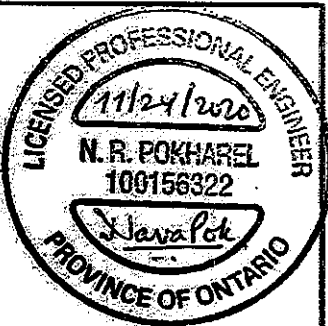


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

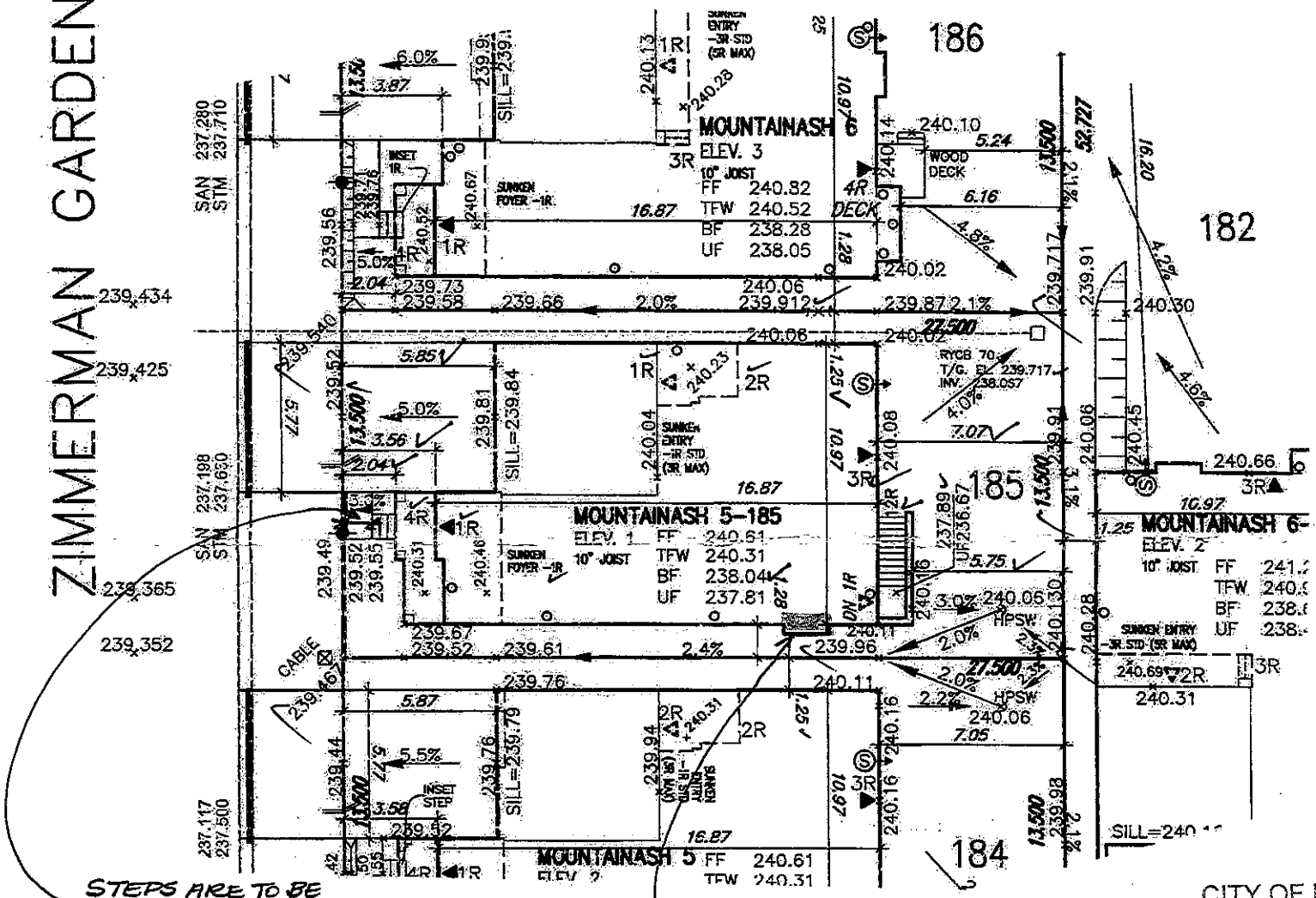
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ZIMMERMAN GARDENS



STEPS ARE TO BE MIN. 1m FROM FRONT PROPERTY LINE, THEREFORE, STEPS ARE MAX. 13" EACH (3 STEPS) MAX.

MIN 45 MIN. FRR
NO UNPROTECTED OPENINGS.

CITY OF HAMILTON
Building Division
Permit No. 21-105956

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by [Signature] FEB. 17/21
FOR CHIEF BUILDING OFFICIAL DATE

LOT 185		
LOT No.	LOT WIDTH (M) (6.80m)	LOT AREA (M²)
185	13.50	371.25

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by MetropoliCon Consulting Inc.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET N1/017-N3.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALUE LP LIGHT POLE WS WATER SERVICE DC DOUBLE SW/SAN CONNECTION SC SINGLE SW/SAN CONNECTION GB GREEN BUSH BT TELEVISION PEDestal BE BELL PEDestal	NO. OF RISERS FF FINISHED FLOOR ELEVATION ML FINISHED MAIN LEVEL ELEVATION UF UNDERSIDE FOOTING ELEVATION BF FIN. BASEMENT FLOOR SLAB TF TOP OF FOUNDATION WALL UR UNDERSIDE FOOTING AT REAR UF UNDERSIDE FOOTING AT FRONT US UNDERSIDE FOOTING AT SIDE W.O.D. WALK OUT DECK W.O.B. WALK OUT BASEMENT REV REVERSE PLAN	STREET SIGN MAIL BOX RETAINING WALL CHAIN LINK FENCE (SEE LANDSCAPE PLAN) ADJUNCTION FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL HYDRO METER GAS METER ENLIGHTENMENT (SEE SLOPE unless otherwise noted)	PROVIDE 1/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL AIR CONDITIONER REQUIRED RAIN WATER DISCHARGE LOCATION (DISCHARGE ONTO SPLASHPAT) SIDE WINDOW LOCATION OPT. DOOR LOCATION EXTERIOR DOOR LOCATION REDUCE SIDE YARD
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9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.			
1.	ISSUED FOR PERMIT.	NOV-20/20	GW
no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and for the quantities and made the requirements set out in the Building Code to be a Designer.

qualification information
Richard Vink 24488
name: [Signature]
registration information
VA3 Design Inc. 42658
BCH

Builder to verify location of all hydrants, street lights, transformers and other services. If information dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service location, elevation, prior to constructing foundation. Drawings NOT to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark	185 62M-1265 19014
RUSSELL GARDENS PHASE 3	LOT SITING/GRADING
DATE: 2020 DRAWN BY: [Signature] CHECKED BY: [Signature] SCALE: 1:250 GREG - H:\ARCHIVE\WORKING\2019\19014\GRE SITE PLAN\19014-RG3-SITE-LAYOUTS.dwg - FR - Nov 20, 2020 - 9:56:AM	1 19014-RG3-SITE-LAYOUTS