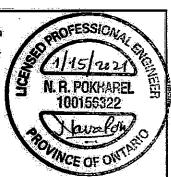
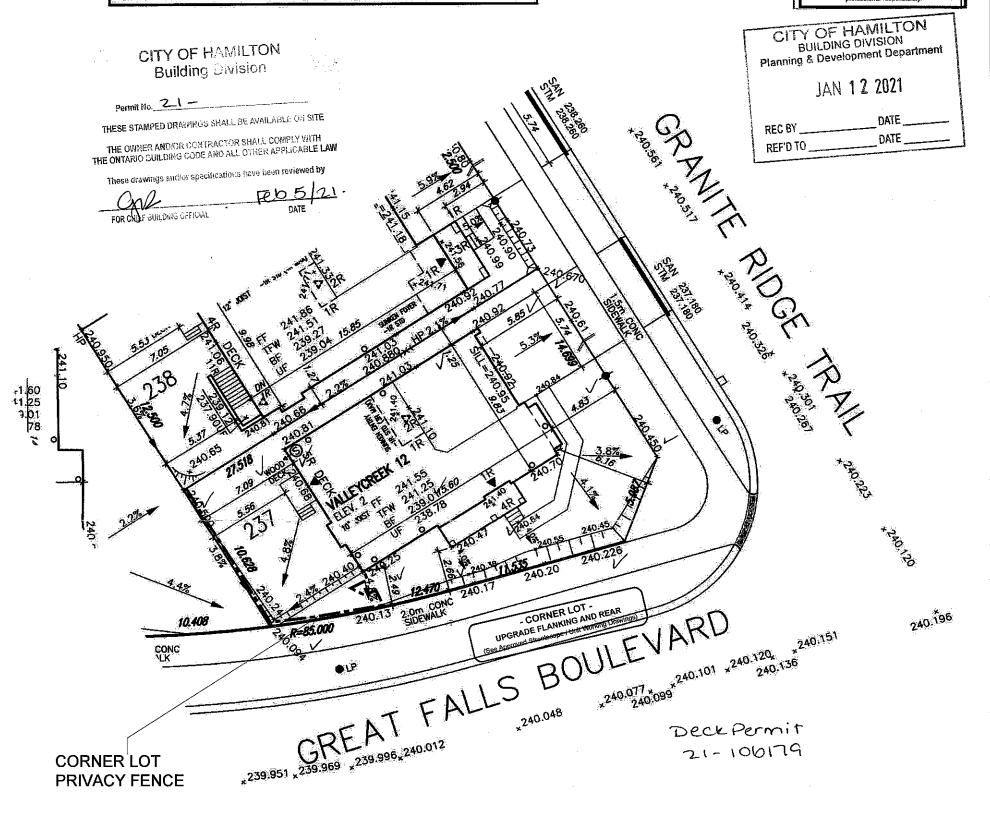
THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN THIS LOT, GRADING PEAN HAS SEEN REVIEWED BY METROPOLITÄK
CONSULLING INC., FOR CONFORMANCE WITH THE APPROVED SUBDIVISION
GRADING DESIGN. THE PROPOSED GRADES ON THIS PEAN ARE IN GENERAL
CONFORMITY WITH THE APPROVED GRADEND PLAN AS IT RELATES TO THIS
LOT AND ADIALENT LOTS. WHERE THE BASEMENT FLOOR OR COTHER
FOUNDATION ELEVATIONS ARE PIROPOSED AT A DIFFERENT ELEVATION
HAN THAT SHOWN ON THE APPROVED SUBBINISION PLANS THE SEWER
LATERALS HAVE BEEN REVIEWED AND WE ARE SAISSIED THAT THE
MINRIUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN
ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN
RITERIA. NOTE: THIS CERTIFICATION DOES NOT HEPLACE THE BUILDER'S CRITERIA, NOTE, THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSED ITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION, BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO RETROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDENOUS FOUND IN THE FIELD



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines, and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW JAN 18, 2021 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



LO.	T 237	
LOT No.	LOT WIDTH (M) (© 6.0m)	LOT AREA (MP)
237	17.93	414.72

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6° above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.	MOTER SERVICE TO TRANSFORMER UP UNDERSE  V DOUBLE STM./SAM. CONNECTION UP UP UNDERSE  SINGLE STM./SAM. CONNECTION UP UP UNDERSE  LEFT UNDERSE	FLOOR ELEMBON  JUNE LEVEL ELEMBON  DIENT FLOOR SLAB  FOUNDATION WALL  DE FOOTING AT FLOOR  DE FOOTING AT FLOOR  DE FOOTING AT SIDE  TO DECK  TO DESCRIENT	— YE CHAN LINK FENCE (SEE LANDSCAPE PLAN)  — MOOD SCREEN FENCE (SEE LANDSCAPE PLAN)  H — HODD SERVICE (ATERAL  HODD METER	PROVIDE 3/4" DIA: CLEAR STONE IN THIS AREA  THIS LOT CONTAINS ENGINEERED FILL  AC AR CONDITIONER REQUIRED  WINTER COMMSPOUT LOCATION (OSCHARGE COUG. STACKIPPO)  OPT. DOOR LOCATION  EXTERNOR DOOR LOCATION  REDUCT. SDE YARD	north orrow
9	Grand Badhy Code & Communication information Richard Vinik 24485	VAR	<b>#Green</b>	oark.	let/block no. 237 . registered plus no. 62M—1266
5.	nome venic venic signoture SCII VA5 Design Inc. 42656	NECION I	RUSSELL GARDENS PHASE 3	HAMILTON	19014
3	Builder to verify tection of oil hydronts, street lights, transformers and other services. If maintain discensions are not maintained, builder is to release of his own expense.  Builder to write service connection elections prior to construction.	255 Consumers Rd Suite 120 Torento ON M2J 1R4 t 416.630.2255 f 416.630.4782	SEPT. 2020  Grown by checked by scole  GW 1:25  GREG = HAVARCHME\WORKRKS/2019/1901+GRE\SITE PLAN\	0 19014-R	NG/GRADING  So nome  (G3-SITE-LAYOUTS  13.2021 - 11:19.AU