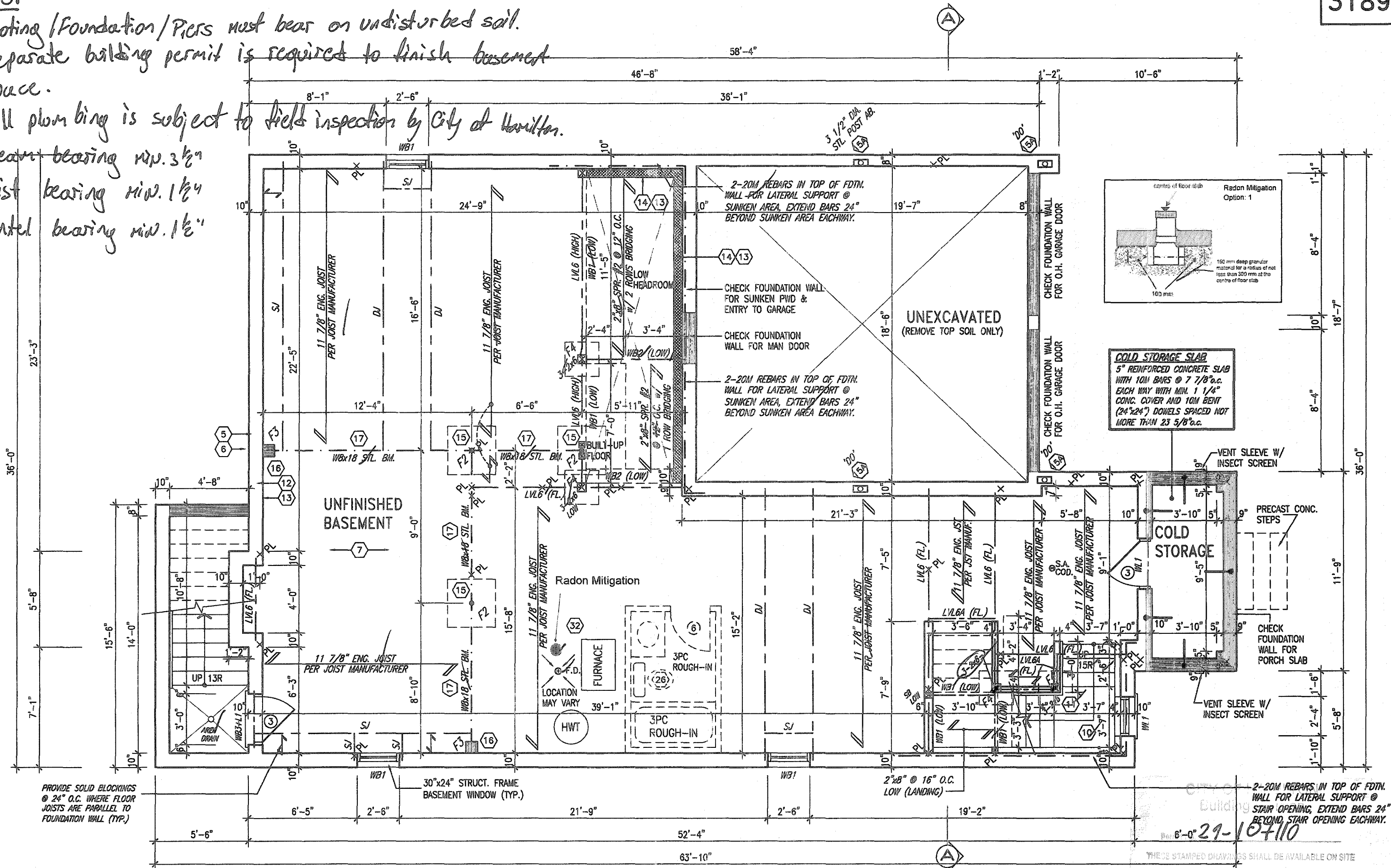


Note:

- Footing/Foundation/Piers must bear on undisturbed soil.
- separate building permit is required to finish basement space.
- All plumbing is subject to field inspection by City of Hamilton.
- Beam bearing min. 3/4"
- Joist bearing min. 1/4"
- Lintel bearing min. 1/2"

3189 SF.



BASEMENT PLAN - ELEV. '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 26, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 18, 2020
OFFICE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

BASEMENT WALL INSULATION (TYP)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

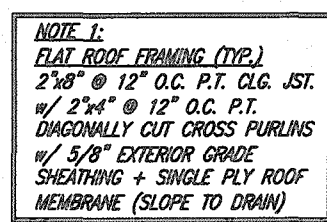
18			9		
17			8		
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13			4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 13/20 CW
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 19/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no. description	date	by	no. description	date	by

This undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to use a Designer.
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark. MOUNTAINASH 4
13.5m
project name
RUSSELL GARDENS PH. 3
Hamilton, ON.
drawing no.
19014
BASEMENT PLAN - ELEV. 2
JAN. 2020
drawn by
N.HUR
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-4-339
A1a

Note: • Gas fireplace must be 3489 SF.
approved and be installed in accordance
to local utilization code.



Permit No. 24-107110

THESE STAMPED DRAWINGS SHALL BE **A** KE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or specifications have been reviewed by

~~FOR THE BUILDING OFFICIAL~~ **MAR 01 2021** **DATE**

STRUDET INC.
FOR STRUCTURE ONLY

The undersigned has reviewed and takes responsibility for this design
plan, the specifications and made the requirements set out in the
Order Building Case to be a Designer.

Qualification Information

Richard Vink *R Vink* 24488

name signature BC0N

registration information

VA3 Design Inc. 42658

Contractor must be at dimensions on the job and report any
discrepancy to the Designer before proceeding with the work. All
drawings and specifications are instruments of service and the property
of the Designer which must be returned at the completion of the work.
Drawings are not to be copied.

 Greenpark™		MOUNTAINASH 4 13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON.	project no. 19014
date JAN. 2020		drawing no. A2a
GROUND FLOOR PLAN - ELEV. 2		
drawn by N.MUR	checked by 3/16" = 1'-0"	file name 19014-MOUNTAINASH-4-339
GROS - 1' = 30.48mm; VERTICALLY REDUCED TO 1/4" DIA.; UNITS: DIMENSIONS IN METERS AND MILLIMETERS - 4-339A, 19014-MOUNTAINASH-4-339-B, C-D, E-F - FEB 13 2020 - 6:51 PM		

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**STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER CBC, DIV. 9-8.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)/(c) & 3.8.3.8.(3)/(c).
SHOWER 3.8.3.13.(2)/(c). BATHTUB 3.8.3.13.(4)/(c).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. CB-NOTE-2020 dnd

[illegible]

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 28, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



STRUDET INC.
FOR STRUCTURE ONLY

18		-	-	9		The undersigned has reviewed and bears responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	2648
17		-	-	8			
16		-	-	7		qualification information	
15		-	-	6		Richard Vink	
14		-	-	5		name signature	80
13		-	-	4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 13/20 GW	4265
12		-	-	3	ISSUED FOR PERMIT.	MAR 31/20 GW	
11		-	-	2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR 19/20 GW	
10		-	-	1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW	
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Article Building Code to be a Designer. qualification information		
Richard Vink		2448
name	signature	80
registration information		
WA3 Design Inc.		4265
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com



MOUNTAINASH 4
13.5m

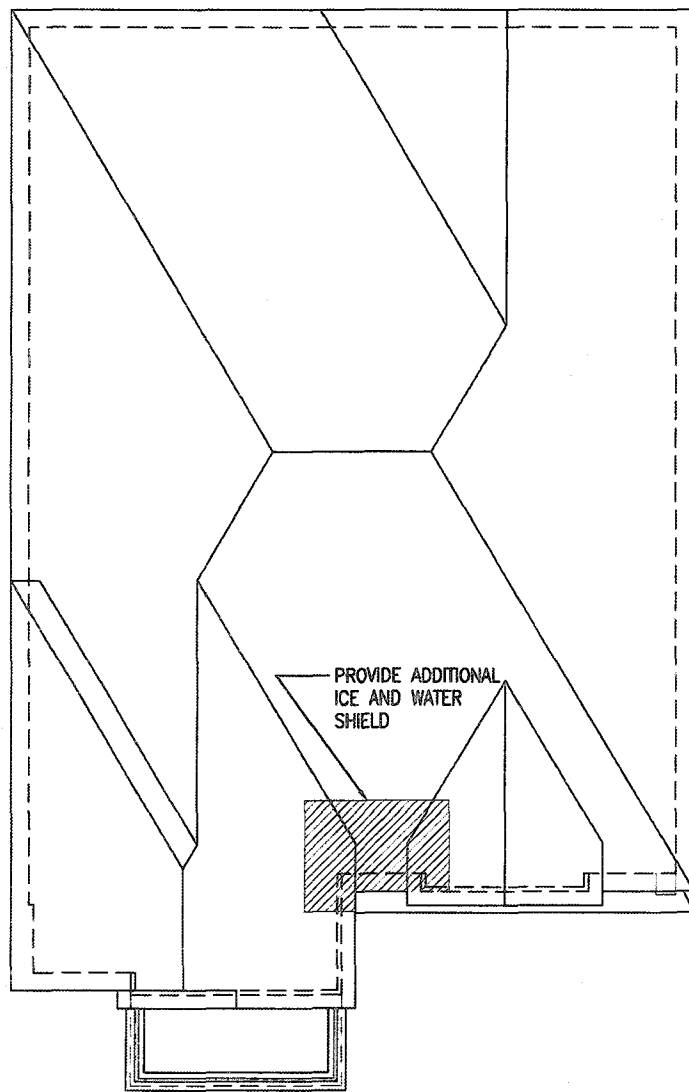
project name RUSSELL GARDENS PH. 3	project no. 1901a
location HAMILTON, ON.	drawing no. A3a
date JAN. 2020	
SECOND FLOOR PLAN - ELEV. 2	
drawn by N.HUR	file name 1901A-MOUNTAINASH-4-339
checked by 3/16" = 1'-0"	

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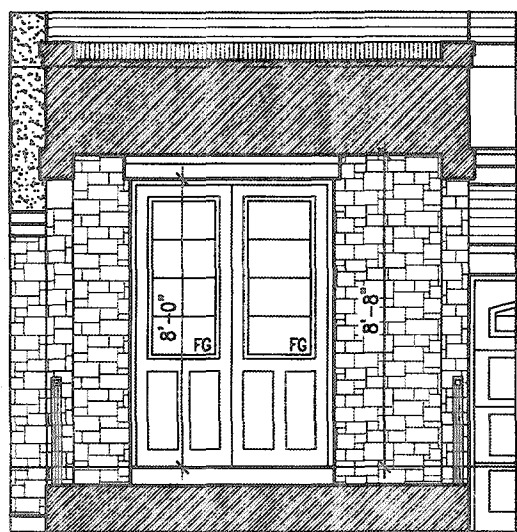
3189 SF.

Note:

- Approved BSA/CMC Stucco system specs must be on-site prior installation.
- Provide roof natural ventilation for every 1/300sq.ft of the insulated roof space.



ROOF PLAN - ELEV. '2'



INSIDE PORTICO ELEVATION '2'



FRONT ELEVATION - ELEV. '2'

MOUNTAINASH 4-339
COMPLIANCE PACKAGE 'A1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 26, 2023
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

18		9	
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13		4	CUSTOM DRAWING PER PURCHASER REQUEST NOV 13/20 GW
12		3	ISSUED FOR PERMIT. MAR 31/20 GW
11		2	UPDATED PER ENG & CLIENT COMMENTS. MAR 19/20 GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW. JAN. 28/20 GW
no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
name
registration information
VAS Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
HAMILTON, ON.
project no.
19014
drawing no.
A4a
date
JAN. 2020
drawn by
N.HUR
checked by
scale
3/16" = 1'-0"
19014-MOUNTAINASH-4-339
19014-MOUNTAINASH-4-339 - R1 - Nov 13 2020 - 651 RB

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3189 SF.

CITY OF HAMILTON
Building Division

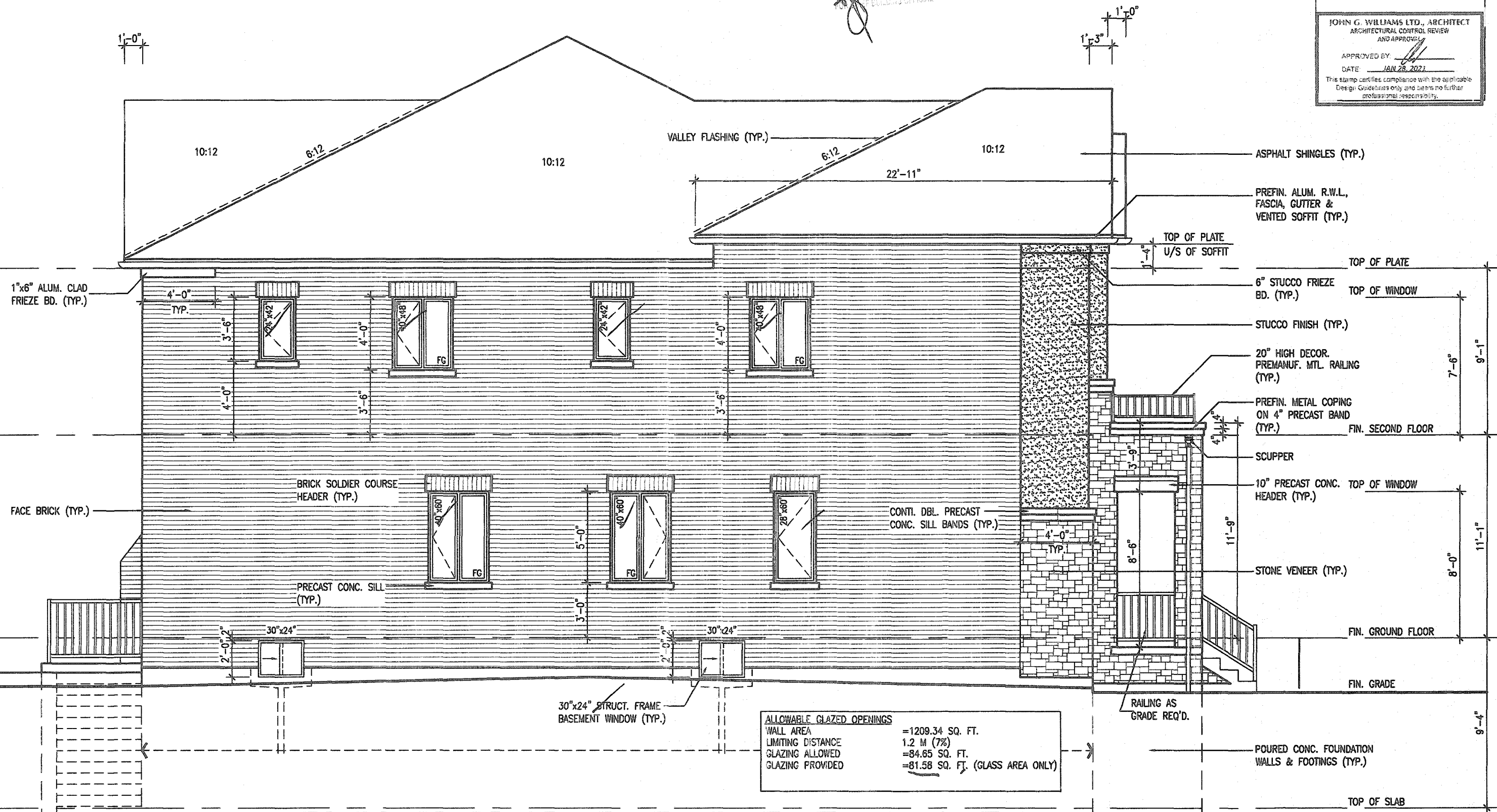
Permit No. **24-107110**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
DATE **MAR 01 2021**

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JAN 28 2021**
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.



LEFT SIDE ELEVATION - ELEV. '2'

MOUNTAINASH 4-339
COMPLIANCE PACKAGE 'A1'

18			9		
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13			4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 13/20 GW
12			3	ISSUED FOR PERMIT.	MAR 31/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 13/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name registration information
VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
drawn by
N.HUR
checked by
3/16" = 1'-0"
scale
date
JAN. 2020
this name
19014-MOUNTAINASH-4-339
drawing no.
A5a

MOUNTAINASH 4
13.5m
project no.
19014
municipality
HAMILTON, ON.
drawing no.
A5a

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3189 SF.

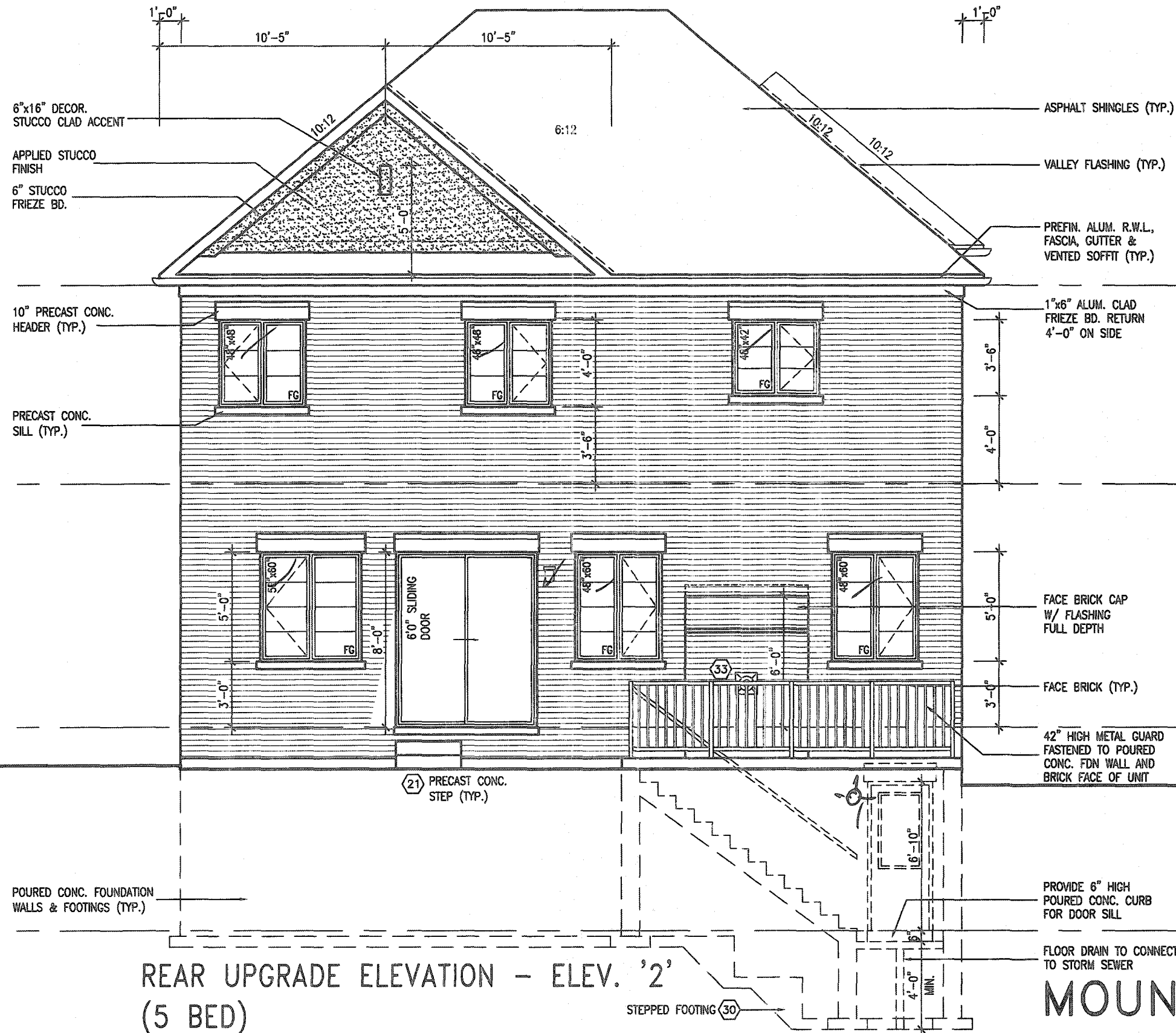
CITY OF HAMILTON
Building Division

Permit No. **21-107110**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature]
CHIEF BUILDING OFFICIAL
DATE **MAR 01 2021**



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: **JAN 22, 2021**
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 13/20	GW
12				3	ISSUED FOR PERMIT.	MAR 31/20	GW
11				2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR 19/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
42658
name
registration information
VAS Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
drawn by
N.HUR
checked by
3/16" = 1'-0"
scale
19014-MOUNTAINASH-4-339

MOUNTAINASH 4
13.5m
project no.
19014
drawing no.
A7a
REAR ELEVATION - ELEV. 2

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$$1' - 0''$$
