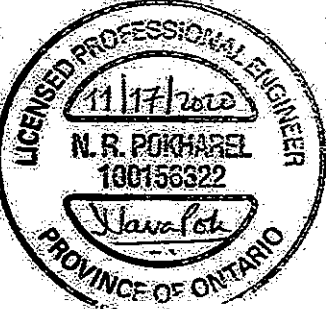


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



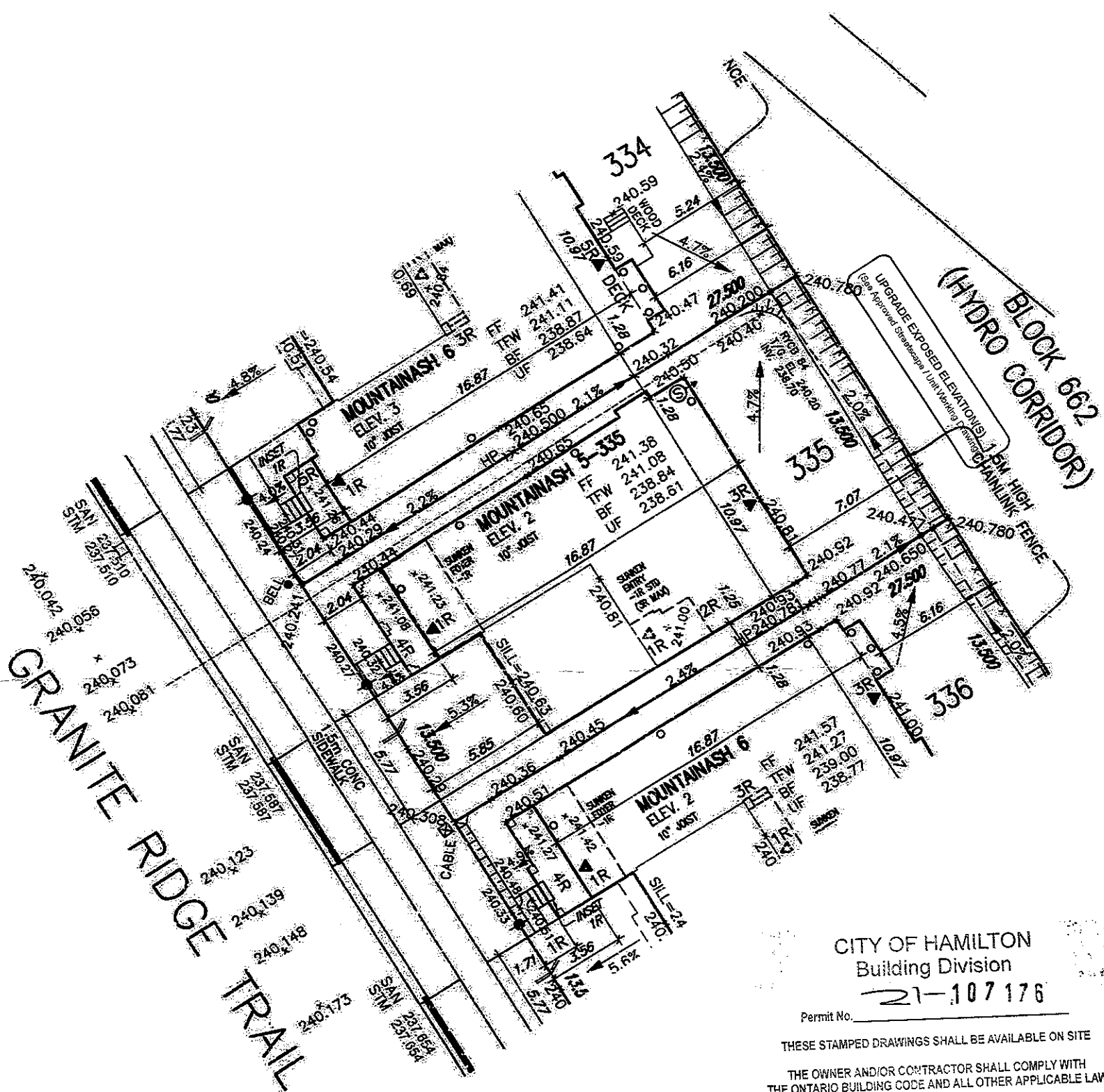
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON  
Building Division

21-107176

Permit No.

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FEB 23 2021

FOR CHIEF BUILDING OFFICIAL

DATE

LOT 335		
LOT No.	LOT WIDTH (M) (± 5.0m)	LOT AREA (M²)
335	13.50	371.25

#### Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

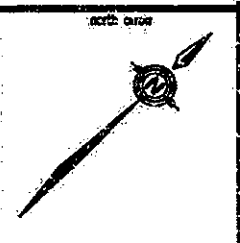
Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolis Consulting Inc.

**NOTE: SUMP PUMP REQUIRED**   
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET: W14017-N1.

**NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.**

PROPOSED VALUE	SYMBOL	DESCRIPTION
LP		LIGHT POLE
W		WATER SERVICE
Y		DOUBLE S/W/S CONNECTION
Y		SINGLE S/W/S CONNECTION
CB		CATCH BASIN
CT		CABLE TELEVISION PEDESTAL
BP		BELL PEDESTAL
FF		FINISHED FLOOR ELEVATION
ML		FINISHED MAIN LEVEL ELEVATION
UF		UNDERSIDE FOOTING ELEVATION
IF		FINAL BASEMENT FLOOR SLAB
TR		TOP OF FOUNDATION WALL
UR		UNDERSIDE FOOTING AT REAR
UF		UNDERSIDE FOOTING AT FRONT
US		UNDERSIDE FOOTING AT SIDE
WLS		WALK OUT DECK
WLS		WALK OUT DECK
REV		REVERSE PLAN
ST		STREET SIGN
MM		MANHOLE
RT		RETAINING WALL
CL		CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
AC		ACOUSTIC FENCE (SEE LANDSCAPE PLAN)
WS		WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HS		HYDRO SERVICE LATERAL
HM		HYDRO METER
GM		GAS METER
EM		ELEVATION (SEE SLOPE unless otherwise noted)
PS		PROPOSED 5/8" IN. CLEAR STONE IN THIS AREA
AC		AIR CONDITIONER REQUIRED
OW		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPACIUM)
OW		SIDE WINDOW LOCATION
OW		OPT. DOOR LOCATION
OW		EXTERIOR DOOR LOCATION
OW		REDUCE SIDE YARD



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT	NOV 06/20	GM

We acknowledge her services and take responsibility for this design and for the qualifications and make the representations set out in the Notice Bidding Notice to be a design:	
qualification information	
Richard Vink	24488
name	signature
signature information	BCM
VA3 Design Inc.	42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.	
Builder to verify service connection elevations prior to connecting foundations. Drawings NOT to be scaled.	

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
1-416-630-2255 / 416-630-4782  
va3design.com

**Greenpark**  
project name: RUSSELL GARDENS PHASE 3  
location: HAMILTON  
date: SEPT. 2020  
drawn by: GM  
checked by:   
scale: 1:250  
file name: 19014-RG3-SITE-LAYOUTS.dwg  
date: Nov 16, 2020  
time: 11:05 AM

lot/block no. 335	registration plan no. 62M-1266	project no. 19014
drawing no. 1		