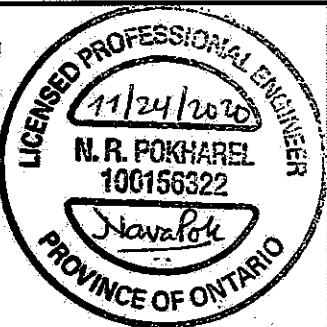


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFORM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



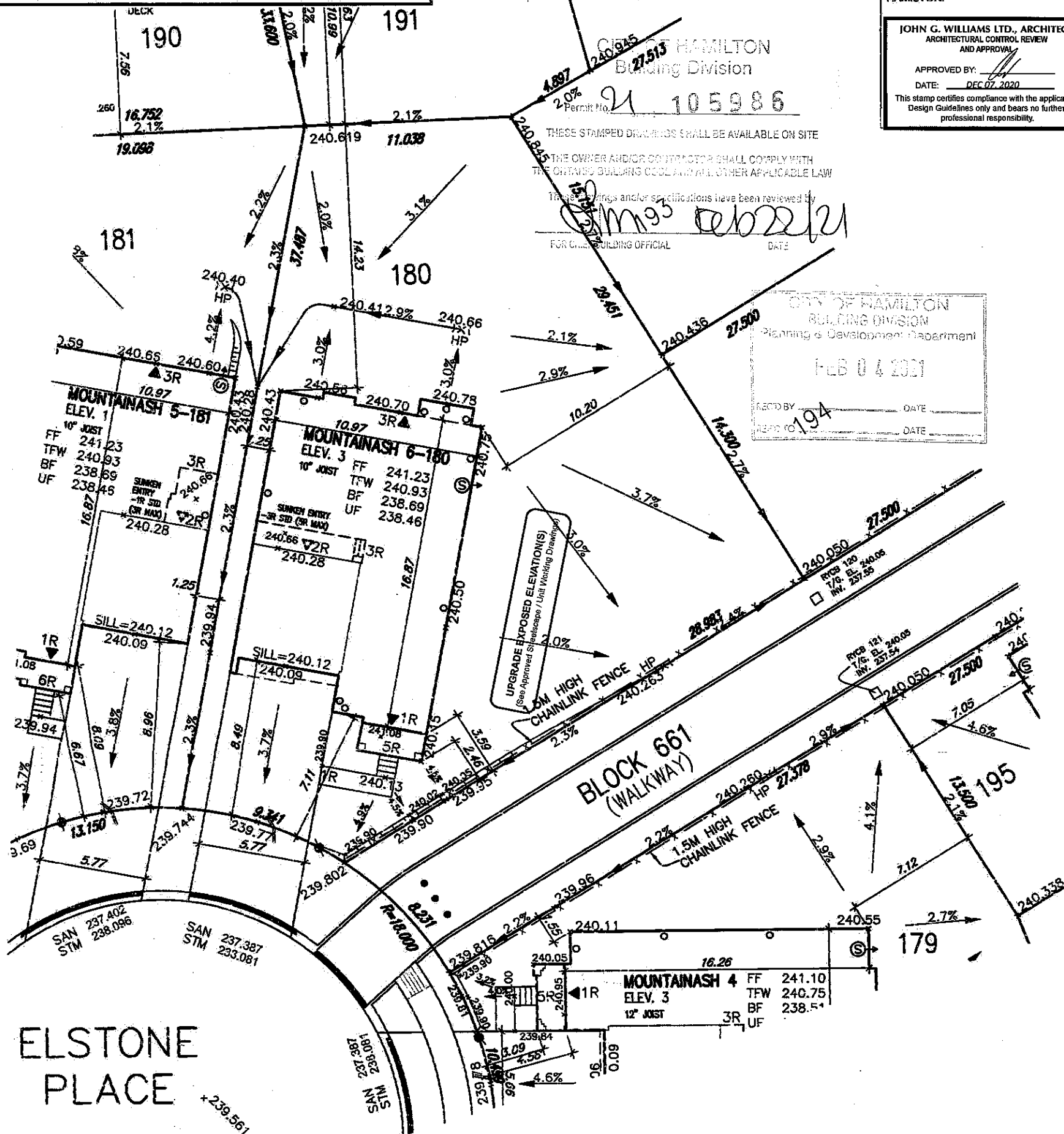
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



ELSTONE
PLACE

LOT 180		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
180	14.22	814.53

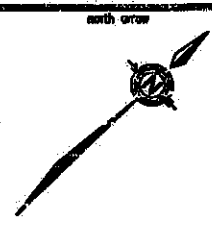
NOTE: SUMP PUMP REQUIRED. SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	NO. OF RISERS
IP LIGHT POLE	FINISHED FLOOR ELEVATION
WATER SERVICE	FINISHED MAIN LEVEL ELEVATION
DOUBLE STL/SAN. CONNECTION	UNDERSIDE FOOTING ELEVATION
SINGLE STL/SAN. CONNECTION	FIN. BASEMENT FLOOR SLAB
CATCH BASIN	TOP OF FOUNDATION WALL
CHOLE TELEPHONE PEDESTAL	UNDERSIDE FOOTING AT REAR
BELL PEDESTAL	UNDERSIDE FOOTING AT FRONT
	UNDERSIDE FOOTING AT SIDE
	W.O.D. WALK OUT DECK
	W.O.D. WALK OUT REVERSE
	REVERSE PLAN

STREET SIGN	PROMISE 3/4" DIA. CLEAR STONE IN THIS AREA
MAIL BOX	THIS LOT CONTAINS ENGINEERED FILL
REINFORCING WALL	AC AIR CONDITIONER REQUIRED
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	RAW WATER DRAINAGE LOCATION (DISCHARGE ONTO SPLASHPAD)
ACoustical FENCE (SEE LANDSCAPE PLAN)	SIDE WINDOW LOCATION
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	OPT. DOOR LOCATION
HYDRO SERVICE LATERAL	EXTERIOR DOOR LOCATION
HYDRO METER	REDUCE SIDE YARD
GAS METER	
SEWERAGE (S1 SLOPE unless otherwise noted)	

REDUCE SIDE YARD



The undersigned has reviewed and taken responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to provide at his own expense.
Builder to verify service connection elevations prior to constructing foundations. Drawings NOT to be used.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.530.2255 / 416.530.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PHASE 3
date
SEPT. 2020
drawn by
GW
checked by
scale
1:250
municipality
HAMILTON
LOT SITING/GRADING
19014-RG3-SITE-LAYOUTS
date
Nov 20 2020 - 9:55 AM

lot/block no.
180
registered plan no.
62M-1266
project no.
19014
drawing no.
1