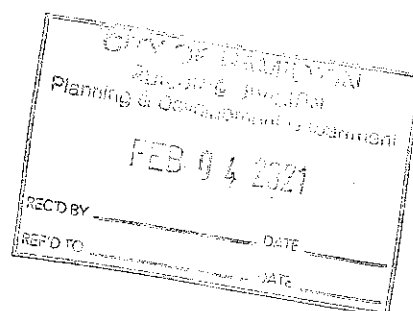


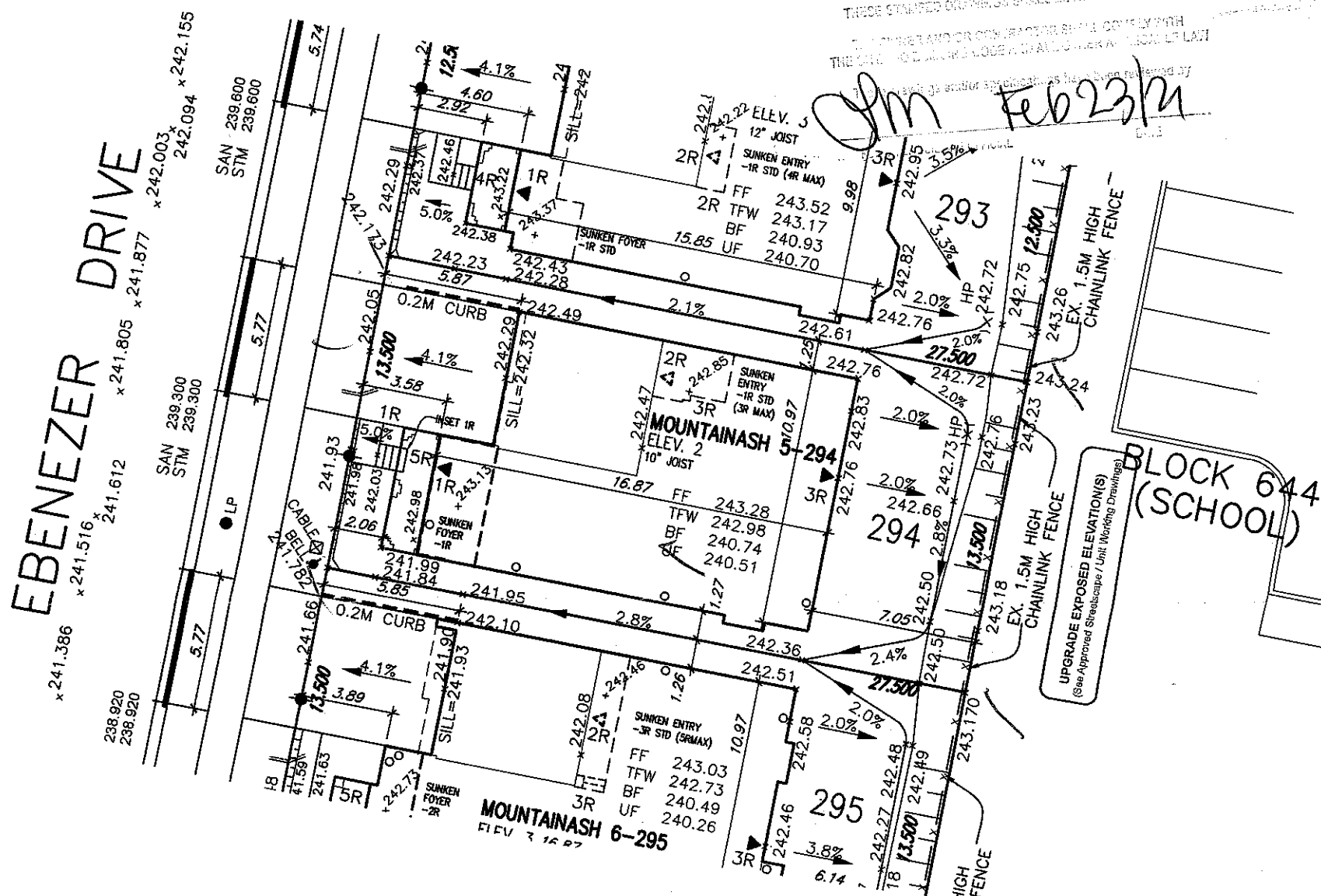
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



Permit No. 107192

THE CONTRACT AND OR CONTRACTS SHALL COMPLY WITH THE ONE FOR ALL AND ONE FOR ALL WORKING LAW

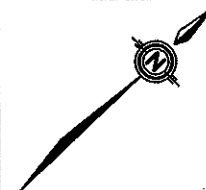
Feb 23/21



LOT 294		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M <sup>2</sup> )
294	13.50	371.25


*These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.*

north arrow



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	.	.	.	Richard Vink 24488
5	.	.	.	name signature BCM
4	.	.	.	registration information
3	.	.	.	VAS Design Inc. 42658
2	.	.	.	Builder to verify location of oil hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
1	ISSUED FOR PERMIT.	SEP 29/20	GW	Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be sealed **
no.	description	date	by	

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478;  
va3design.com

 <b>Greenpark™</b>		lot/block no. <b>294</b> registered plan no. <b>62M-1266</b>
project name <b>RUSSELL GARDENS PHASE 3</b>	municipality <b>HAMILTON</b>	project no. <b>19014</b>
date <b>SEPT. 2020</b>		drawing no. <b>1</b>
drawn by <b>GW</b>		checked by -
scale <b>1:250</b>		title name <b>19014-RG3-SITE-LAYOUTS</b>
GREG - H:\ARCHIVE\WORKING\2019\19014\GREG SITE PLANS\19014-RG3-SITE-LAYOUTS.dwg - Wed - Nov 4 2020 - 12:10 PM		

[illegible]