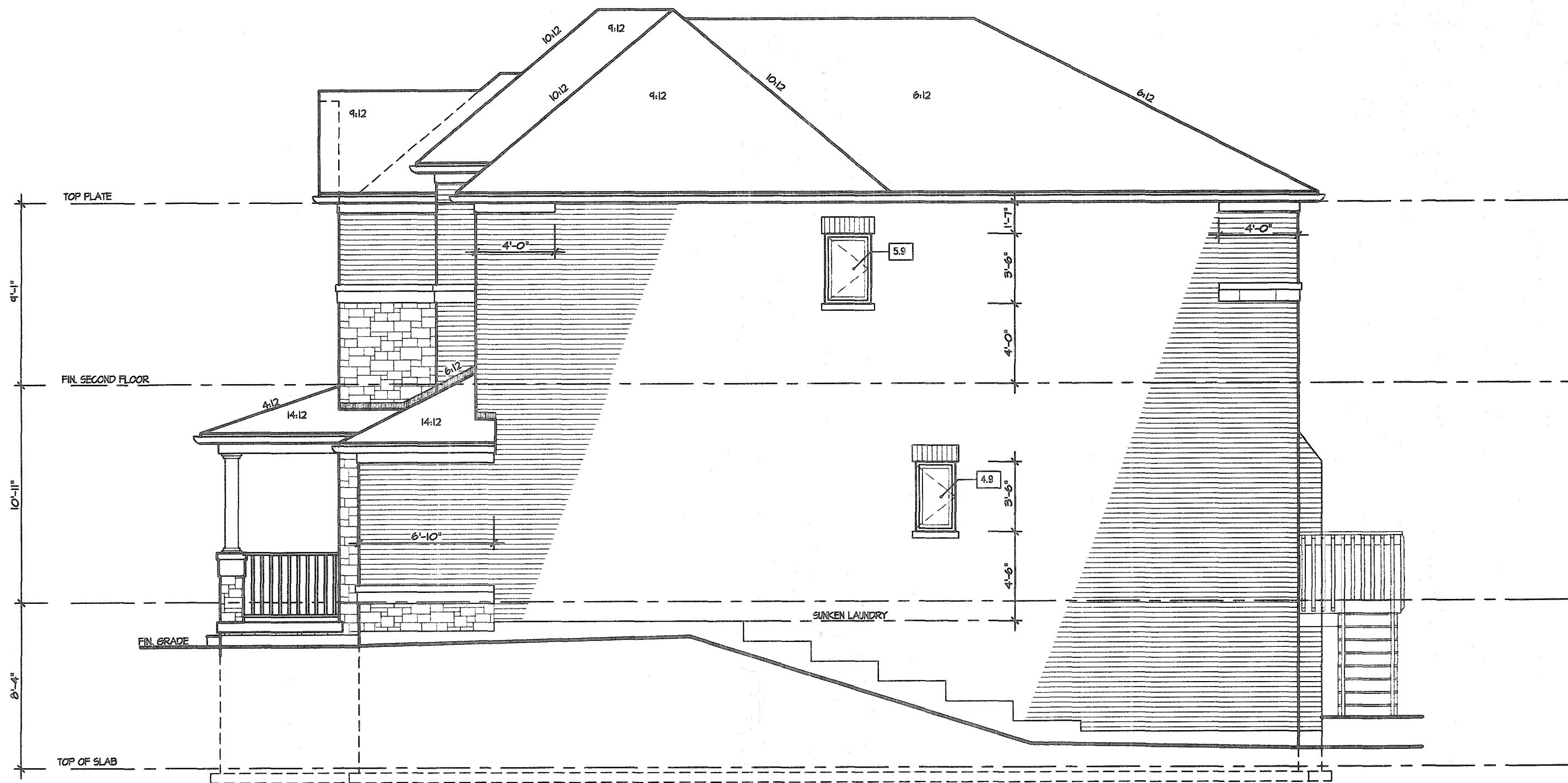
SHEET TITLE LEFT SIDE ELEVATION 2	
SCALE 3/16"=1'-0"	BY VG
DATE DEC 2019	AREA 2602

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No.
5-2

Greenpark

PROJECT NAME
RUSSELL GARDENS III



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD)

ACTUAL WINDOW AREA

1026.00

71.82

10.80

OK

CITY OF HAMILTON
Building Division

Permit No. 21-167137

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL

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VALLYCREEK 2-324

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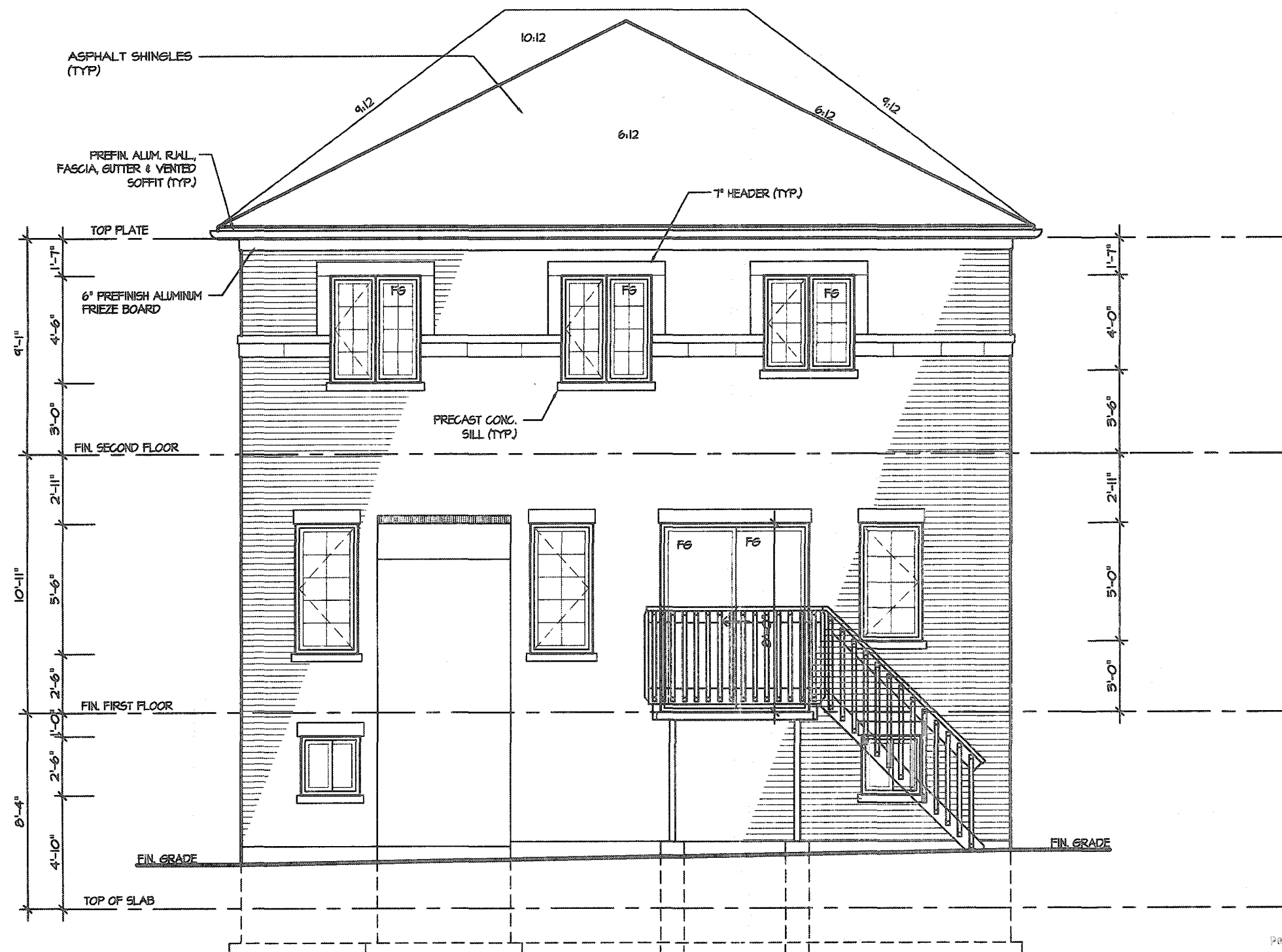
REGION DESIGN INC.
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L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE RIGHT SIDE ELEVATION 2	
SCALE 3/16"=1'-0"	BY VG
DATE DEC 2019	AREA 2602

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PAGE No. 6-2	

Greenpark.
PROJECT NAME
RUSSELL GARDENS III



UPGRADE REAR ELEVATION 2 - 326

CITY OF HAMILTON
Building Division
21-107139
Permit No.
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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DATE: JAN 28 2021
FOR CHIEF BUILDING OFFICIAL

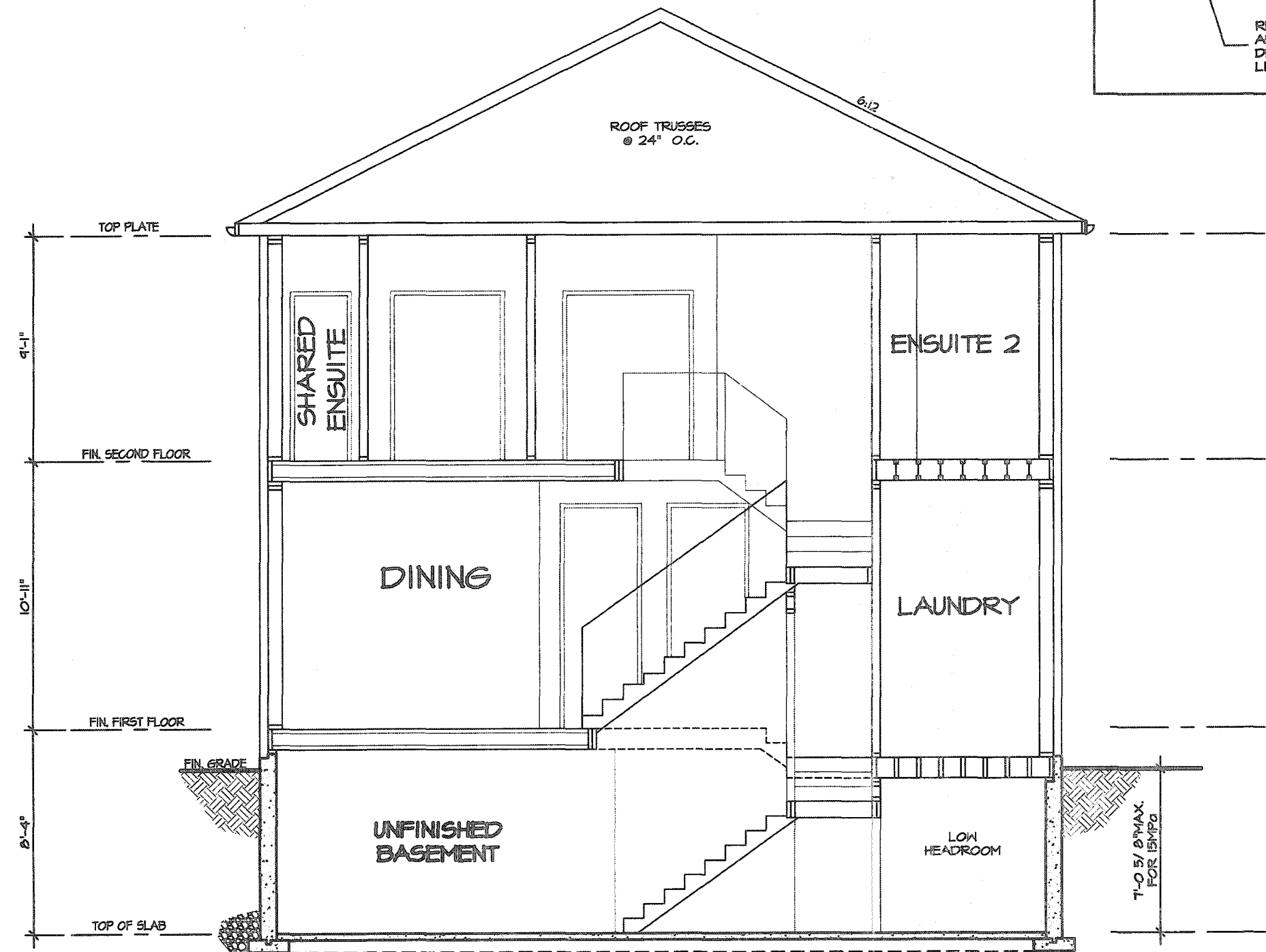
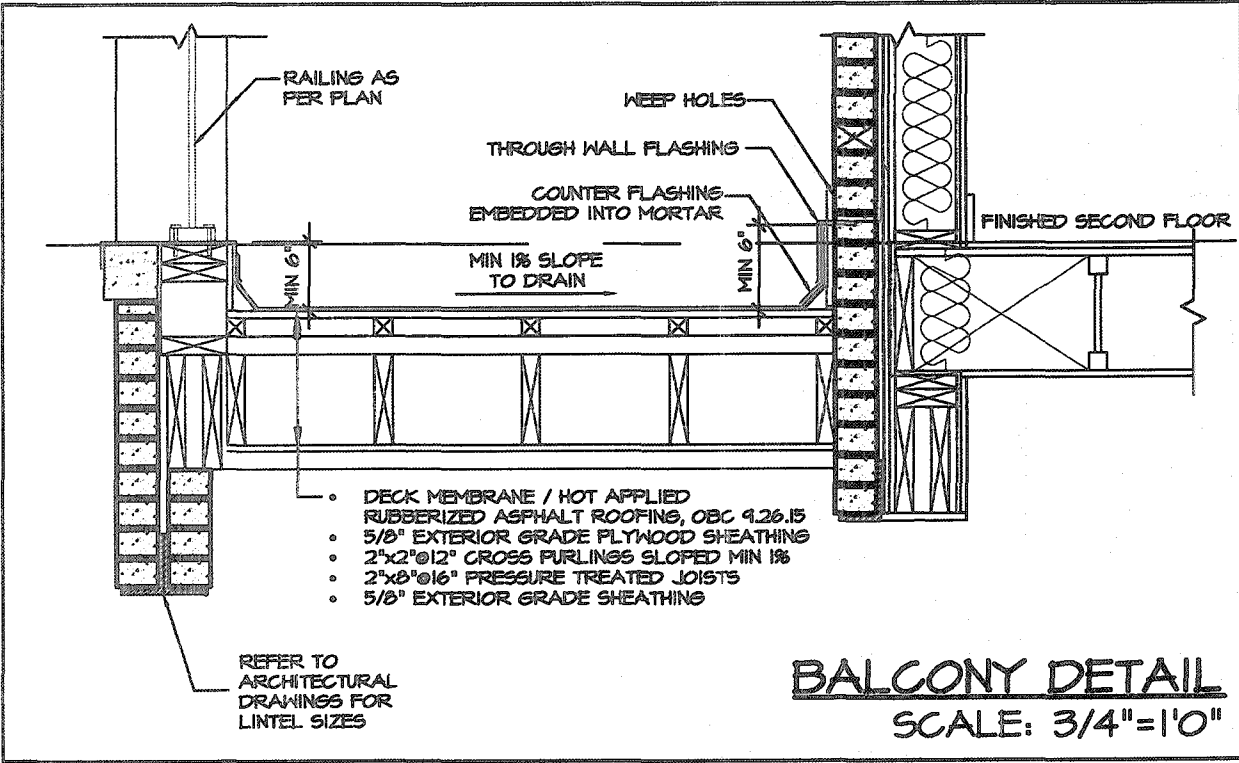
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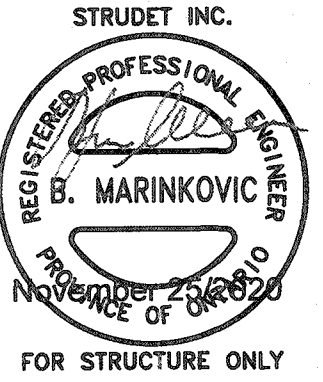
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VALLYCREEK 2-324
COMPLIANCE PACKAGE "A1"

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2.	ISSUED FINAL REFERENCE	MAR 2020							
1.	ISSUED FOR COORDINATION	FEB 2020							
REVISIONS									



CROSS SECTION A-A



CITY OF HAMILTON
Building Division
Permit No. 21-10737
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SHEET TITLE CROSS SECTION A-A			
SCALE 3/16"=1'-0"	BY VG	PAGE No. 8	
DATE DEC 2019	AREA 2602	PROJECT NAME RUSSELL GARDENS III	

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