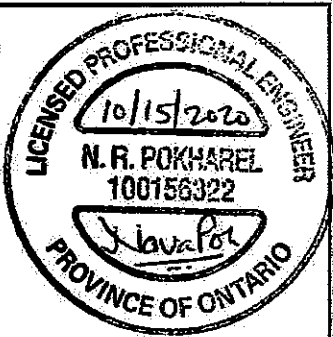


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THE LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE CITY DESIGNER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION, BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



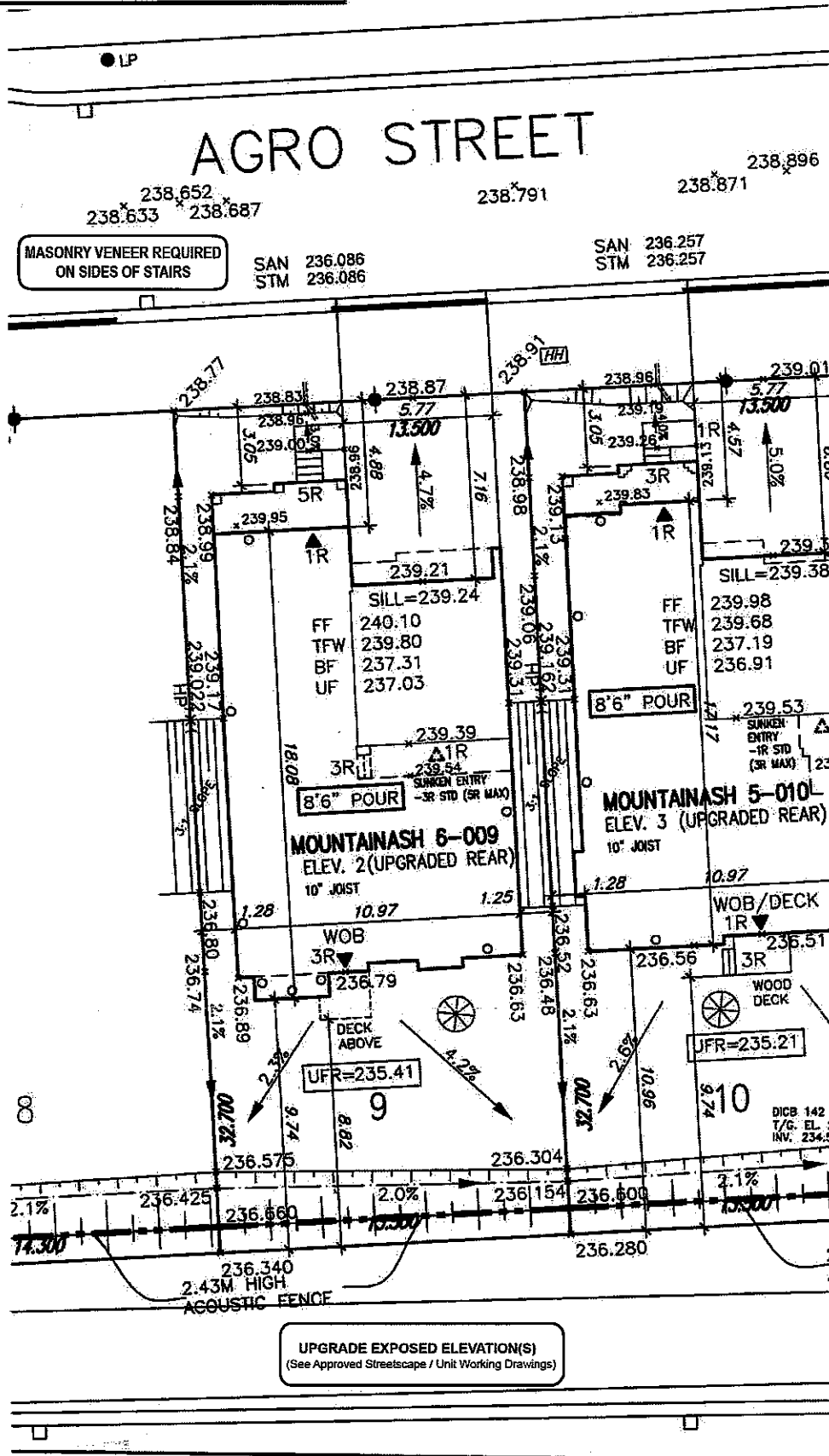
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: OCT 26, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



Permit No. 21 10 24 12
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMILTON'S ZONING BY-LAW AND ALL OTHER APPLICABLE REGULATIONS
These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

MOUNTAIN BROW ROAD

CITY OF HAMILTON
BUILDING DEPARTMENT
Planning & Development Department
JAN 19 2021
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

LOT No.	LOT WIDTH (M) (± 0.0m)	LOT AREA (M²)
9	13.50	441.45

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

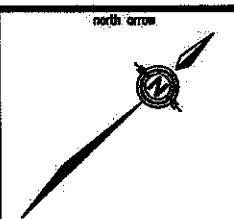
VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

SYMBOL	DESCRIPTION
LP	PROPOSED VALVE
W	WATER SERVICE
DS	DOUBLE STN/SWL CONNECTION
SS	SINGLE STN/SWL CONNECTION
CB	CATCH BASIN
CTP	CABLE TELEVISION PEDestal
BP	BELL PEDestal
H	HYDRANT
T	TRANSFORMER
FF	FINISHED FLOOR ELEVATION
ML	FINISHED MAIN LEVEL ELEVATION
UF	UNDERSIDE FOOTING ELEVATION
BF	FIN. BASEMENT FLOOR SLAB
TFW	TOP OF FOUNDATION WALL
UFR	UNDERSIDE FOOTING AT REAR
UFR	UNDERSIDE FOOTING AT FRONT
UFS	UNDERSIDE FOOTING AT SIDE
W.O.D.	WALK OUT DECK
W.O.B.	WALK OUT BASEMENT
REV	REVERSE PLAN
STREET SIGN	STREET SIGN
MAIL BOX	MAIL BOX
RETAINING WALL	RETAINING WALL
CHAIN LINK FENCE	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL	HYDRO SERVICE LATERAL
HYDRO METER	HYDRO METER
GAS METER	GAS METER
EMBANKMENT	EMBANKMENT (±1 SLOPE unless otherwise noted)
PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL	THIS LOT CONTAINS ENGINEERED FILL
AC	AIR CONDITIONER REQUIRED
RD	RAW WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
SW	SIDE WINDOW LOCATION
OD	OPT. DOOR LOCATION
ED	EXTERIOR DOOR LOCATION
REDUCE SIDE YARD	REDUCE SIDE YARD



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT.	SEP 29/20	GW

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PHASE 3
date
SEPT. 2020
drawn by
GW
checked by
-
scale
1:250
municipality
HAMILTON
LOT SITING/GRADING
19014-RG3-SITE-LAYOUTS
drawing no.
1

lot/block no.
009
registered plan no.
62M-1266
project no.
19014
drawing no.
1