CAST TAMES TO Park the granting Planning & October Production of Comment FEB 9 4 2021

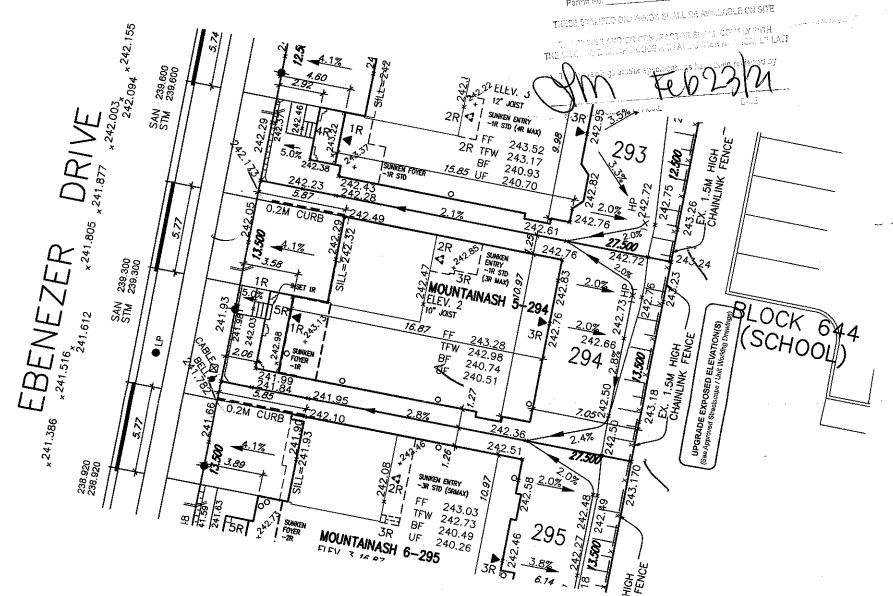
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL DATE: NOV 10, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF PAMILION Bunday Division 107192



LOT	294	
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M²)
294	13.50	371.25

H 💠 HYDRANT

WATER SERVICE TRANSFORMER

DOUBLE STM./SAM. CONNECTION

SINGLE STM./SAN. CONNECTION

PROPOSED VALVE

LP 🌑 LIGHT POLE

VA3 Design Inc.

SEP 29/20

date

<u>Grading Notes:</u>
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an appearance of the placement of storm and sanitary services off the street are to meet the requirements of the having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of arcost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6° above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

1 ISSUED FOR PERMIT.

no. description

SINGLE STIM_/SAM. COMMECTION CATCH BASIN CABLE TELEVISION PEDESTAL BELL PEDESTAL	UFF UFS W.O.D. W.O.B.	UNDERSIDE FOOTH UNDERSIDE FOOTH WALK OUT DECK WALK OUT BASEME	ig at front ig at side
● [©] BELL PEDESTAL	REV	reverse plan	
The state of the confliction and make the regard outside Building Code to be a Dadgare. quelification information Richard Vink	Ł	decign is the	V
name / V signature recistration information		BCINE	

W3
DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com

No. OF RISERS FINISHED FLOOR ELEVATION

TFW

FINISHED MAIN LEVEL, ELEVATION UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL

UNDERSIDE FOOTING AT REAR

42658



north arrow
,
lot/Morte o

19014-RG3-SITE-LAYOUTS

19014

H	Gr			park.	
project name RUSSELL	GARDENS	PHASE	3	municipality HAMILTON	
date SEPT. 2020				LOT	SITING/GRADING

1:250

PROVIDE 3/4" DM. CLEAR STONE IN THIS AREA

OR 🔳

THIS LOT CONTAINS ENGINEERED FILL

AC AIR CONDITIONER REQUIRED

O SIDE WINDOW LOCATION OPT. DOOR LOCATION

EXTERIOR DOOR LOCATION

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

..... STREET SIGN WAIL BOX

ACOUSTICAL FÉNCE (SEE LANDSCAPE PLAN)

HYDRO METER

CHAIN LINK FENCE (SEE LANDSCAPE PLAN)

- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)

RETAINING WALL

8 M

P (3)