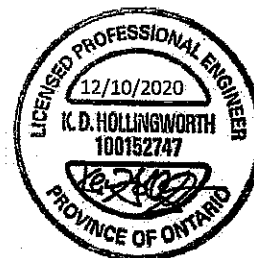


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

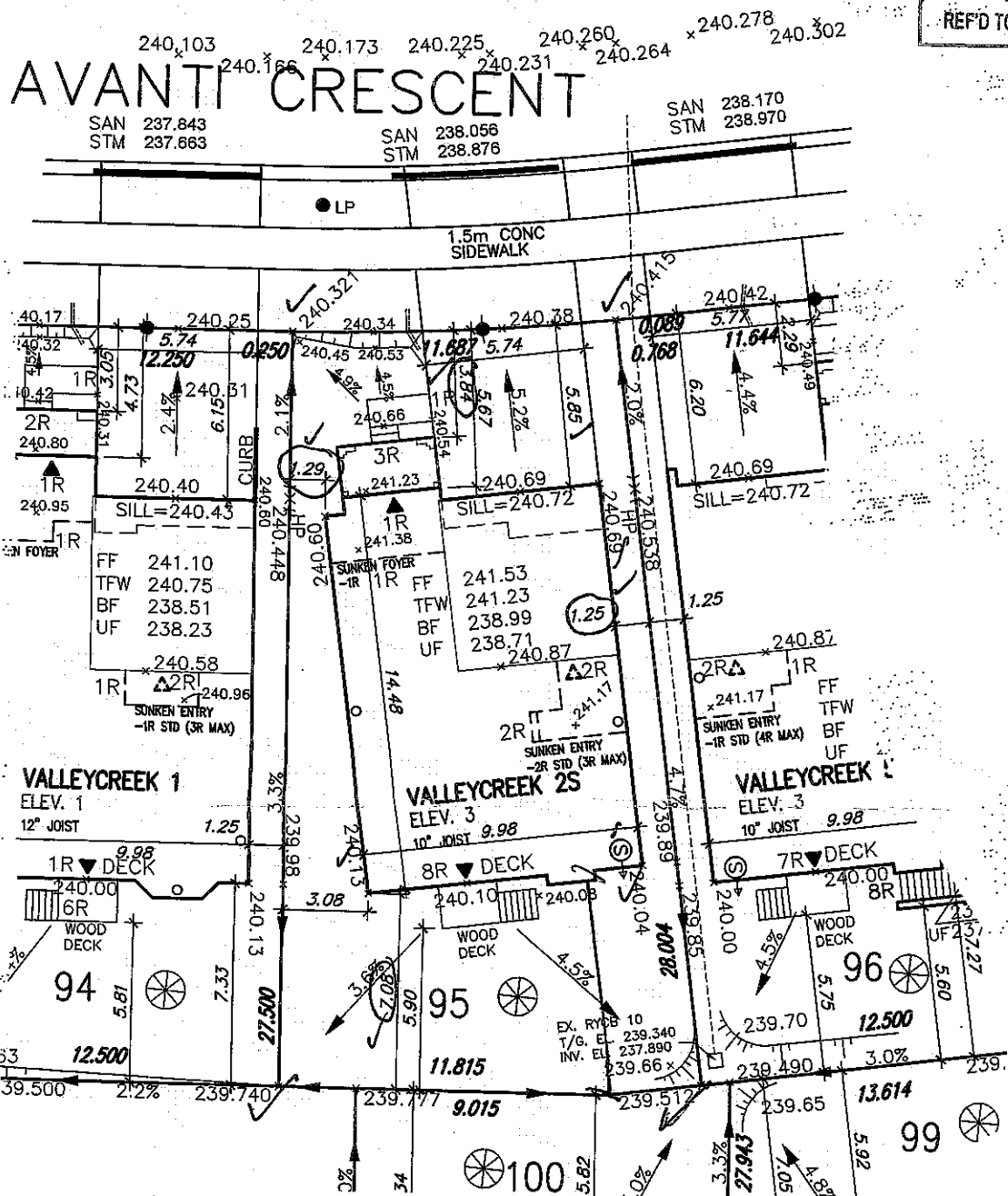
APPROVED BY:   
DATE: DEC 10 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

JAN 13 2020

REC BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REF'D TO: \_\_\_\_\_ DATE: \_\_\_\_\_



CITY OF HAMILTON  
Building Division

Permit No. 21-102417

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE

\* SEPERATE DECK PERMIT \*  
21-

ENGINEER FILLED LOT

DYE TEST REQ'D.

LOT 95

LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M <sup>2</sup> )
95	12.39	374.41

SUMP PUMP REQ'D

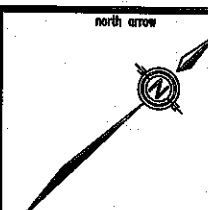
NOTE: SUMP PUMP REQUIRED  
SUMP PUMPS CONNECTED TO STORM SEWER  
ARE REQUIRED AS PER THE APPROVED SITE  
ENGINEERING DRAWINGS. REFER TO DRAWINGS  
PREPARED BY METROPOLITAN CONSULTING INC.  
SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR  
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.  
CONTRACTOR TO VERIFY PRIOR TO  
INSTALLATION.

PROPOSED VALVE	LP	HYDRANT	TRANSFORMER	DOUBLE SIM./SAN. CONNECTION	CATCH BASIN	CABLE TELEVISION PEDestal	BELL PEDestal	No. OF RISERS	FF	FINISHED FLOOR ELEVATION	ML	FINISHED MAIN LEVEL ELEVATION	UF	UNDERSIDE FOOTING ELEVATION	FIN.	FIN. BASEMENT FLOOR SLAB	TPW	TOP OF FOUNDATION WALL	UFR	UNDERSIDE FOOTING AT REAR	UFF	UNDERSIDE FOOTING AT FRONT	UFS	UNDERSIDE FOOTING AT SIDE	W.O.D.	WALK OUT DECK	W.O.B.	WALK OUT BASEMENT	R.E.V.	REVERSE PLAN
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STREET SIGN	MAIL BOX	RETAINING WALL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	HYDRO SERVICE LATERAL	HYDRO METER	GAS METER	SWALE DIRECTION	EMBARKMENT (3:1 SLOPE unless otherwise noted)
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PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA	THIS LOT CONTAINS ENGINEERED FILL	AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)	SIDE WINDOW LOCATION	OPT. DOOR LOCATION	EXTERIOR DOOR LOCATION	REDUCE SIDE YARD
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
name  
registration information  
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.  
Builder to verify service connection elevations prior to constructing foundations. \*\* Drawings NOT to be scaled \*\*

VA3  
DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark

project name  
RUSSELL GARDENS PHASE 3

municipality  
HAMILTON

date  
SEPT. 2020

drawn by  
GW

checked by  
-

scale  
1:250

LOT SITING/GRADING

file name  
19014-RG3-SITE-LAYOUTS

date  
Wed - Dec 9 2020 - 11:54 AM

lot/block no.  
095  
registered plan no.  
62M-1266  
project no.  
19014

drawing no.  
1

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