

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.S.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



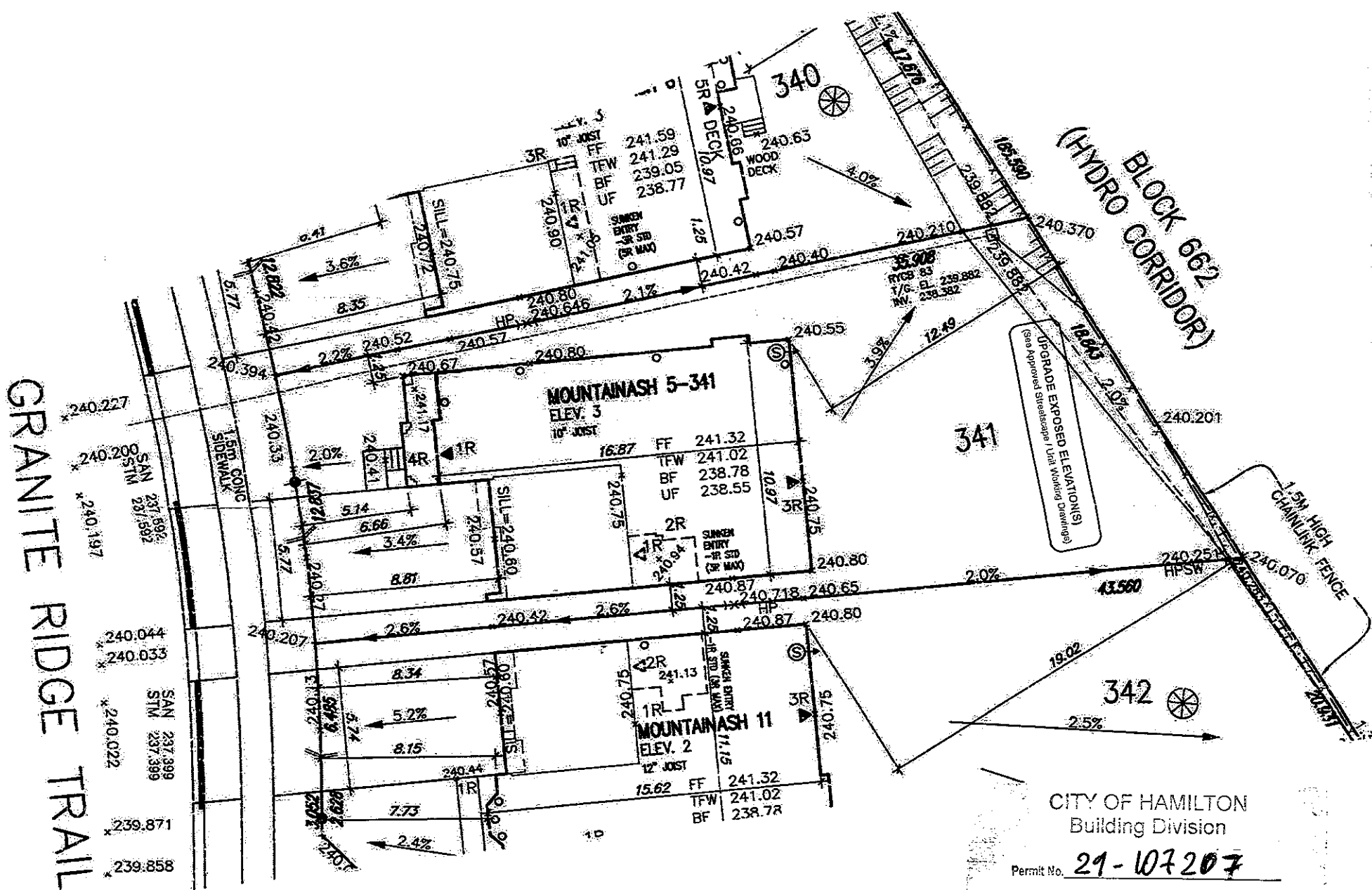
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: DEC 07, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON
Building Division

Permit No. 29-107207

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FEB 22 2021

FOR CHIEF BUILDING OFFICIAL

DATE

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

LOT 341		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
341	13.50	594.54

PROPOSED VALVE	NO. OF RISERS
UP	FF FINISHED FLOOR ELEVATION
LP	FM FINISHED MAIN LEVEL ELEVATION
WATER SERVICE	UF UNDERSIDE FLOORING ELEVATION
DOUBLE SINK/SINK CONNECTION	FB FIN. BASEMENT FLOOR SLAB
SINGLE SINK/SINK CONNECTION	TFW TOP OF FOUNDATION WALL
CATCH BASIN	URF UNDERSIDE FLOORING AT REAR
CABLE TELEVISION PEDestal	UFF UNDERSIDE FLOORING AT FRONT
BELL PEDestal	UFS UNDERSIDE FLOORING AT SIDE
	W.O.D. WALK OUT DECK
	W.O.B. WALK OUT BASEMENT
	REV. REVERSE PLAN

STREET SIGN	PROVIDE 3/4" DIA. CLOSURE
MAIL BOX	STONE IN THIS AREA
REINFORCING WALL	THIS LOT CONTAINS ENGINEERED FILL
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	AIR CONDITIONER REQUIRED
ACoustical FENCE (SEE LANDSCAPE PLAN)	MAIN UNDER DOWNSPOUT LOCATION
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	(DISCHARGE INTO SPUR/STORM)
HYDRO SERVICE LATERAL	SIDE WINDOW LOCATION
HYDRO METER	OPT. DOOR LOCATION
GAS METER	EXTERIOR DOOR LOCATION
ENHANCEMENT (2% SLOPE unless otherwise noted)	REDUCE SIDE YARD

9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT	NOV 06/20	GW
no.	description	date	by

The undersigned has reviewed and taken responsibility for this plan and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Signature:	24488
Name: Richard Vink	ICM
Registration Information: VAS Design Inc.	42658
Builder to verify location of all hydro, street lights, transformers and other services. If additional dimensions are not maintained, builder is to relocate all lot lines as required.	
Builder to verify service connection drawings prior to construction.	
Foundation: "N" Drawings NOT to be scaled.	

VA3 DESIGN
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Toronto ON M2J 1R4
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va3design.com

Greenpark
project name: RUSSELL GARDENS PHASE 3
date: SEPT. 2020
checked by: [Signature]
scale: 1:250
drawing no.: 19014-RGS-SITE-LAYOUTS
date: Nov. 18, 2020

lot/block no.	341
registered plan no.	62M-1266
project no.	19014
drawing no.	1