

- Footing/Foundation must bear on undisturbed soil.
- All plumbing is subject to field inspection by City of Hamilton.
- Separate building permit is required to finish basement space.

- Beam bearing riv. $3\frac{1}{2}''$
- Joist bearing riv. $1\frac{1}{2}''$
- Lintel bearing riv. $1\frac{1}{2}''$

Permit No. 21-107207

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

2'-0" 5'-5" 5'-0" FEB 12 2024

[illegible]

(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

STAIR/SUNKEN AREAS
 -2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
 -2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
 -EXTEND EXTERIOR WALL FOOTING SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMILTON

APPROVED BY 

DATE: JAN 28 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further

MOUNTAINASH 5-341
COMPLIANCE PACKAGE 'A1'

MOUNTAINASH 5
13.5m

municipality	project n
HAMILTON, ON	1901

BASEMENT PLAN - ELEV. 3

19014-MOUNTAINASH-5-341

3
770
41
A1b



STRUDET INC.
FOR STRUCTURE ONLY

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						
7						qualification information
6						Richard Vink 2440
5						name <i>R Vink</i> signature 4265
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW			recognition information V&S Design Inc.
3	ISSUED FOR PERMIT.	APR 13/20	GW			Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW			
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW			
no	description	date	by			



VA3
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date	JANUARY 2020	
drawn by	checked by	scale
CL	-	3/16" = 1'-0"

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

Note:

- Provide roof natural ventilation for every 1/300sq.ft of the insulated roof attic space.
- Approved CSA/CCMC Stucco System must be on-site prior installation.

INSIDE PORTICO
ELEVATION '3'

FRONT ELEVATION '3'

MOUNTAINASH 5-341

COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY  _____
DATE JAN 28, 2023

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
liability to the permittee.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES

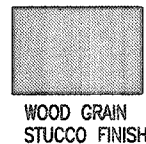
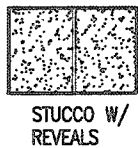
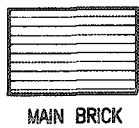
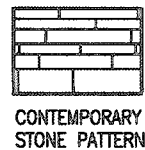
EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					qualification information
7					Richard Vink
6					name
5					signature
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW		redesignation information VAK3 Design Inc.
3	ISSUED FOR PERMIT.	APR 13/20	GW		2448
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		4265
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW		
no.	description	date	by		

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

[illegible]

All drawings, specifications, related documents and design are the copyright property of V43 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V43 DESIGN's written permission.

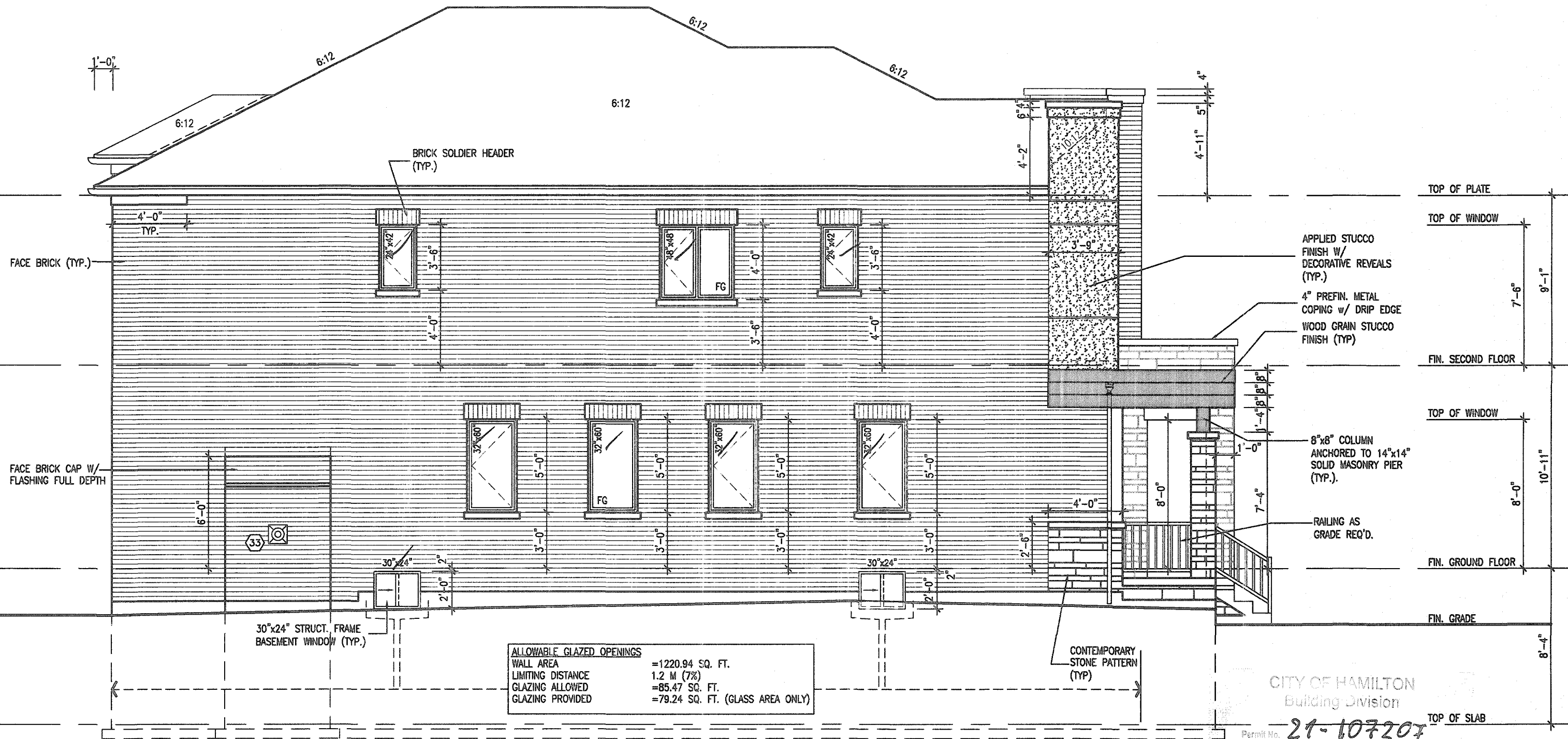


CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH



LEFT SIDE ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 25, 2024
This stamp certifies compliance with the applicable Architectural Design Guidelines approved by the City of HAMILTON

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488
6				signature
5				BCN
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW	name registration information
3	ISSUED FOR PERMIT.	APR 13/20	GW	VA3 Design Inc. 42658
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW	
no.	description	date	by	



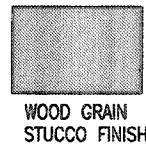
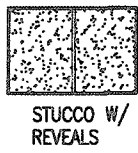
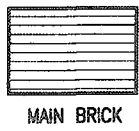
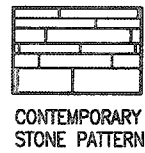
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ON	project no. 19014
date JANUARY 2020	checked by CL	size 3/16" = 1'-0"
LEFT SIDE ELEVATION - ELEV. 3	file name 19014-MOUNTAINASH-5-341	drawing no. A5b

DESIGN - H:\ARCHIVE\WORK\HAMILTON\GARDENS PH. 3\19014-MOUNTAINASH-5-341.dwg - Mod - Nov 11 2020 - 438 RU

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



CITY OF HAMILTON
Building Division

Permit No. **21-107207**

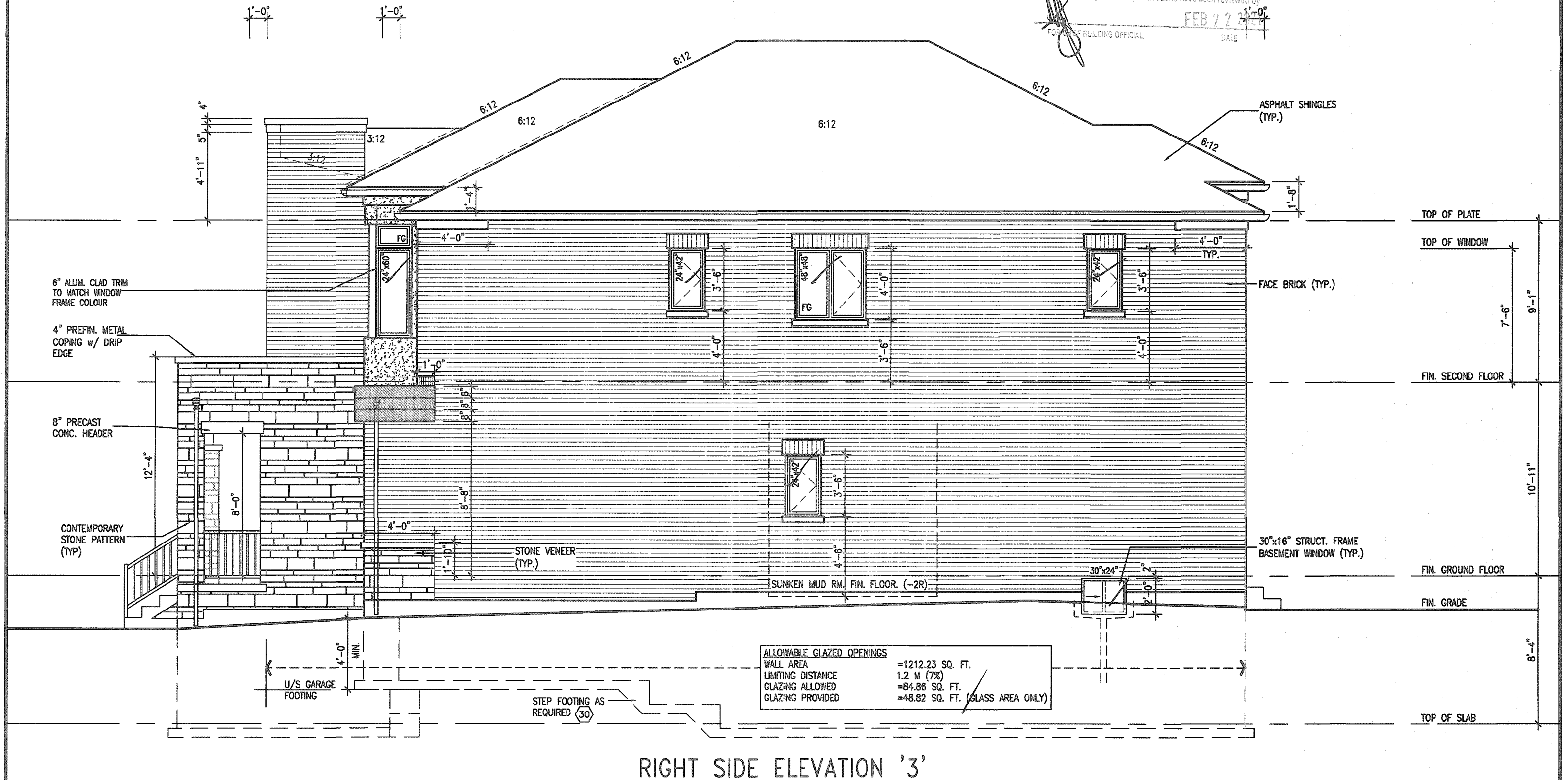
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR THE BUILDING OFFICIAL DATE **FEB 22 2021**

3288 SF.



RIGHT SIDE ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY *[Signature]*
DATE **JAN 25, 2021**

This stamp certifies compliance with the applicable Design Guidelines and any other requirements of the professional responsibility.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Richard Vink 24488 BCN
6				signature
5				name
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW	registration information
3	ISSUED FOR PERMIT	APR 13/20	GW	VAS Design Inc. 42658
2	UPDATED PER ENG & CLIENT COMMENTS	MAR 26/20	GW	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

RIGHT SIDE ELEVATION - ELEV. 3

19014-MOUNTAINASH-5-341

MOUNTAINASH 5
13.5m

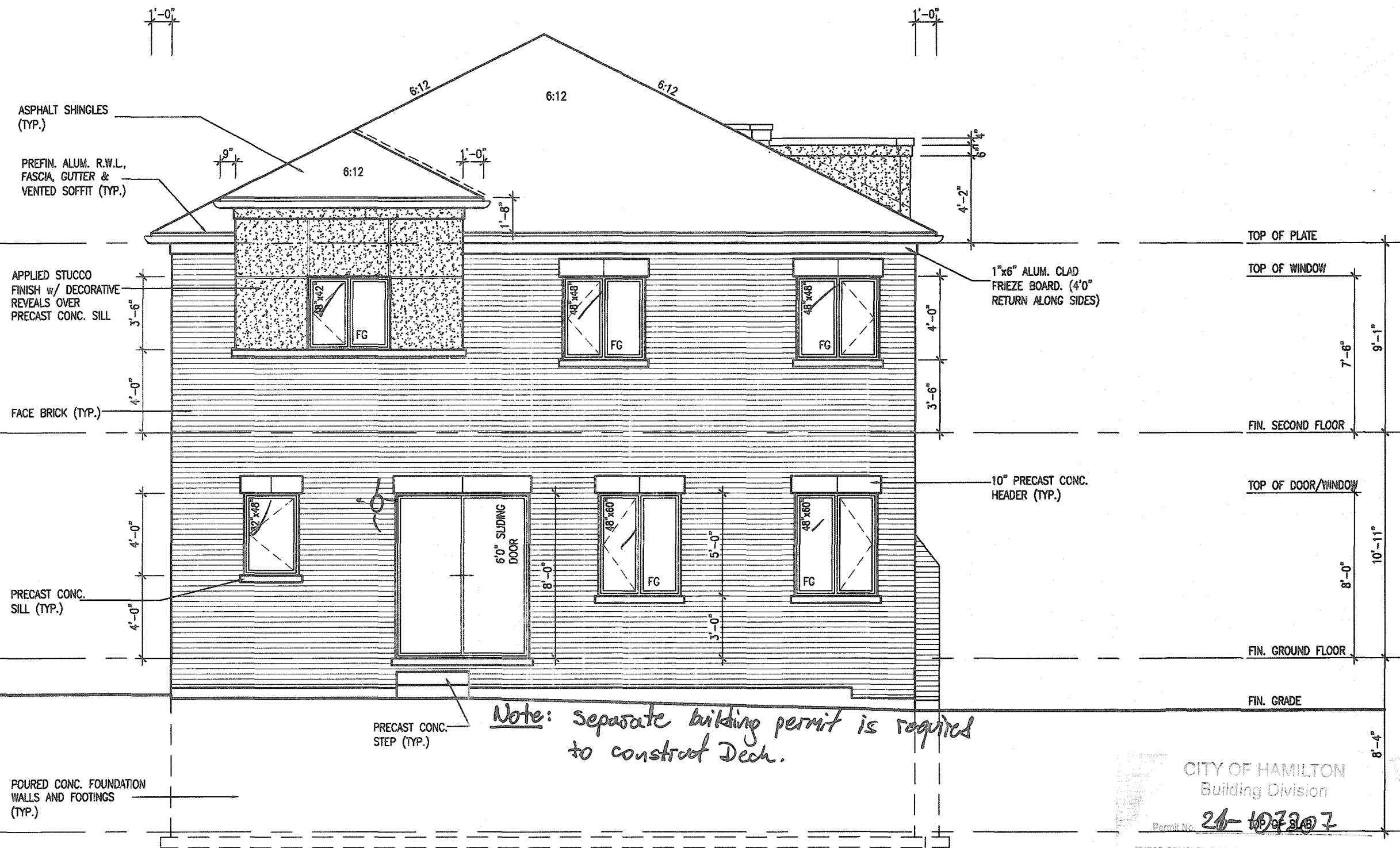
municipality
HAMILTON, ON

project no.
19014

drawing no.
A6b

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3288 SF.



UPGRADED REAR ELEVATION '3'

MOUNTAINASH 5-341
COMPLIANCE PACKAGE 'A1'



MOUNTAINASH 5
13.5m

UPGRADED REAR ELEVATION - ELEV. 3

විකල්ප ෨.

A7b

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter, or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY 
DATE JAN 28, 2021
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
liability to the user.

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7					
6					
5					Richard Vink 24-48 signature
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW		name registration information VAS Design Inc. BC 42655
3	ISSUED FOR PERMIT.	APR 13/20	GW		
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW		Orderer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW		
no.	description	date	by		



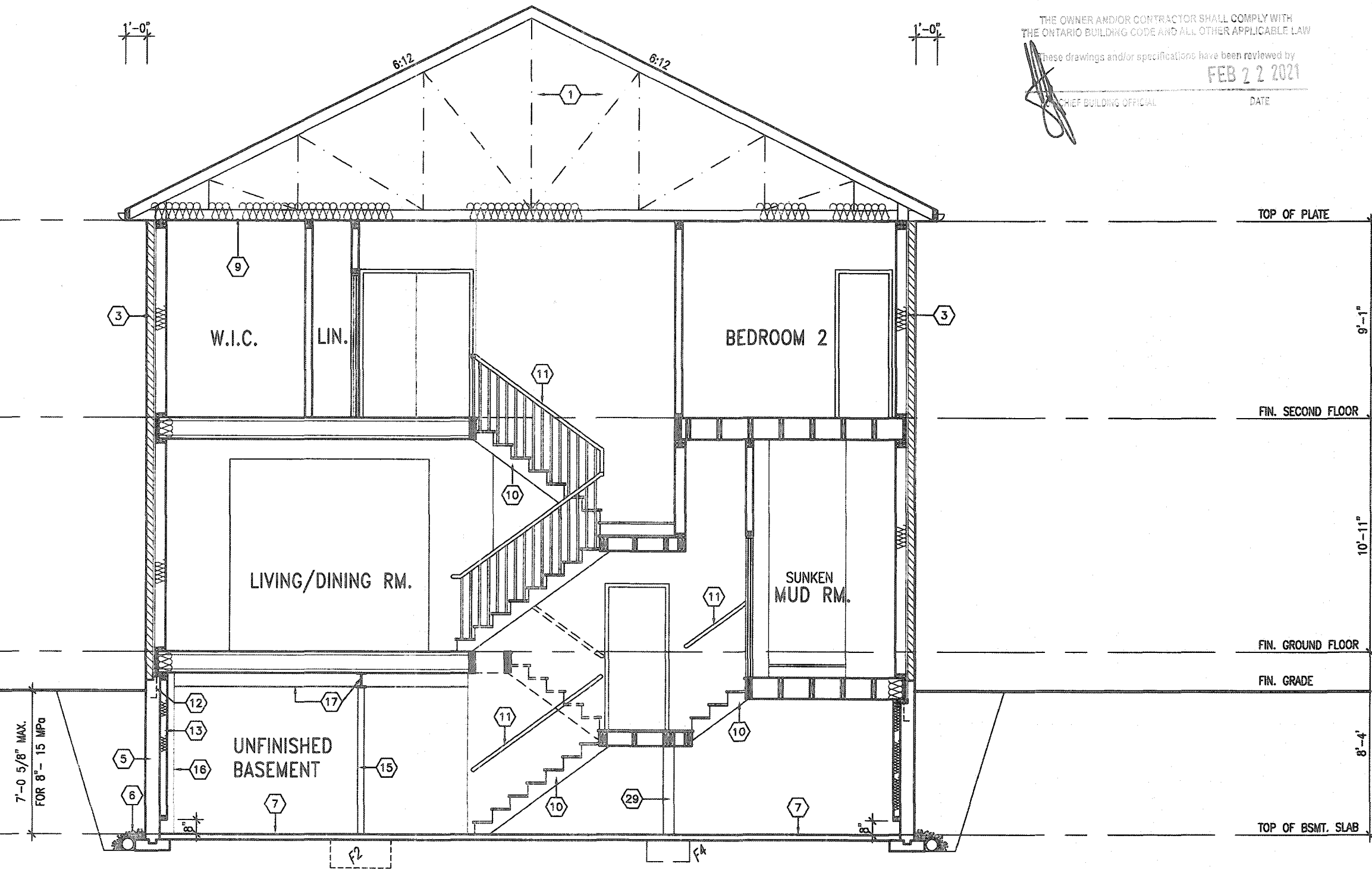
VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

CITY OF HAMILTON
Building Division
Permit No. 21-107207
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FEB 22 2021

CHIEF BUILDING OFFICIAL DATE



SECTION A-A ELEVATION '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON



STRUDET INC.
FOR STRUCTURE ONLY

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 Greenpark.	MOUNTAINASH 5 13.5m	project no. 19014	municipality HAMILTON, ON	drawing no. A8b
8										
7										
6										
5										
4	CUSTOM DRAWING PER PURCHASER REQUEST	NOV 11/20	GW	name registration information VA3 Design Inc. 42658						
3	ISSUED FOR PERMIT.	APR 13/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.						
2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 26/20	GW							
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW							
no.	description	date	by							

project name RUSSELL GARDENS PH. 3	SECTION A-A - ELEV. 3
date JANUARY 2020	scale 3/16" = 1'-0"
drawn by CL	checked by -
19014-MOUNTAINASH-5-341	
19014-MOUNTAINASH-5-341.dwg - Mod - Rev 11 2020 - 4:38 PM	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.