

**FOR SINGLES & SEMIS UP TO 2 STOREY**

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

**ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD      F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD      F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD      F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD      F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD      F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NL1 = 3-1/2"x5-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SFR No.2  
 NL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SFR No.2  
 NL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SFR No.2  
 NL4 = 6"x3-1/2"x5/16" (150x90x10.0L) + 2-2"x12" SFR No.2  
 NL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SFR No.2  
 NL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SFR No.2  
 NL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SFR No.2  
 NL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SFR No.2  
 NL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SFR No.2

|      |                |                           |
|------|----------------|---------------------------|
| WB1  | = 2-2"x8" SFR  | No.2 (2-30x104 SFR, No.2) |
| WB2  | = 3-2"x8" SFR  | No.2 (3-30x104 SFR, No.2) |
| WB3  | = 2-2"x10" SFR | No.2 (2-30x235 SFR, No.2) |
| WB4  | = 3-2"x10" SFR | No.2 (3-30x235 SFR, No.2) |
| WB5  | = 2-2"x12" SFR | No.2 (2-30x266 SFR, No.2) |
| WB6  | = 3-2"x12" SFR | No.2 (3-30x266 SFR, No.2) |
| WB7  | = 5-2"x12" SFR | No.2 (5-30x266 SFR, No.2) |
| WB11 | = 4-2"x10" SFR | No.2 (4-30x235 SFR, No.2) |
| WB12 | = 4-2"x12" SFR | No.2 (4-30x266 SFR, No.2) |

LY1A =  $1 - 3/4^n \times 7/16^n$  (1-45x184)  
 LY1 =  $2 - 3/4^n \times 7/16^n$  (2-45x184)  
 LY2 =  $3 - 3/4^n \times 7/16^n$  (3-45x184)  
 LY3 =  $4 - 3/4^n \times 7/16^n$  (4-45x184)  
 LY4A =  $1 - 3/4^n \times 9/12^n$  (1-45x240)  
 LY4 =  $2 - 3/4^n \times 9/12^n$  (2-45x240)  
 LY5 =  $3 - 3/4^n \times 9/12^n$  (3-45x240)  
 LY5A =  $4 - 3/4^n \times 9/12^n$  (4-45x240)  
 LY6A =  $1 - 3/4^n \times 7/8^n$  (1-45x300)  
 LY6 =  $2 - 3/4^n \times 7/8^n$  (2-45x300)  
 LY7 =  $3 - 3/4^n \times 7/8^n$  (3-45x300)  
 LY7A =  $4 - 3/4^n \times 7/8^n$  (4-45x300)  
 LY8 =  $2 - 3/4^n \times 14^n$  (2-45x356)  
 LY9 =  $3 - 3/4^n \times 14^n$  (3-45x356)  
 LY10 =  $2 - 3/4^n \times 18^n$  (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E ( $F_b=2800\text{psi}$  MIN.) OR EQUIVALENT.

$$\begin{aligned} L_1 &= 3 \cdot 1/2^3 \cdot 3 \cdot 1/2^3 \cdot 1/4^5 L \quad (90 \times 90 \times 6.0 L) \\ L_2 &= 4^3 \cdot 3 \cdot 1/2^3 \cdot 5/16^3 L \quad (100 \times 90 \times 8.0 L) \\ L_3 &= 5^3 \cdot 3 \cdot 1/2^3 \cdot 5/16^3 L \quad (125 \times 90 \times 8.0 L) \\ L_4 &= 6^3 \cdot 3 \cdot 1/2^3 \cdot 3/8^3 L \quad (150 \times 90 \times 10.0 L) \\ L_5 &= 6^3 \cdot 4^3 \cdot 3/8^3 L \quad (150 \times 100 \times 10.0 L) \\ L_6 &= 7^3 \cdot 4^3 \cdot 3/8^3 L \quad (175 \times 100 \times 10.0 L) \end{aligned}$$

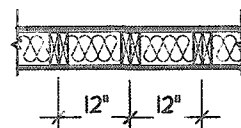
| NOS. | WIDTH  | HEIGHT<br>8'-4"<br>CEILING | HEIGHT<br>10' OR MORE<br>CEILING | TYPE                    |
|------|--------|----------------------------|----------------------------------|-------------------------|
| 1    | 2'-10" | 6'-8"                      | 8'-0"                            | INSULATED ENTRANCE DOOR |
| 1a   | 2'-8"  | 6'-8"                      | 8'-0"                            | INSULATED FRONT DOORS   |
| 2    | 2'-8"  | 6'-8"                      | 8'-0"                            | WOOD & GLASS DOOR       |
| 3    | 2'-8"  | 6'-8"                      | 8'-0"                            | EXTERIOR SLAB DOOR      |
| 4    | 2'-8"  | 6'-8"                      | 8'-0"                            | INTERIOR SLAB DOOR      |
| 5    | 2'-6"  | 6'-8"                      | 8'-0"                            | INTERIOR SLAB DOOR      |
| 6    | 2'-2"  | 6'-8"                      | 8'-0"                            | INTERIOR SLAB DOOR      |
| 7    | 1'-6"  | 6'-8"                      | 8'-0"                            | INTERIOR SLAB DOOR      |

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

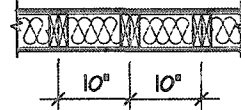
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

### TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @10"O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.

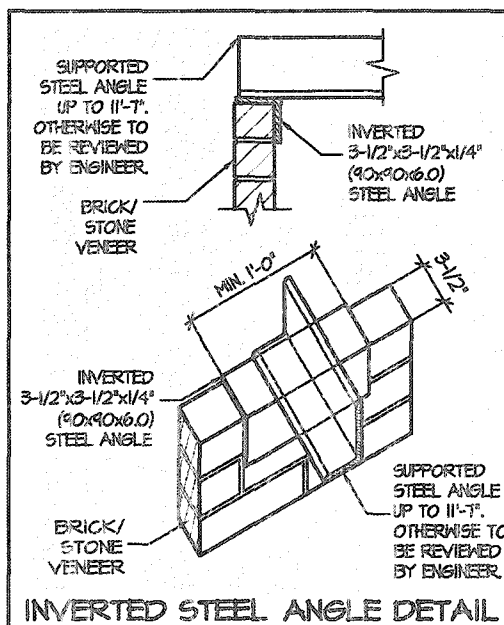


NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

| COMPONENT                                                           | NOTE                               |
|---------------------------------------------------------------------|------------------------------------|
| CEILING WITH ATTIC SPACE<br>MINIMUM RSI (R) VALUE                   | 10.57<br>(R60)                     |
| CEILING WITHOUT ATTIC SPACE<br>MINIMUM RSI (R) VALUE                | 5.46<br>(R31)                      |
| EXPOSE FLOOR<br>MINIMUM RSI (R) VALUE                               | 5.46<br>(R31)                      |
| WALLS ABOVE GRADE<br>MINIMUM RSI (R) VALUE                          | 3.81<br>(R22)                      |
| BASEMENT WALLS<br>MINIMUM RSI (R) VALUE                             | 3.52<br>(R20 BLANKET)              |
| HEATED SLAB OR SLAB<br>≤ 600mm BELOW GRADE<br>MINIMUM RSI (R) VALUE | 1.76<br>(R10)                      |
| WINDOWS & SLIDING GLASS DOORS<br>MAXIMUM U-VALUE                    | ENERGY RATING = 25,<br>MAX. U=0.28 |
| SPACE HEATING EQUIPMENT<br>MINIMUM AFUE                             | 96%                                |
| HRV<br>MINIMUM EFFICIENCY                                           | 75%                                |
| HOT WATER TANK                                                      | MIN. EF <i>980</i>                 |



A detailed cross-section diagram of a storm sewer manhole. The structure consists of a concrete wall on the left, a central concrete box with a door, and a set of stairs on the right. The wall and box are reinforced with 10M bars. The stairs have a 60-degree angle and are supported by a step footing. A 4-inch weeping tile with a 1/8-inch stone cover is located at the base of the wall. The entire structure is set in a 4-foot minimum undisturbed soil. A door is shown in the central box, labeled 'CONC. BILL'. A connection point for a drain to the storm sewer is indicated at the bottom.

Labels and dimensions include:
 

- GUARDS SEE NOTE NO.6
- 6" MIN. 4"
- RETAINING WALL SEE NOTE NO.5
- 4" WEEPING TILE W/ 1/8" STONE COVER
- 4'-0" MIN. TO UNDISTURBED SOIL
- CONC. BILL
- 10M @ 24" O.C. DOWELS
- 10M @ 8" O.C. BOTH WAYS
- STEP FOOTING
- CONNECT DRAIN TO STORM SEWER
- NOSING REINFORCEMENT W/ 10M BARS
- 60°

GENERAL NOTES:

1. FOOTING  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS  
T 7/8" RISE MAXIMUM  
S 1 1/4" RUN MINIMUM  
T 1 1/4" TREAD MINIMUM
4. INSULATION  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
5. RETAINING WALL  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
6. GUARDS  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

| AREA CALCULATIONS        |   | ELEV. 3       |
|--------------------------|---|---------------|
| GROUND FLOOR AREA        | = | 1226 Sq. Ft.  |
| SECOND FLOOR AREA        | = | 1569 Sq. Ft.  |
| TOTAL FLOOR AREA         | = | 2795 Sq. Ft.  |
|                          |   | 259.66 Sq. M. |
| 1ST FLOOR OPEN AREA      | = | 0 Sq. Ft.     |
| 2ND FLOOR OPEN AREA      | = | 10 Sq. Ft.    |
| ADD TOTAL OPEN AREAS     | = | 10 Sq. Ft.    |
| ADD FIN. BASEMENT AREA   | = | 0 Sq. Ft.     |
| GROSS FLOOR AREA         | = | 2805 Sq. Ft.  |
|                          |   | 260.59 Sq. M. |
| GROUND FLOOR COVERAGE    | = | 1226 Sq. Ft.  |
| GARAGE COVERAGE / AREA   | = | 348 Sq. Ft.   |
| PORCH COVERAGE / AREA    | = | 64 Sq. Ft.    |
| TOTAL COVERAGE W/ PORCH  | = | 1638 Sq. Ft.  |
|                          |   | 156.82 Sq. m. |
| TOTAL COVERAGE W/O PORCH | = | 1624 Sq. Ft.  |
|                          | = | 150.87 Sq. m. |

| VALLEYCREEK 4 |          | ELEV.3 COMPLIANCE PACKAGE "A" |             |             |            |
|---------------|----------|-------------------------------|-------------|-------------|------------|
| ELEVATION     | WALL FT² | WALL MT²                      | OPENING FT² | OPENING MT² | PERCENTAGE |
| FRONT         | 724.93   | 67.35                         | 99.94       | 9.28        | 13.79 %    |
| LEFT SIDE     | 1254.09  | 116.97                        | 62.00       | 5.76        | 4.92 %     |
| RIGHT SIDE    | 1238.08  | 115.02                        | 55.33       | 5.14        | 4.47 %     |
| REAR          | 679.56   | 63.13                         | 166.61      | 15.48       | 24.52 %    |
| TOTAL         | 3401.66  | 362.48                        | 383.88      | 35.66       | 9.84 %     |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

CITY OF HAMILTON  
Building Division

Permit No. 21-107149

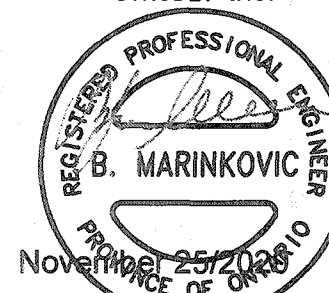
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and/or specifications have been reviewed by

LEAD 01 2021

**STRUDET INC.**

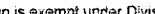


November 25/2028

FOR STRUCTURE ONLY

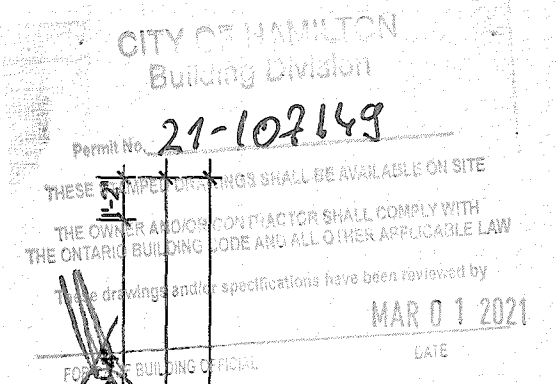
VALLEYCREEK 4-326

COMPLIANCE PACKAGE "A1"

|           |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                           |                                  |             |      |                                                                                                                                                             |          |                                                                                       |              |
|-----------|---------------------|----------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-------------|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|---------------------------------------------------------------------------------------|--------------|
| 5         |                     |          | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S8</p> <p>P (416) 736-4398</p> <p>F (905) 660-0748</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE |      | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |  |              |
| 4         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                           |                                  | AREA CHARTS |      |                                                                                                                                                             |          |                                                                                       | PROJECT NAME |
| 3         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                           |                                  | SCALE       | BY   | AREA                                                                                                                                                        | PAGE No. |                                                                                       |              |
| 2         | UPDATED FOR LOT 326 | SEP 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                           |                                  | 3/16"=1'-0" | V.G. | 2,814                                                                                                                                                       | 0        |                                                                                       |              |
| 1         | ISSUED FOR REVIEW   | JAN 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                           |                                  | DATE        | TYPE | PROJECT                                                                                                                                                     |          |                                                                                       |              |
| REVISIONS |                     |          | RUSSELL GARDENS III                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                           |                                  |             |      |                                                                                                                                                             |          |                                                                                       |              |

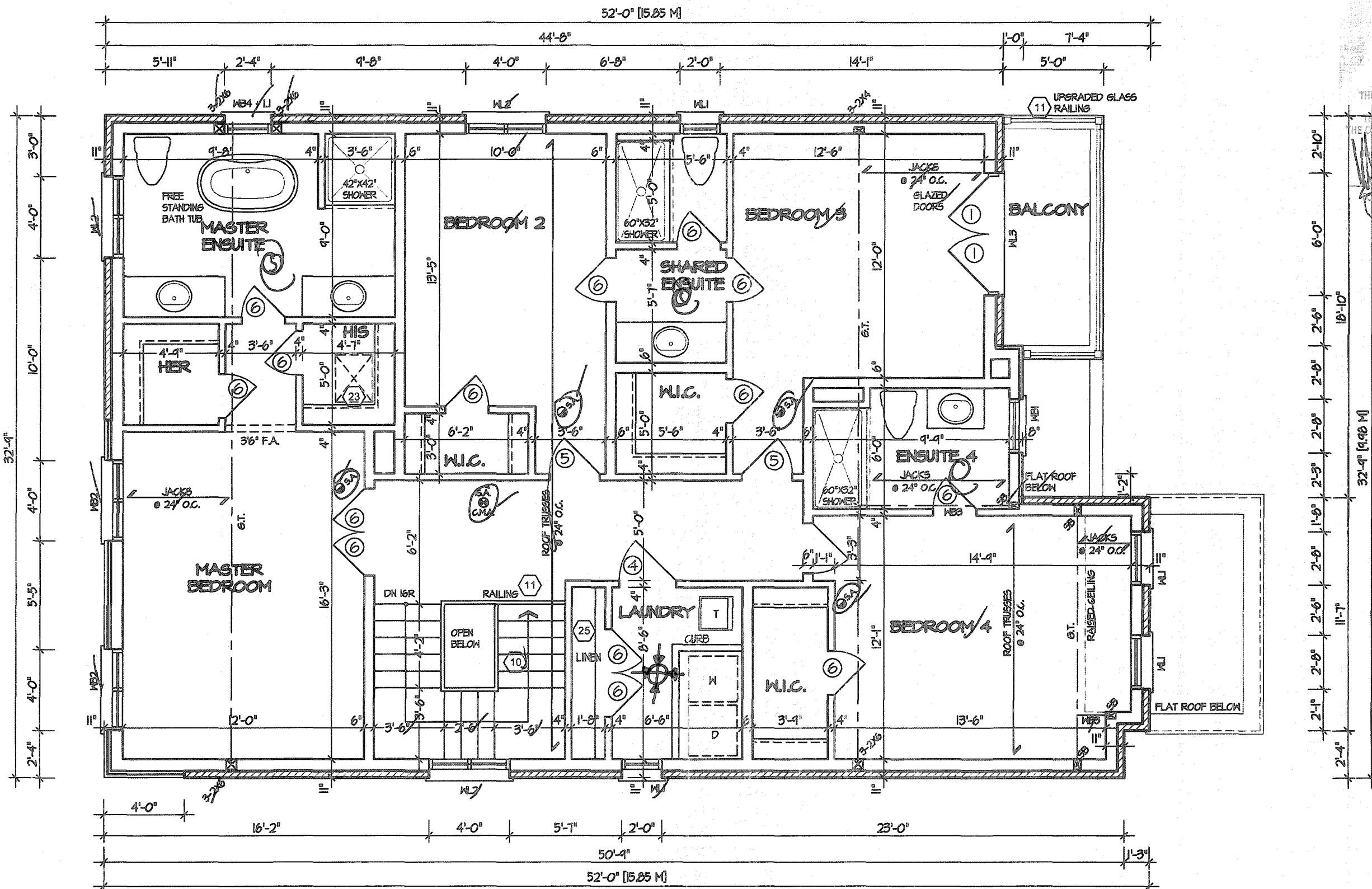






PROJECT NAME  
RUSSELL GARDENS III

|                  |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |                                                                         |                                                                                                                                                                    |                                                                                       |                            |                                                |
|------------------|---------------------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------|------------------------------------------------|
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| 4                |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |                                                                         |                                                                                                                                                                    |                                                                                       |                            |                                                |
| 3                |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |                                                                         |                                                                                                                                                                    |                                                                                       |                            |                                                |
| 2                | UPDATED FOR LOT 326 | SEP 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |                                                                         |                                                                                                                                                                    |                                                                                       |                            |                                                |
| 1                | ISSUED FOR REVIEW   | JAN 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |                                                                         |                                                                                                                                                                    |                                                                                       |                            |                                                |
| <p>REVISIONS</p> |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  | <p>SCALE</p> <p>3/16"=1'-0"</p> <p>DATE</p> <p>JAN 2020</p>             | <p>BY</p> <p>V.G.</p> <p>TYPE</p>                                                                                                                                  | <p>AREA</p> <p>2,814</p> <p>PROJECT</p>                                               | <p>PAGE No.</p> <p>2-3</p> | <p>PROJECT NAME</p> <p>RUSSELL GARDENS III</p> |



SECOND FLOOR PLAN '3'

CITY OF HAMILTON  
Building Division

Permit No. 21-107149

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

MAR 01 2021

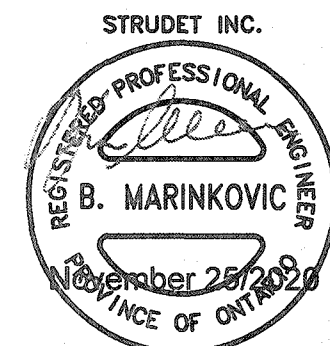
CHIEF BUILDING OFFICIAL DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: JAN 28 2021  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



FOR STRUCTURE ONLY

VALLEYCREEK 4-326  
COMPLIANCE PACKAGE "A1"

|   |                     |          |
|---|---------------------|----------|
| 5 |                     |          |
| 4 |                     |          |
| 3 |                     |          |
| 2 | UPDATED FOR LOT 326 | SEP 2020 |
| 1 | ISSUED FOR REVIEW   | JAN 2020 |

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION DESIGN INC.

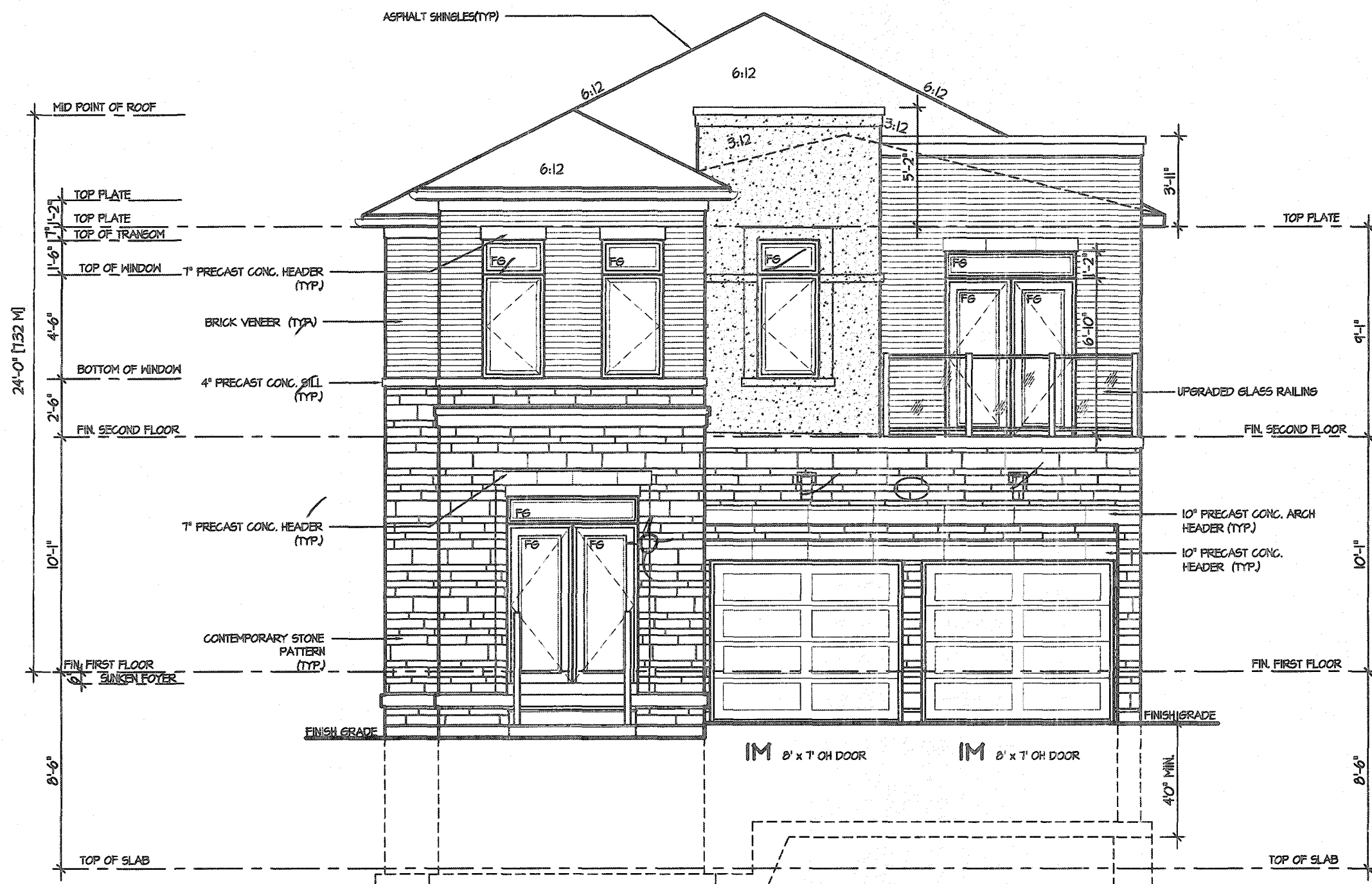
SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 2  
SCALE 3/16"=1'-0"  
DATE JAN 2020  
BY V.G.  
TYPE  
PROJECT

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 2,814  
PAGE No. 3-3

PROJECT NAME  
RUSSELL GARDENS III



- Approved CSA/CMC stucco system specs must be on-site prior installation.
- Provide roof natural ventilation for every 1/300sq. ft of the insulated roof attic space



ROOF PLAN 3  
Scale: N.T.S.

Permit No. 21-107149

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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by \_\_\_\_\_

MAR 01 2021

DATE \_\_\_\_\_

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AND APPROVAL

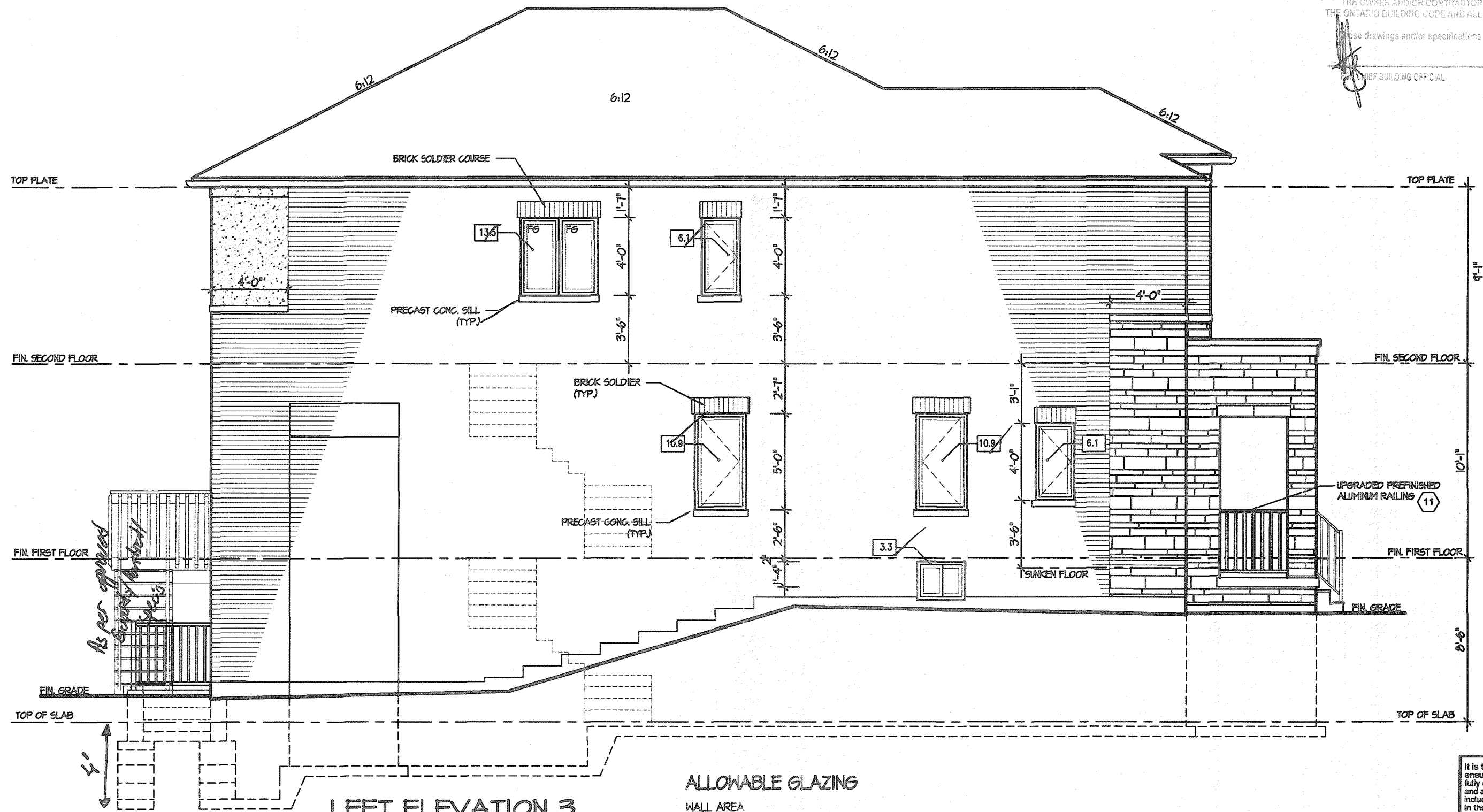
APPROVED BY: [Signature]  
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**VALLEYCREEK 4-326**  
COMPLIANCE PACKAGE "A1"

|           |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |             |             |                 |      |         |       |                                                                                                                                                                    |                                                                                       |                     |              |
|-----------|---------------------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-------------|-------------|-----------------|------|---------|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------------------|--------------|
| 5         |                     |          | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 738-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE |             | FRONT ELEVATION |      | ELEV. 2 |       | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> |  |                     |              |
| 4         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  | SCALE       | 3/16"=1'-0" | BY              | V.G. | AREA    | 2,814 |                                                                                                                                                                    |                                                                                       | PAGE No.            | PROJECT NAME |
| 3         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  | DATE        | JAN 2020    | TYPE            |      | PROJECT |       |                                                                                                                                                                    |                                                                                       | 4-3                 |              |
| 2         | UPDATED FOR LOT 326 | SEP 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |             |             |                 |      |         |       |                                                                                                                                                                    |                                                                                       |                     |              |
| 1         | ISSUED FOR REVIEW   | JAN 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |             |             |                 |      |         |       |                                                                                                                                                                    |                                                                                       | RUSSELL GARDENS III |              |
| REVISIONS |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                           |                                  |             |             |                 |      |         |       |                                                                                                                                                                    |                                                                                       |                     |              |





LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @

ACTUAL WINDOW AREA

|      |                |         |
|------|----------------|---------|
| 7.00 | 1.2 M SIDEYARD | 1254.10 |
|      |                | 88.14   |
|      |                | 50.80   |

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY  
DATE: JAN 28 2021

This stamp certifies compliance with the applicable Design Guidelines and does not further constitute professional responsibility.

VALLEYCREEK 4-326  
COMPLIANCE PACKAGE "A1"

|    |                     |          |
|----|---------------------|----------|
| 5. |                     |          |
| 4. |                     |          |
| 3. |                     |          |
| 2. | UPDATED FOR LOT 326 | SEP 2020 |
| 1. | ISSUED FOR REVIEW   | JAN 2020 |

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S8  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
LEFT SIDE ELEVATION  
ELEV. 2

SCALE  
3/16"=1'-0"

DATE  
JAN 2020

BY  
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2,814

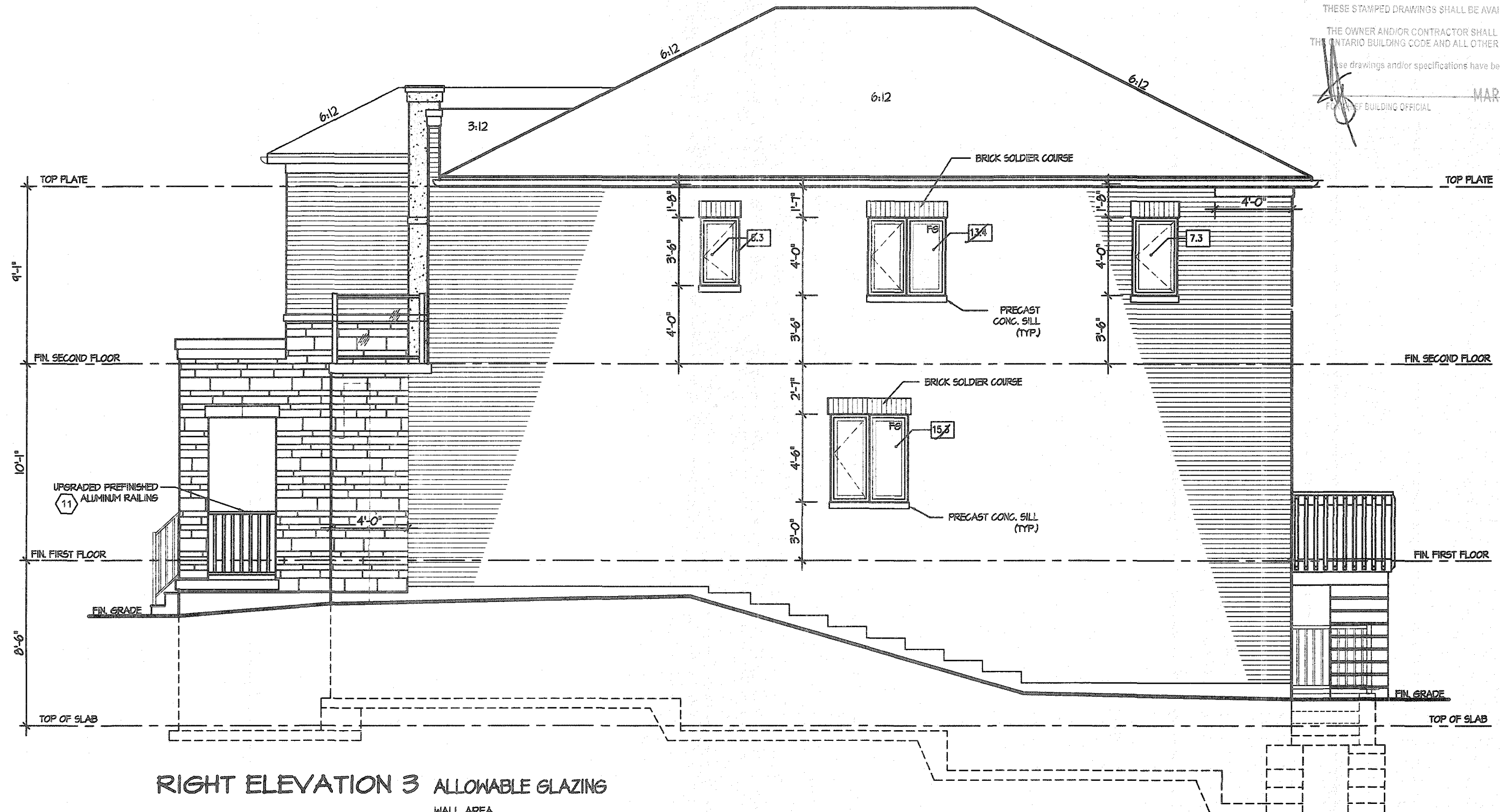
PROJECT

PAGE No.  
5-3

Greenpark.

PROJECT NAME

RUSSELL GARDENS III



RIGHT ELEVATION 3 ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @

ACTUAL WINDOW AREA

7.00 % (1.2 M SIDEYARD)

983.88

68.87

41.30

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY

DATE **JAN 28 2021**

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**VALLEYCREEK 4-326**

COMPLIANCE PACKAGE "A1"

|           |                     |          |
|-----------|---------------------|----------|
| 5         |                     |          |
| 4         |                     |          |
| 3         |                     |          |
| 2         | UPDATED FOR LOT 326 | SEP 2020 |
| 1         | ISSUED FOR REVIEW   | JAN 2020 |
| REVISIONS |                     |          |

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QUALIFICATION INFORMATION

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VIKAS GAJJAR

NAME

**28770**

BCIN

SIGNATURE

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 4S6

P (416) 736-4086

F (905) 660-0746



SHEET TITLE  
**RIGHT SIDE ELEVATION  
ELEV. 2**

SCALE  
3/16"=1'-0"

DATE  
JAN 2020

BY  
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2,814

PROJECT

PAGE No.

**6-3**



PROJECT NAME

**RUSSELL GARDENS III**

CITY OF HAMILTON  
Building Division

Permit No. **21-107149**

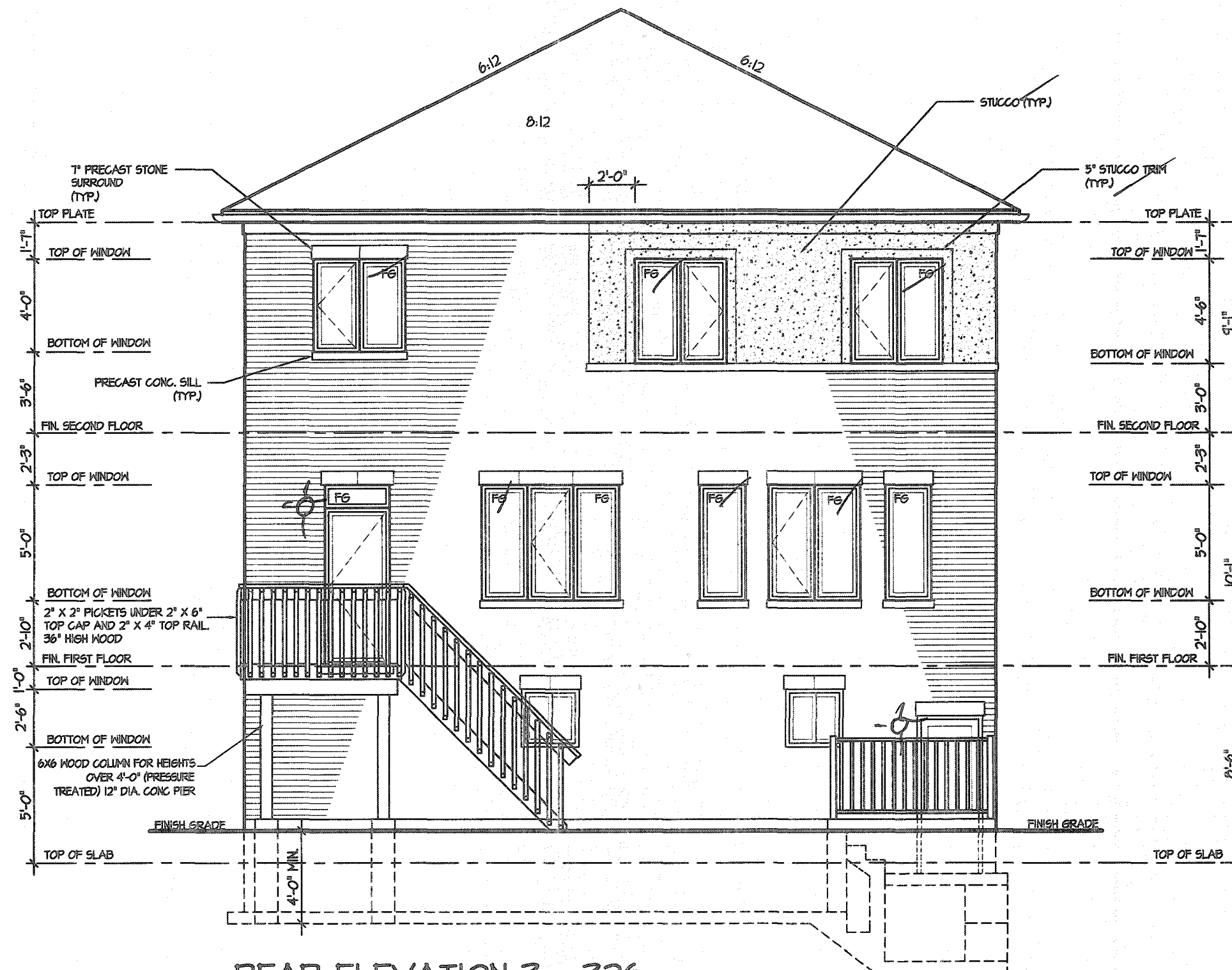
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

**MAR 01 2021**

CHIEF BUILDING OFFICIAL DATE



REAR ELEVATION 3 - 326  
DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **JAN 28 2021**  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**VALLEYCREEK 4-326**  
COMPLIANCE PACKAGE "A1"

|   |                     |          |
|---|---------------------|----------|
| 5 |                     |          |
| 4 |                     |          |
| 3 |                     |          |
| 2 | UPDATED FOR LOT 326 | SEP 2020 |
| 1 | ISSUED FOR REVIEW   | JAN 2020 |

REVISIONS

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE BCIN **28770**

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**REAR ELEVATION  
ELEV. 1, 2 & 3**

SCALE  
3/16"=1'-0"

DATE  
JAN 2020

BY  
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA  
2,814

PROJECT

PAGE No.  
**7**

**Greenpark.**

PROJECT NAME  
**RUSSELL GARDENS III**



CITY OF HAMILTON  
Building Division

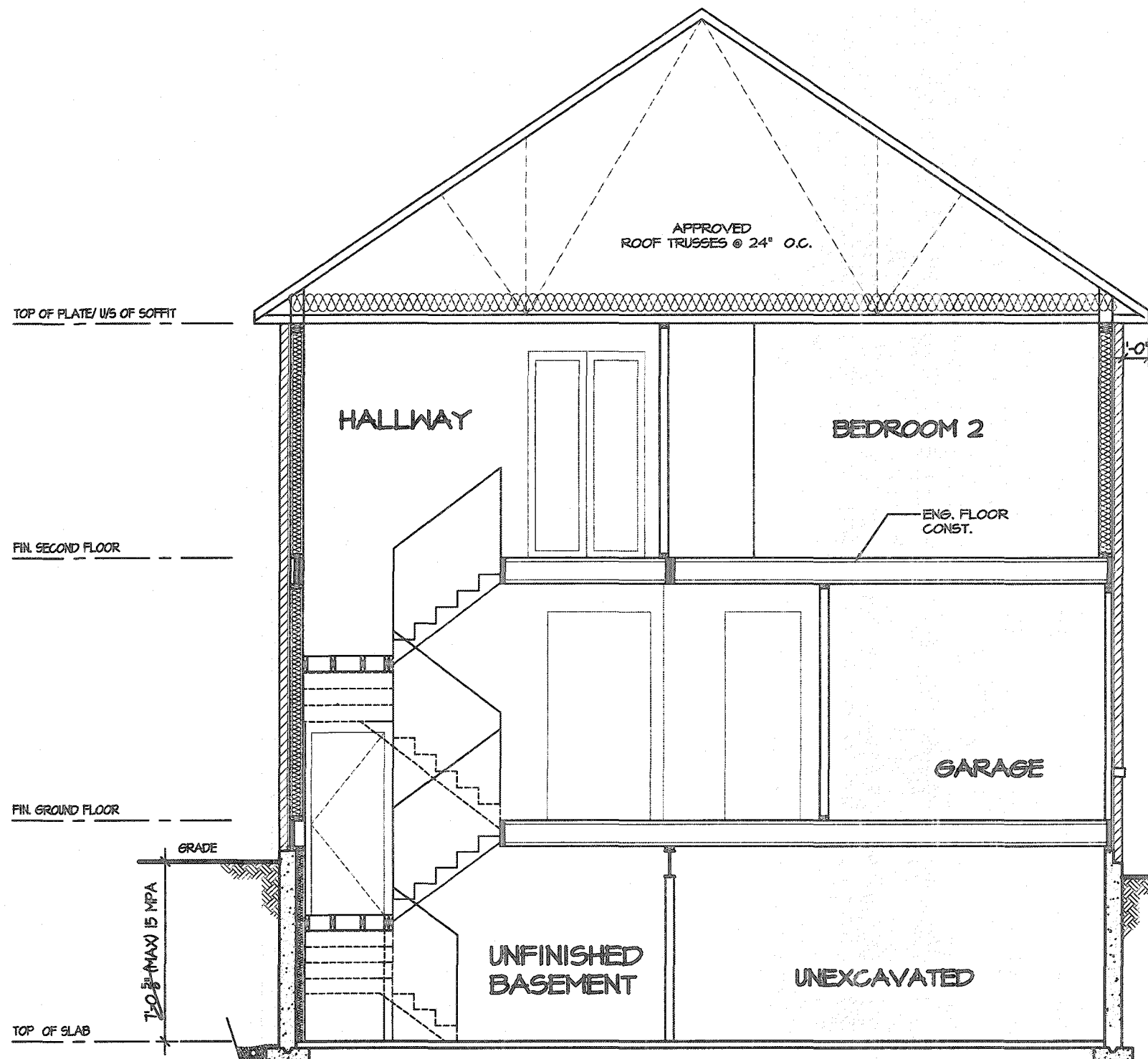
Permit No. **21-109649**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

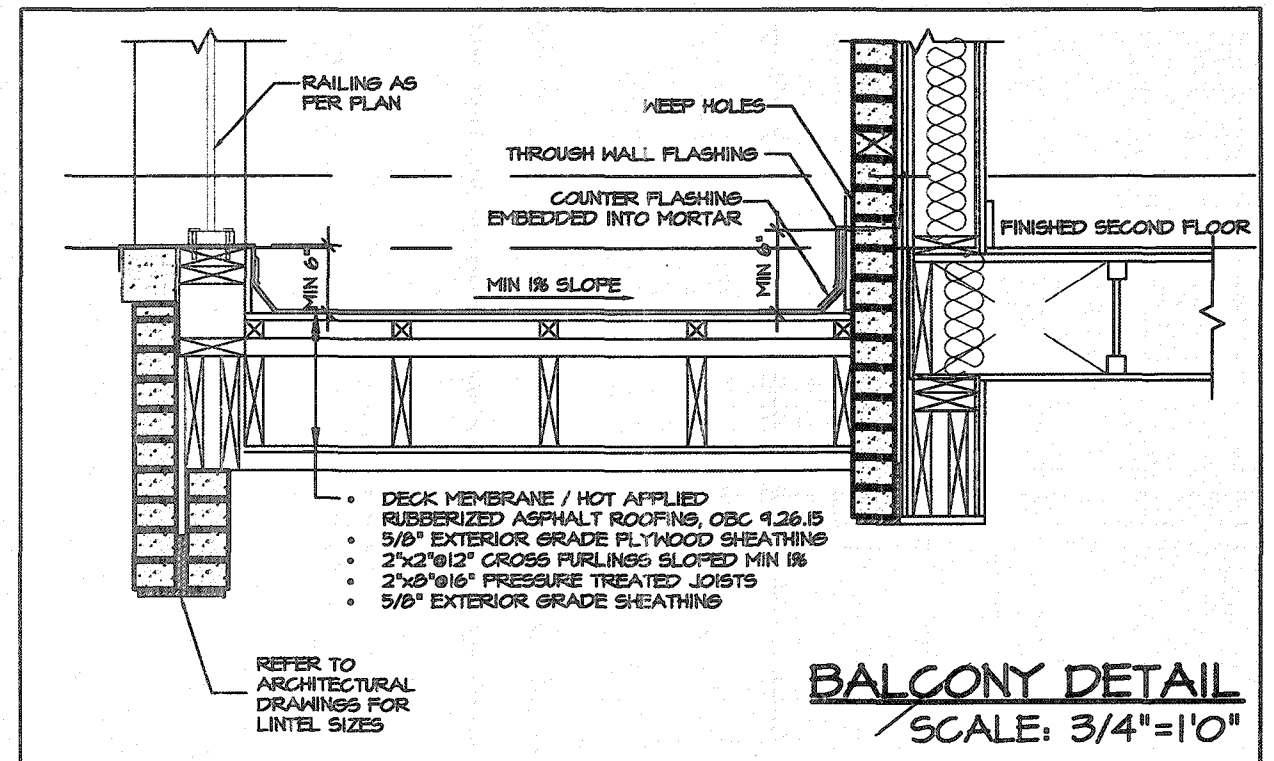
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

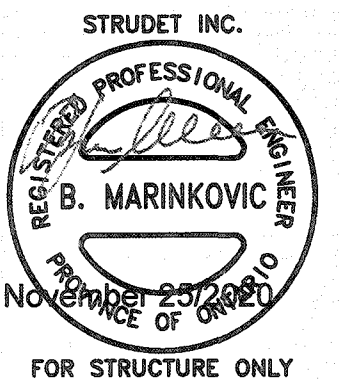
 **MAR 01 2021**  
BUILDING OFFICIAL DATE



CROSS SECTION



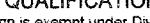
BALCONY DETAIL  
SCALE: 3/4"=1'-0"



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VALLEYCREEK 4-326  
COMPLIANCE PACKAGE "A1"

|           |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                    |                               |             |               |             |                                                                                                                                                             |                                                                                                                                                                  |      |         |       |          |   |
|-----------|---------------------|----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|-------------------------------|-------------|---------------|-------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|---------|-------|----------|---|
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| 4         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 8700 DUFFERIN ST.  |                               |             | SCALE         | 3/16"=1'-0" | BY                                                                                                                                                          |                                                                                                                                                                  | V.G. | AREA    | 2,814 | PAGE No. | 8 |
| 3         |                     |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | CONCORD, ONTARIO   |                               |             | DATE          | JAN 2020    | TYPE                                                                                                                                                        |                                                                                                                                                                  |      | PROJECT |       |          |   |
| 2         | UPDATED FOR LOT 326 | SEP 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | L4K 450            |                               |             |               |             |                                                                                                                                                             |                                                                                                                                                                  |      |         |       |          |   |
| 1         | ISSUED FOR REVIEW   | JAN 2020 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | P (416) 733-4096   |                               |             |               |             |                                                                                                                                                             |                                                                                                                                                                  |      |         |       |          |   |
| REVISIONS |                     |          | F (905) 660-0746                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                    |                               |             |               |             |                                                                                                                                                             |                                                                                                                                                                  |      |         |       |          |   |