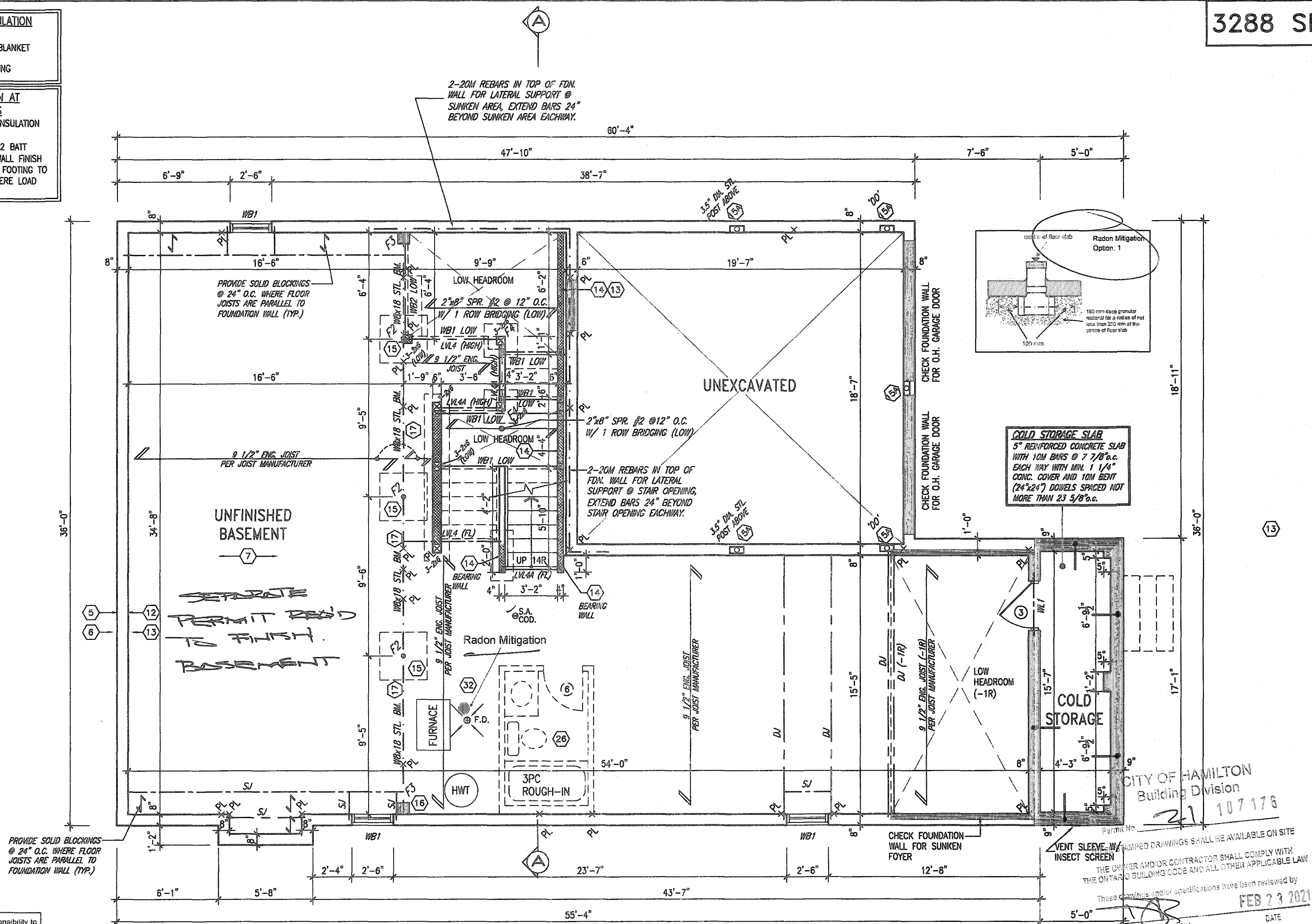


BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

3288 SF.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

9					
8					
7					
6					
5					
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW		
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

**VAS3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

MOUNTAINASH 5-335		COMPLIANCE PACKAGE 'A1'	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		drawing no. 19014	
checked by CL		drawing no. 19014-MOUNTAINASH-5-335	
scale 3/16" = 1'-0"		drawing no. A1a	

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[illegible]

CITY OF HAMILTON
Building Division
2-6"
Permit No. 21-107176
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 23 2021
FOR OWNER BUILDING OFFICIAL DATE

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE UNITS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. 8, TABLE 6.2.3.1.2.

• KITCHEN EXHAUST BLU	
• DRIVETRAIL PARKING SPACE ROAD	1.5m
• SOLID FUEL APPLIANCE EXHAUST	3.0m

KIT-EX-NOTE-2020.dwg

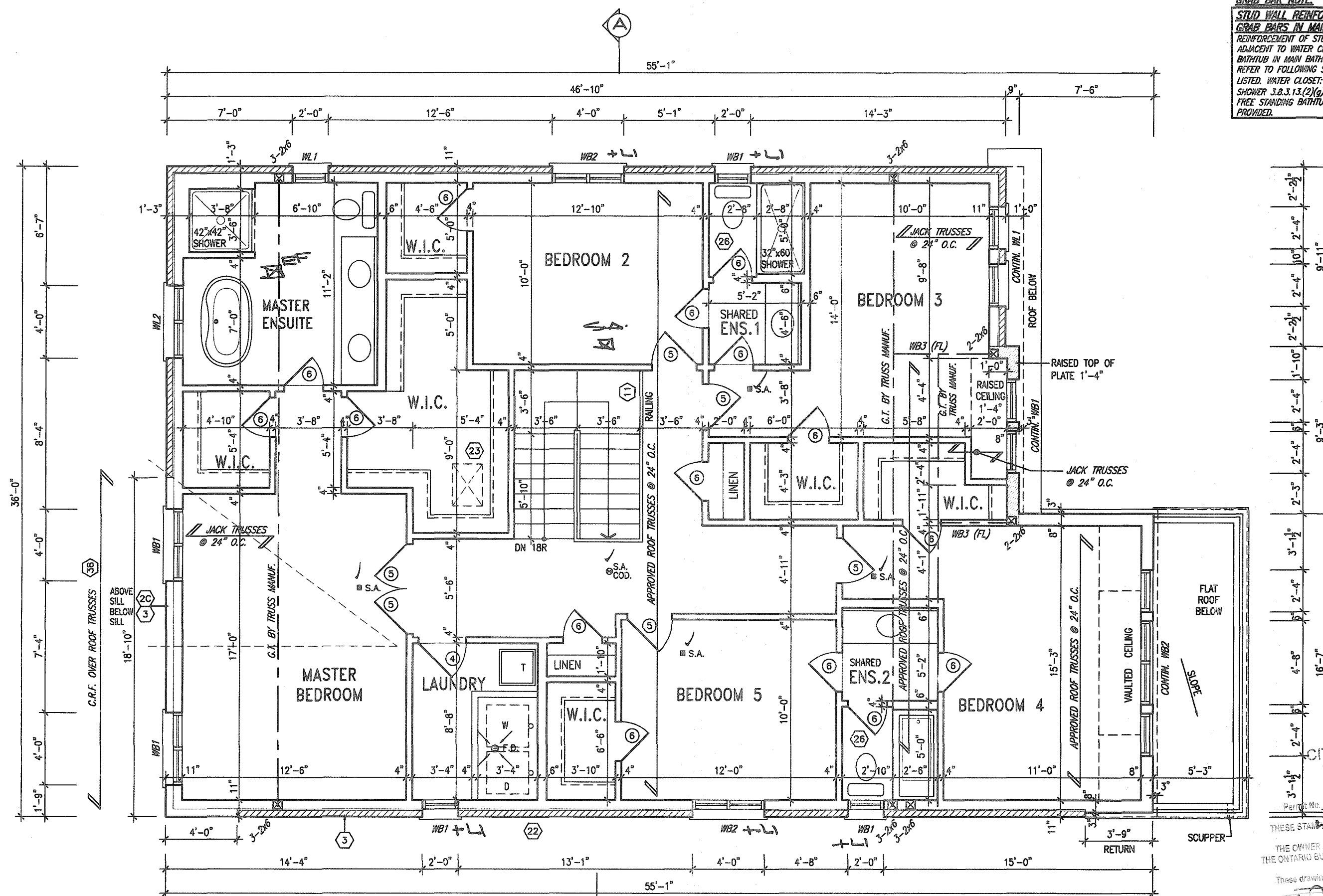
GROUND FLOOR PLAN '2'

The undersigned has reviewed and takes responsibility for this design and the use of the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24468
name	signature
registration information	BCO
VAS Design Inc.	42652
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

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t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
drawn by -		title name GROUND FLOOR PLAN - ELEV. 2	
checked by -		scale 3/16" = 1'-0"	
drawing no. A2a		19014-MOUNTAINASH-5-335	
CLS - H:\ARCHIVE\ARCHIVE\CCS\19014-GREENPARK\SERIES\44- MOUNTAINASH\CCS\19014-MOUNTAINASH-5-335\19014-MOUNTAINASH-5-335.dwg - Wed - Nov 11 2020 - 354 FH			

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(g) & 3.8.3.3.(3)(g). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(g). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



2'-
3'-1/2"
CITY OF HAMILTON
Building Division
21 107175
Permit No. _____
THESE STANDARD DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by
7-23
DATE FEB 23 2021
FOR CHIEF BUILDING OFFICIAL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.


 B. MARINKOVIC
 Registered Professional Engineer
 No. 10482
 State of Ohio

STRUDET INC.
FOR STRUCTURE ONLY

SECOND FLOOR PLAN '2'
(5 BEDROOM)

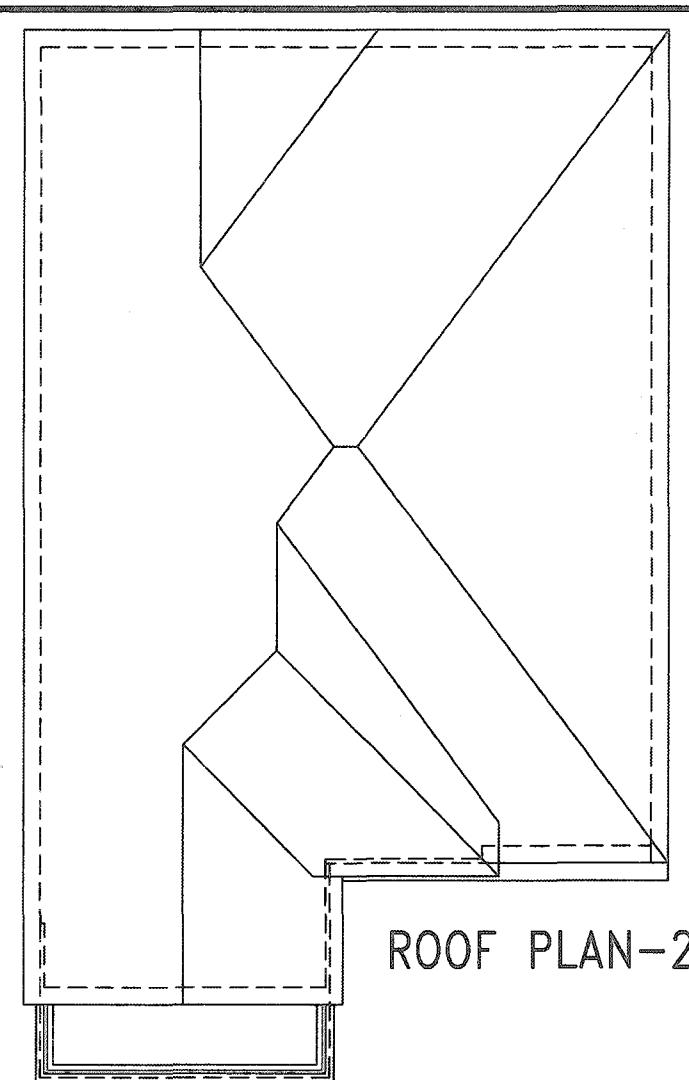
9						The undersigned has reviewed and takes responsibility for this design and then the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8							
7						qualification information	
6						Richard Vink	24481
5						signature	BCI
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW			name VAS Design Inc.	42655
3	ISSUED FOR PERMIT.	APR 13/20	GW				
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			Contract must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Emissions and to be reconfirmed.	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW				
no.	description	date	by				

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DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		MOUNTAINASH 5 13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
dts JANUARY 2020	SECOND FLOOR PLAN - ELEV. 2	
drawn by CL	checked by -	scale 3/16" = 1'-0"
file name 19014-MOUNTAINASH-5-335		drawing no. A3c

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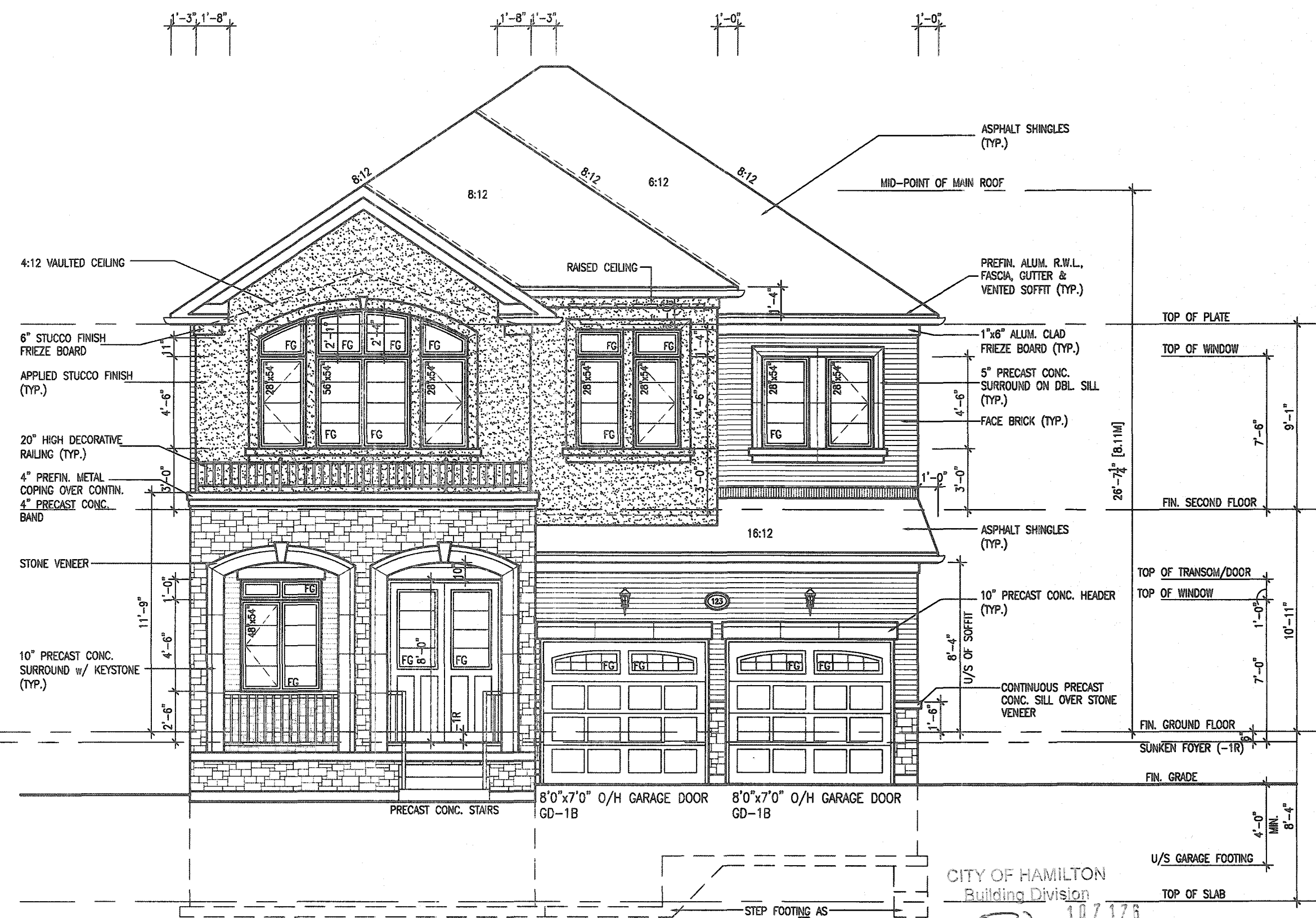
3288 SF.



ROOF PLAN-2



INSIDE PORTICO
ELEVATION '2'



FRONT ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488 BCI
6				signature
5				name
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW	registration information
3	ISSUED FOR PERMIT.	APR 13/20	GW	VAS Design Inc. 42658
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description	date	by	

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

MOUNTAINASH 5-335
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 5
13.5m

project no. 19014

project name: **RUSSELL GARDENS PH. 3**

location: **HAMILTON, ON**

date: **JANUARY 2020**

drawn by: **CL**

checked by: **3/16" = 1'-0"**

scale: **3/16" = 1'-0"**

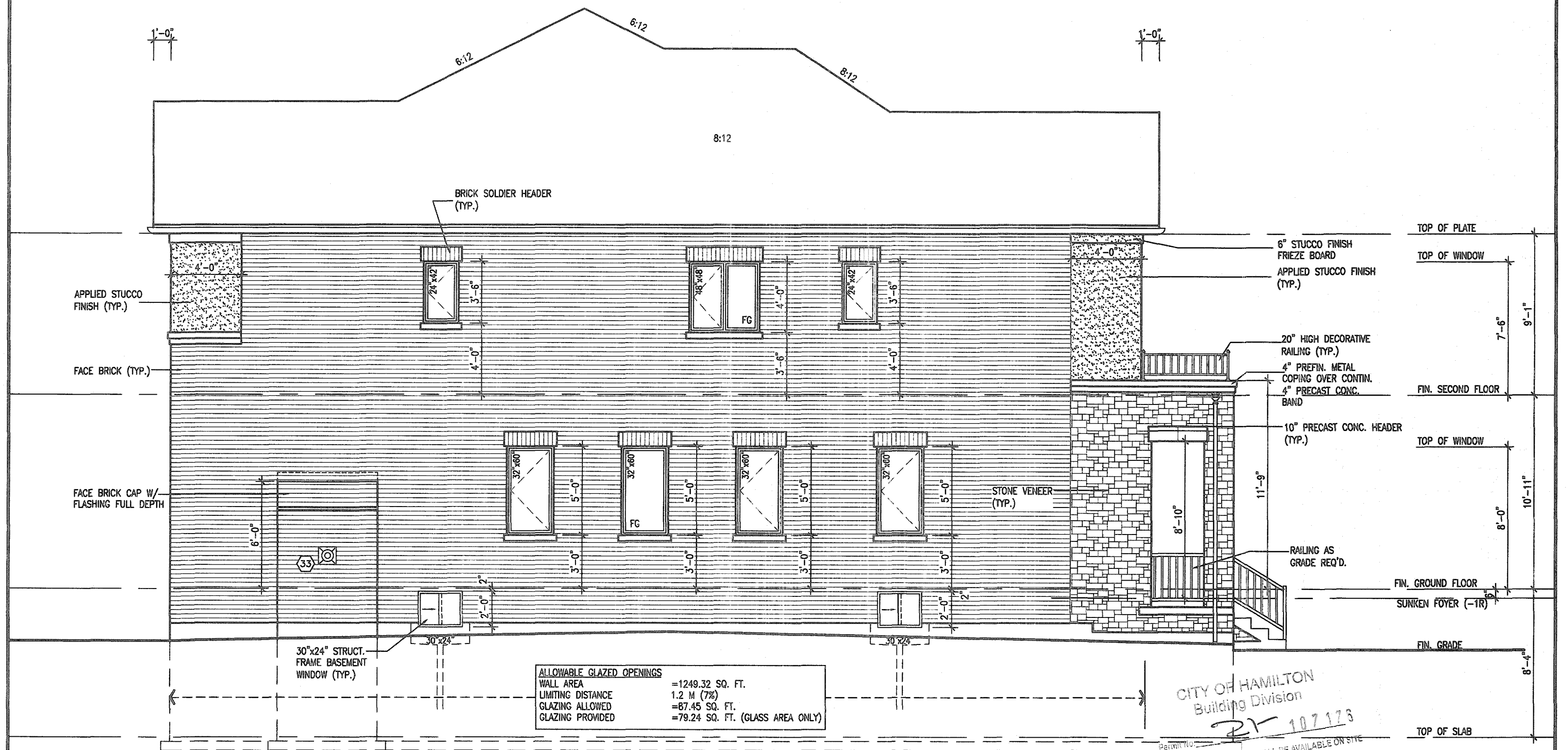
front elevation - ELEV. 2

19014-MOUNTAINASH-5-335

A4a

CITY OF HAMILTON
Building Division
Permit No. 21 107173
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] FEB 23 2021
FOR CHIEF BUILDING OFFICIAL DATE

3288 SF.



LEFT SIDE ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines and bears no further
professional responsibility.

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						
7						qualification information
6						Richard Vink 2448
5						name <i>R Vink</i> signature BC
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW			registration information VAS Design Inc. 4265
3	ISSUED FOR PERMIT.	APR 13/20	GW			
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no.	description	date	by			

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by checked by serie

CL - - 3/16" = 1'-0"

DATE - 16 JANUARY 2020 16014 GPT LINES SURVEY 144 MOUNTAIN VIEW CUSTUMERS



MOUNTAINASH 5
13.5m

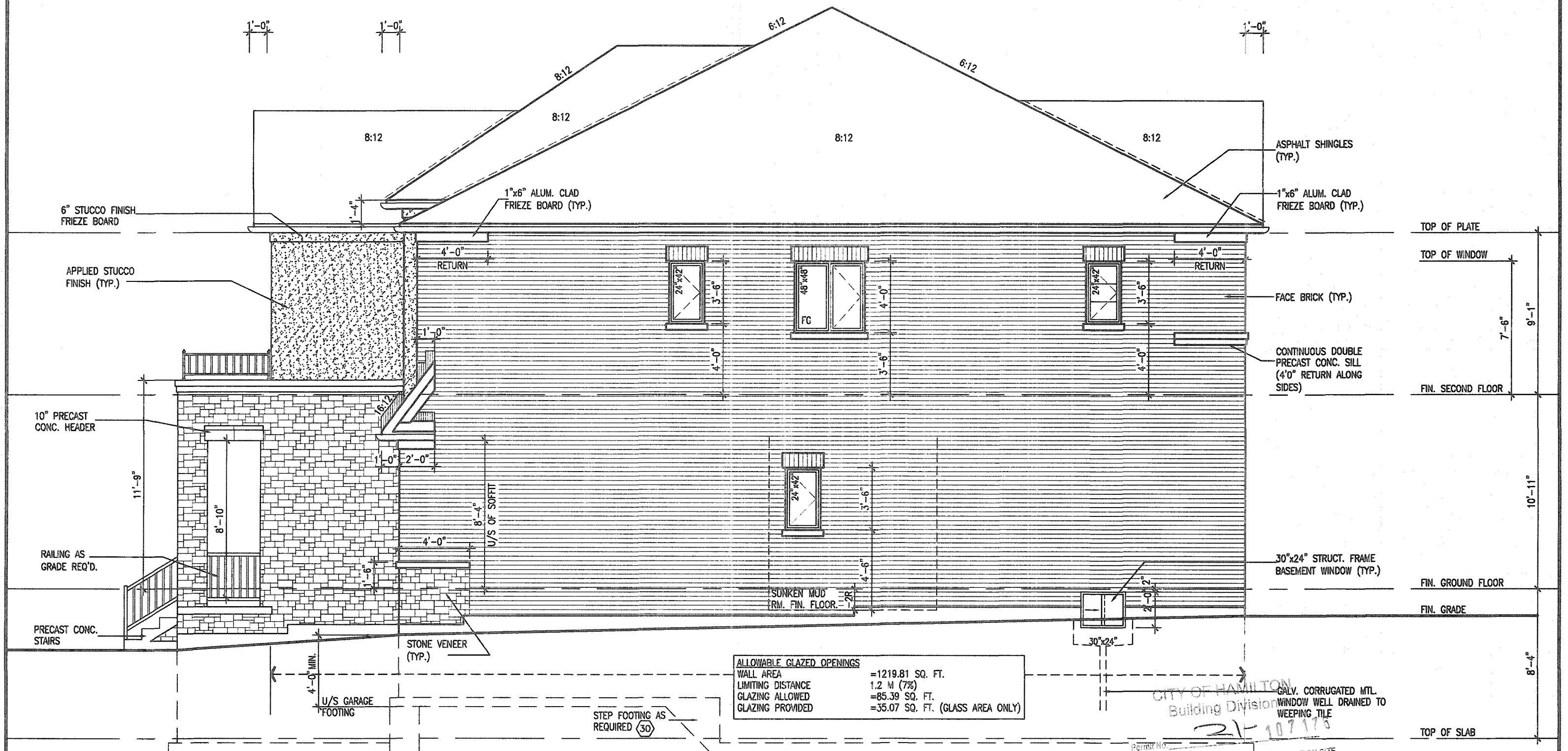
LEFT SIDE ELEVATION - ELEV. 2

drawing no.

A5a

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3288 SF.



RIGHT SIDE ELEVATION '2'

Permit No. _____

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by



FOR CHIEF BUILDING OFFICIAL

FEB 23 2021

DATE

MOUNTAINASH 5-335
COMPLIANCE PACKAGE 'A1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONCEPT REVIEW
AND APPROVAL

APPROVED BY 
DATE: JAN 28, 2021

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professional responsibility.

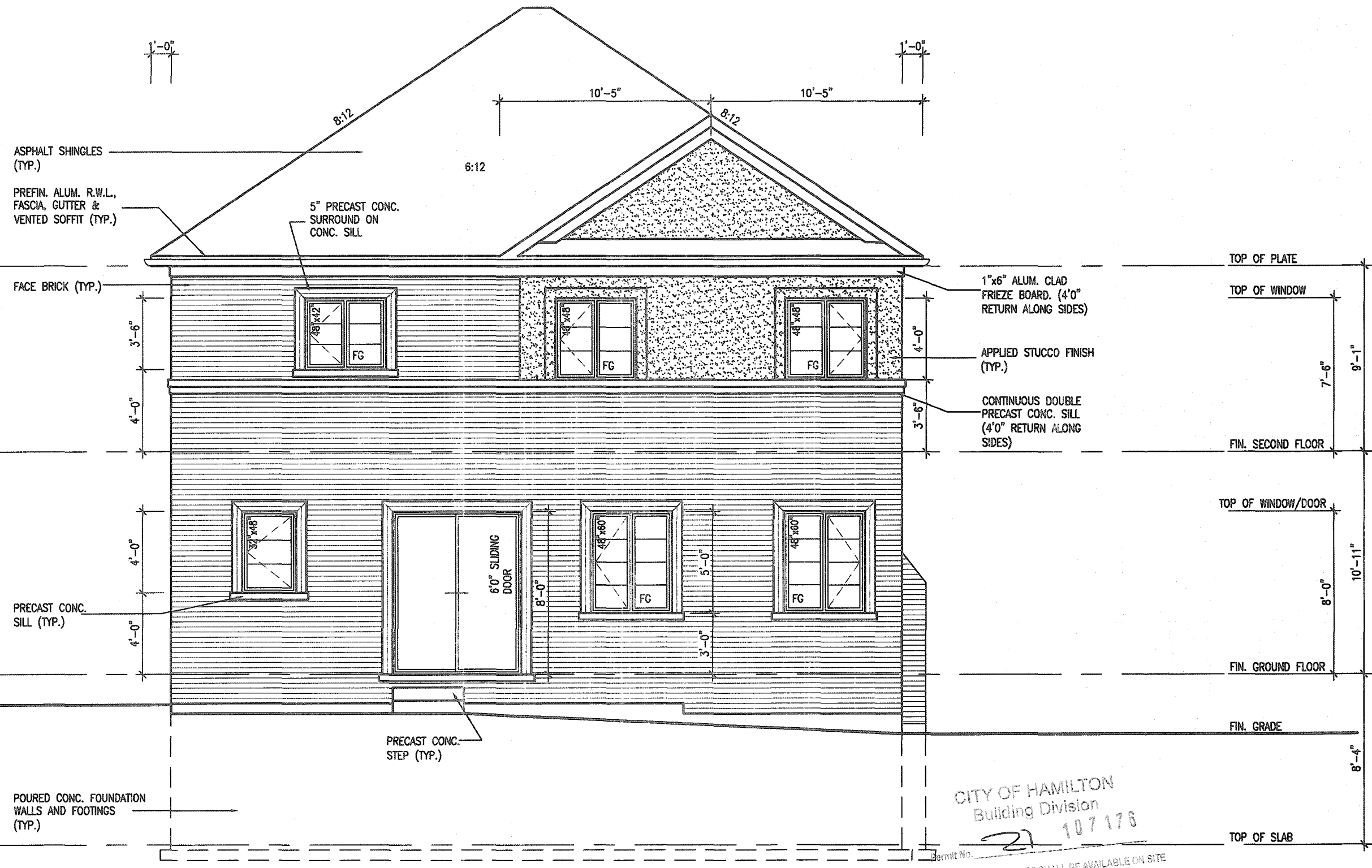
9						The undersigned has reviewed and taken responsibility for this design and that the qualifications and credits the requirements set out in the Ontario Building Code to be a Designer.
8						
7						qualification information
6						Richard Vink 24481
5						name signature BOM
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW			registration information VAS Design Inc. 42655
3	ISSUED FOR PERMIT.	APR 13/20	GW			
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW			
no.	description	date	by			

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DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.		MOUNTAINASH 5 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ON	
date JANUARY 2020		project no. 19014	
drawn by CL		RIGHT SIDE ELEVATION - ELEV. 2	
checked by -		drawing no. A6a	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-5-335	

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3288 SF.



UPGRADED REAR ELEVATION '2'
(5 BED)

CITY OF HAMILTON
Building Division
21 107178
Permit No.
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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE FEB 23 2021

MOUNTAINASH 5-335
COMPLIANCE PACKAGE 'A1'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JAN 28 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488 BCN
6				home registration information
5				VAS Design Inc. 42658
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW	
3	ISSUED FOR PERMIT	APR 13/20	GW	
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

project name	RUSSELL GARDENS PH. 3	city	HAMILTON, ON	project no.	19014
date	JANUARY 2020	checked by	CL	scale	3/16" = 1'-0"
drawing no.	A7a	file name	19014-MOUNTAINASH-5-335	drawing no.	A7a
notes	UPGRADED REAR ELEVATION - ELEV. 2				

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Architectural section drawing of a two-story house with a gabled roof. The drawing shows the interior layout including a Living/Dining Room, Kitchen, Bedroom 2, Sunken Mud Room, and an Unfinished Basement. The roof is labeled with a pitch of 8:12. The drawing includes various callouts and dimensions, such as 1'-0" for the roof height and 8" for the basement floor thickness. The drawing is oriented with the front of the house at the top.

8'-4"

CITY OF HAMILTON
Building Division
21-107176

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE TOP OF BSMT. SLAB

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
FEB 23 2021

FOR CHIEF BUILDING OFFICIAL DATE

MOUNTAINASH 5
13.5m

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