THIS LOT GRADING I'LAN HAS BEEN REVIEWED BY METROPOLITAN THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADIES ON THIS PLAN ARE IN GENERAL COMPORTMEN WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE NIMEMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCOMPANIE WITH THE REQUIREMENTS OF THE ORE. AMOUNT OF SIGN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA, NOTE, THIS CERTIFICATION DOES NOT REPLACE THE QUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM RESPONSEIGNT TO EXCAVATING FOILTHE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSELE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE

REDUCES SIDE YARD

25,0

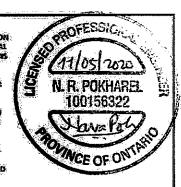
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1 ISSUED FOR PERMIT.

no. description

SEP 29/20

\*

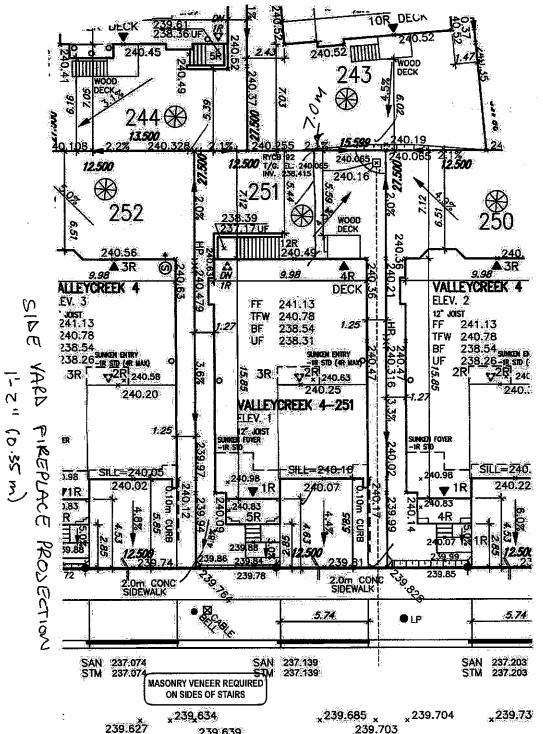


This is to certify that these plans compl with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW

DATE: NOV 17, 2020 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

\*ENGINEERED FILL LOT \*



CITY OF HAMILTON **Building Division** 

21-106030

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FEB 26/21 FOR CHIEF BUILDING OFFICIAL DATE

**x239.685** x 239.703 FALLS BOULEVARD

**LOT 251** LOT No. AREA (M²) WIDTH (M) 251 12.50 343.75

Grading Notes: It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

W.3 Design Inc. is to be notified promptly of any discrepancies at least I (ane) week pror to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of a cost to VK3 Design Inc. Foundation wall shall be poured to a minimum of 6° above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict linish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

1:250

19014-RG3-SITE-LAYOUTS

LR No. OF RISERS
FF FINSHED FLOOR ELEMBON
FM. PINSHED MAN LEVEL ELEMBON
OF THE MISSING MAN LEVEL ELEMBON
OF THE MISSING MAN LEVEL ELEMBON
FM. MISSING FOOTING AT REAR
UPS UNDERSOLE FOOTING AT FROM
W/S UNDERSOLE FOOTING AT FROM
W/S UNDERSOLE FOOTING AT SIDE
W/S UNDERSOLE FLAN
REVERSE FLAN O PROPOSED VINUE SWEET SIGN PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA H O HORNI MY BOX LIGHT POLE OR THIS LOT CONTINUS ENGINEERED FILL \* X X COUNT LANG FORCE (SEE LANDSCAPE PLAN)

ACCUSTICAL FORCE (SEE LANDSCAPE PLAN) WATER SERMICE TRANSFORMER 0 AC AR CONDITIONER REQUIRED DOUBLE STAL/SAL CONNECTION WOOD SCREEN FENCE (SEE LANSSCAPE PLAN) OR III (DISCHARSE OWN) SPASSAPAD) NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO SMCLE STAL/SINL CONNECTION -11-- INDRO SERVICE LATERAL SEE WHOOM LOCATION

OPT. DOOR LOCATION CARCH BASIN 무때 CAS METER SINLE DIRECTION INSTALLATION. CHOILE TELEVISION PRIESTAL

ORIL PEDESTAL A EXTERIOR DOOR LOCATION (31 SLOT unless otherwise school) 25 62M-1266 24488 HAMILTON RUSSELL GARDENS PHASE 3 19014 42658 VAJ Design Inc. LOT SITING/GRADING SEPT. 2020 255 Consumers Rd Suite 120 Taronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 255 Consumers 120 Builder to verify location of all by other garvices. Il minimum dimens

GREG - H:\archive\working\2019\19014.gre\ste-plan\19014-rc3-ste-laxouts.diig va3design.com ne of the property is when or in part is study particular which ISS MINISTER which in and design are the capable properly of 10% DESIGN. Pay