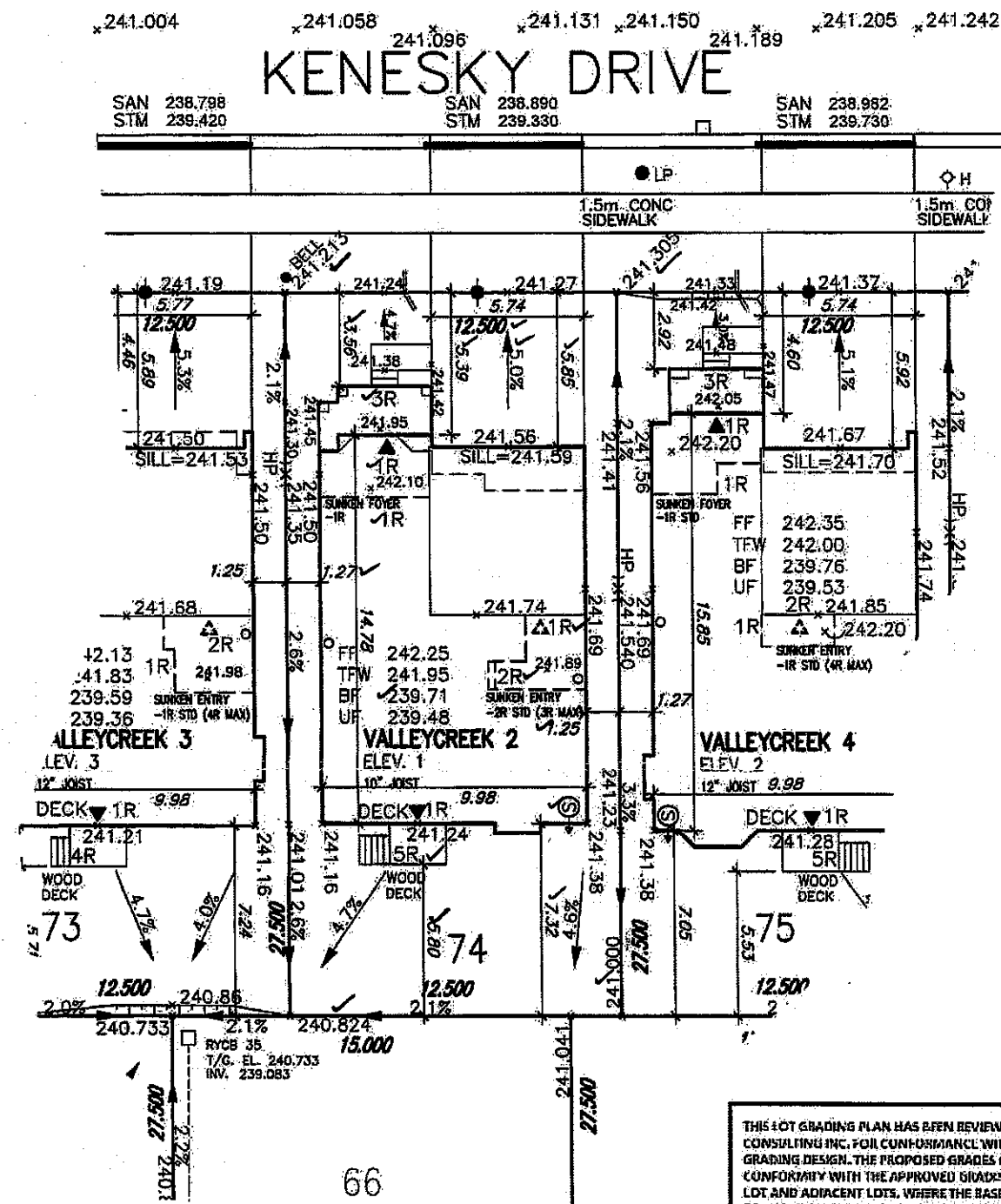


CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 26 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: OCT 26, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON
Building Division
Permit No. 20-196219
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE 3/03/21

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE USER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.

LICENSED PROFESSIONAL ENGINEER
N. R. POKHAREL
100156322
PROVINCE OF ONTARIO

LOT 74		
LOT No.	LOT WIDTH (M) (±0.0m)	LOT AREA (M²)
74	12.50	343.75

NOTE: SUMP PUMP REQUIRED. SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

LEGEND: PROPOSED VALVE, LIGHT POLE, HYDRANT, TRANSFORMER, WATER SERVICE, DOUBLE/ SINGLE STM./SAN. CONNECTION, CATCH BASIN, CABLE TELEVISION PEDestal, BELL PEDestal, No. of RISERS, FINISHED FLOOR ELEVATION, FINISHED MAIN LEVEL ELEVATION, UNDERSIDE FOOTING ELEVATION, FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL, UNDERSIDE FOOTING AT REAR, UNDERSIDE FOOTING AT FRONT, UNDERSIDE FOOTING AT SIDE, W.O.D. WALK OUT DECK, W.O.D. WALK OUT BASEMENT, REV. REVERSE PLAN, STREET SIGN, MAIL BOX, RETAINING WALL, CHAIN LINK FENCE, ACoustical FENCE, WOOD SCREEN FENCE, HYDRO SERVICE LATERAL, HYDRO METER, GAS METER, EMBANKMENT, PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA, THIS LOT CONTAINS ENGINEERED FILL, AIR CONDITIONER REQUIRED, RAIN WATER DOWNSPOUT LOCATION, SIDE WINDOW LOCATION, OPT. DOOR LOCATION, EXTERIOR DOOR LOCATION, REDUCE SIDE YARD.

VA3 DESIGN
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Toronto ON M2J 1R4
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va3design.com

Greenpark
Project name: RUSSELL GARDENS PHASE 3
City: HAMILTON
Date: SEPT. 2020
Scale: 1:250
Lot Siting/Grading
19014-RG3-SITE-LAYOUTS.dwg
10/13/2020 9:28 AM

lot/block no. 074
registered plan no. 62M-1266
project no. 19014
drawing no. 1