

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY
8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" L (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x3/8" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x3/8" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x3/8" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x3/8" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x3/8" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x235 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" L (100x90x6.0L)
L2 = 4"x3-1/2"x3/8" L (100x90x8.0L)
L3 = 5"x3-1/2"x3/8" L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" L (150x90x10.0L)
L5 = 6"x4"x3/8" L (150x100x10.0L)
L6 = 7"x4"x3/8" L (175x100x10.0L)

DOOR SCHEDULE				
NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

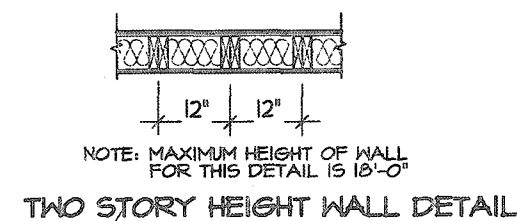
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

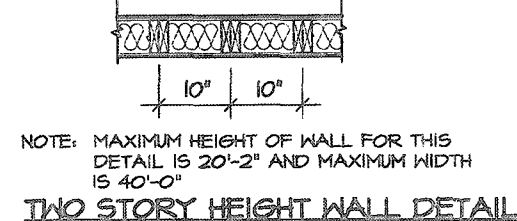
PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/W SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.

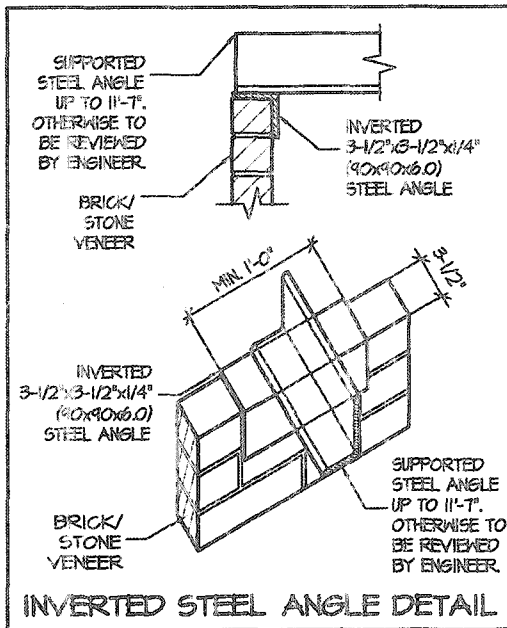


2 - 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1.057 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1237	Sq. Ft.
SECOND FLOOR AREA	=	1567	Sq. Ft.
TOTAL FLOOR AREA	=	2804	Sq. Ft.
	=	280.30	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	12	Sq. Ft.
ADD TOTAL OPEN AREAS	=	12	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2816	Sq. Ft.
	=	261.62	Sq. M.
GROUND FLOOR COVERAGE	=	1237	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	64	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1699	Sq. Ft.
	=	157.84	Sq. M.
TOTAL COVERAGE W/O PORCH	=	1635	Sq. Ft.
	=	151.90	Sq. M.

VALLEYCREEK 4		ELEV. 3		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	124.93	61.35	99.44	4.28	13.74 %
LEFT SIDE	1131.83	105.15	63.61	5.92	5.63 %
RIGHT SIDE	1104.33	103.06	55.33	5.14	4.99 %
REAR	679.56	63.13	166.61	15.48	24.52 %
TOTAL	3645.65	339.69	385.55	35.82	10.58 %



VALLEYCREEK 4-239
COMPLIANCE PACKAGE "A1"



PROJECT NAME
RUSSELL GARDENS III

REVISIONS	
5	
4	
3	
2	UPDATED FOR LOT 239- 10' CEILING
1	ISSUED FOR REVIEW

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer

Qualification Information
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4396
F (905) 660-0746

SHEET TITLE
AREA CHARTS

SCALE
3/16"=1'-0"

DATE
JAN 2020

BY
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
2,814

PAGE No.
0

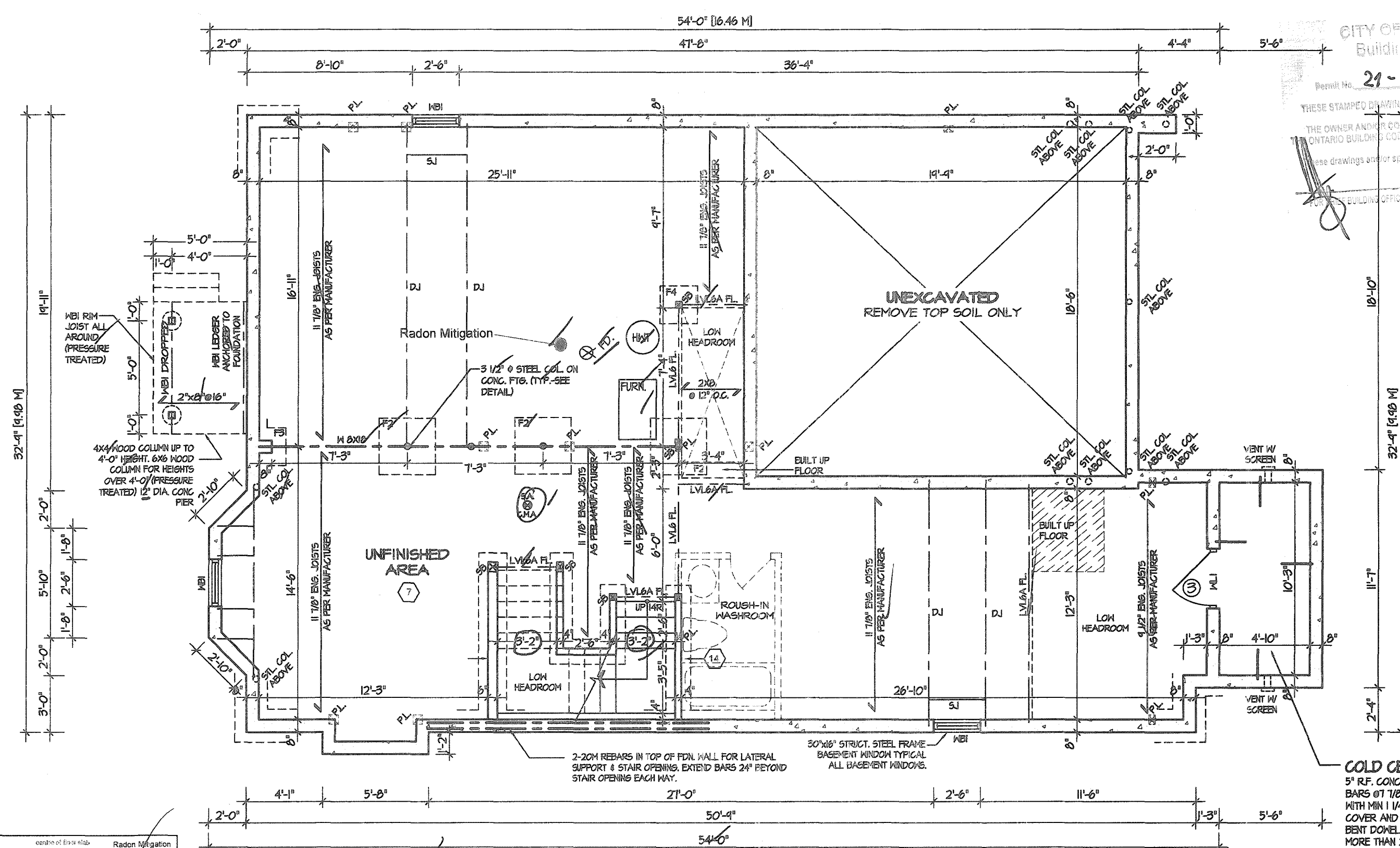
PROJECT

PROJECT NAME
RUSSELL GARDENS III

Permit No. 21-105995

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by

FOR THE BUILDING OFFICIAL DATE



COLD CELLAR
5" R.F. CONC. SLAB WITH 10M
BARS @ 11" O.C. EACH WAY
WITH MIN 1 1/4" CONCRETE
COVER AND 24"x24" 10M
BENT DOWELS SPACED NOT
MORE THAN 23 5/8" O.C.

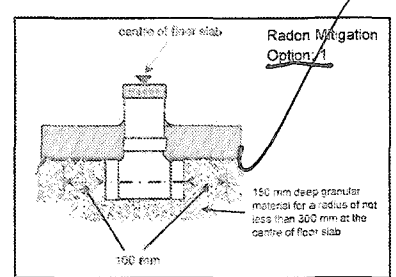
BASEMENT FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR
SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW
ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS
FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.



Notes:

- Footing/Foundation/Piers must bear on undisturbed soil.
- All plumbing is subject to field inspection by City of Hamilton.
- Separate building permit is required to finish basement space.
- Beam bearing min. 3 1/2"
- Joist bearing min. 1 1/2"
- Lintel bearing min. 1 1/2"
- Rafter bearing min. 1 1/2"

STRUDET INC.



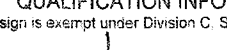

FOR STRUCTURE ONLY

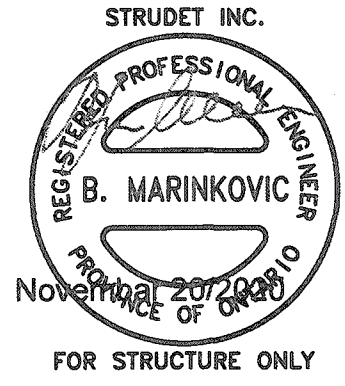
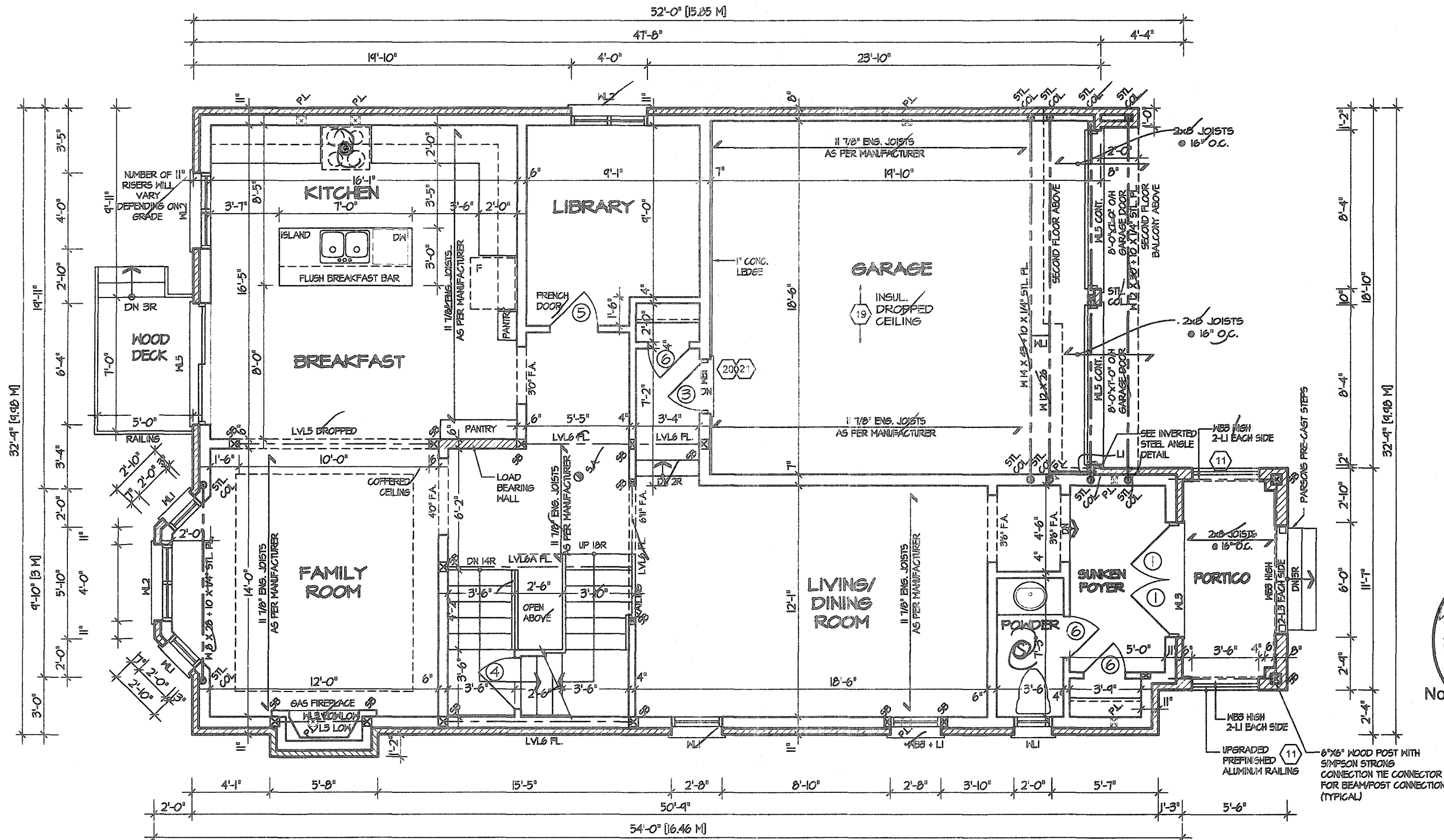
VALLEYCREEK 4-239
COMPLIANCE PACKAGE "A1"

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div>NAME</div><div><div></div><div>SIGNATURE</div></div><div>28770</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (605) 660-0746</div> <div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>RUSSELL GARDENS III</div>
4				BASEMENT PLAN		ELEV. 3		
3				SCALE	BY	AREA	PAGE No.	
2				3/16"=1'-0"	V.G.	2,814	1-3	
1				DATE	TYPE	PROJECT		
ISSUED FOR REVIEW		JAN 2020						
REVISIONS								



- Note:**
- Boas fire place must be CSA/VLC/CMC approved and installed in accordance to local utilization code.
 - All plumbing is subject to field inspection by City of Hamilton.
 - Garage must be tight and gasproof with watership door.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

CITY OF HAMILTON
Building Division

Permit No. **21-105 995**

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These drawings and/or specifications have been reviewed by

BUILDING OFFICIAL

DATE

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AND APPROVAL

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DATE: **JAN 28 2021**

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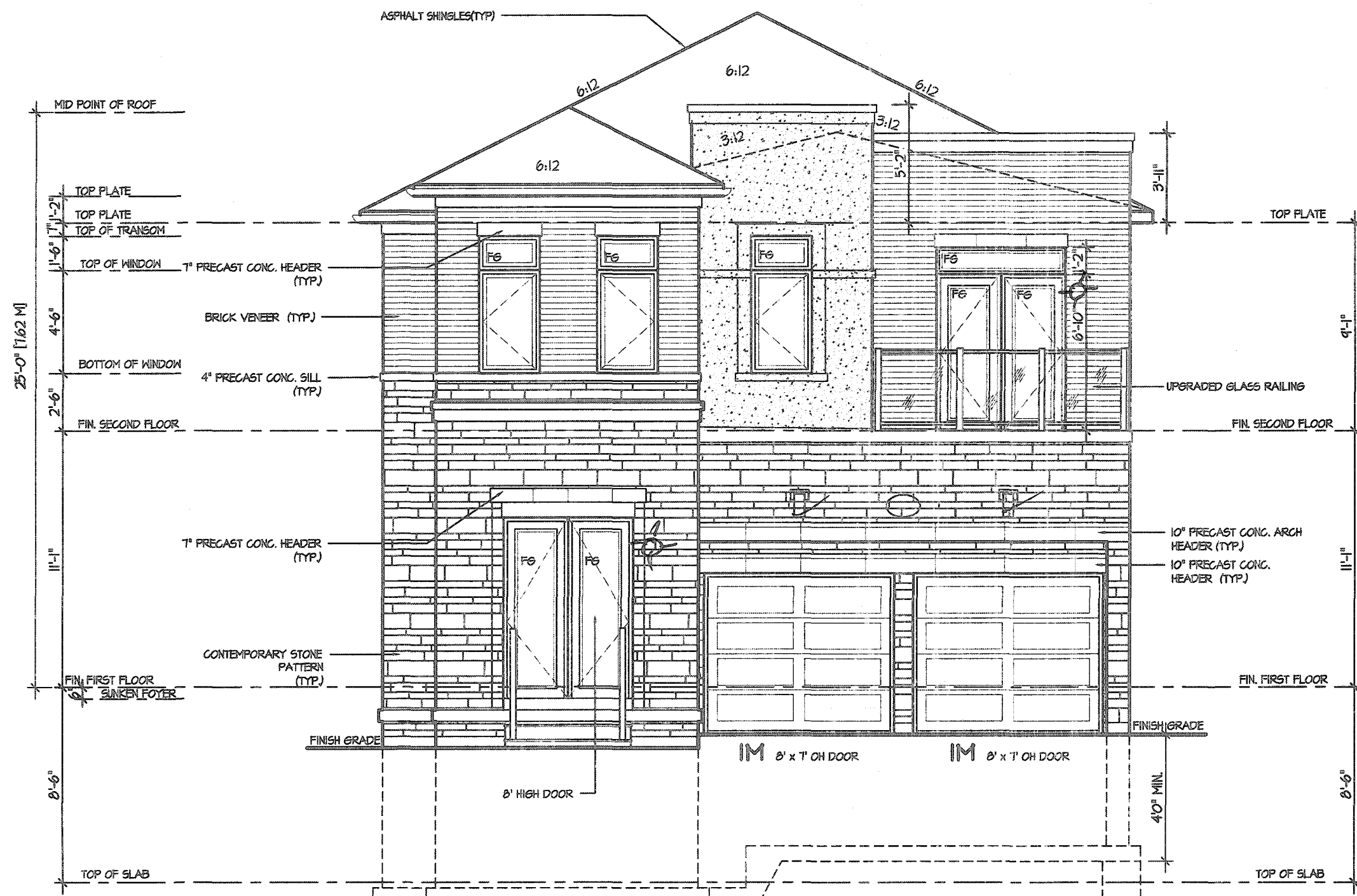
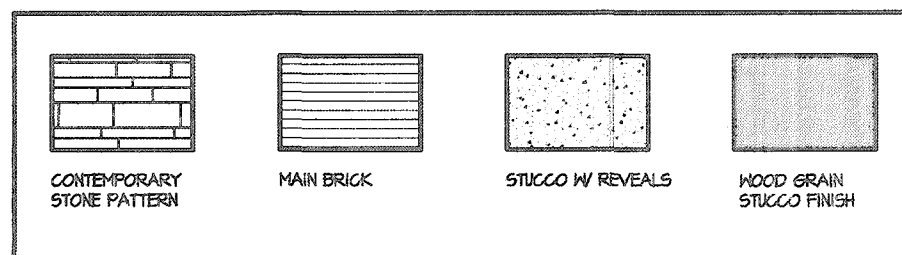
VALLEYCREEK 4-239 COMPLIANCE PACKAGE "A1"

<p>5</p> <p>4</p> <p>3</p> <p>2 UPDATED FOR LOT 239- 10' CEILING</p> <p>1 ISSUED FOR REVIEW</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR</p> <p>NAME</p> <p>SIGNATURE</p> <p>28770</p> <p>BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 733-4036</p> <p>F (905) 660-0746</p>	<p>SHEET TITLE</p> <p>FIRST FLOOR PLAN</p> <p>ELEV. 3</p> <p>SCALE</p> <p>3/16"=1'-0"</p> <p>DATE</p> <p>JAN 2020</p> <p>BY</p> <p>V.G.</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA</p> <p>2,814</p> <p>PAGE No.</p> <p>2-3</p>	<p>PROJECT NAME</p> <p>RUSSELL GARDENS III</p>
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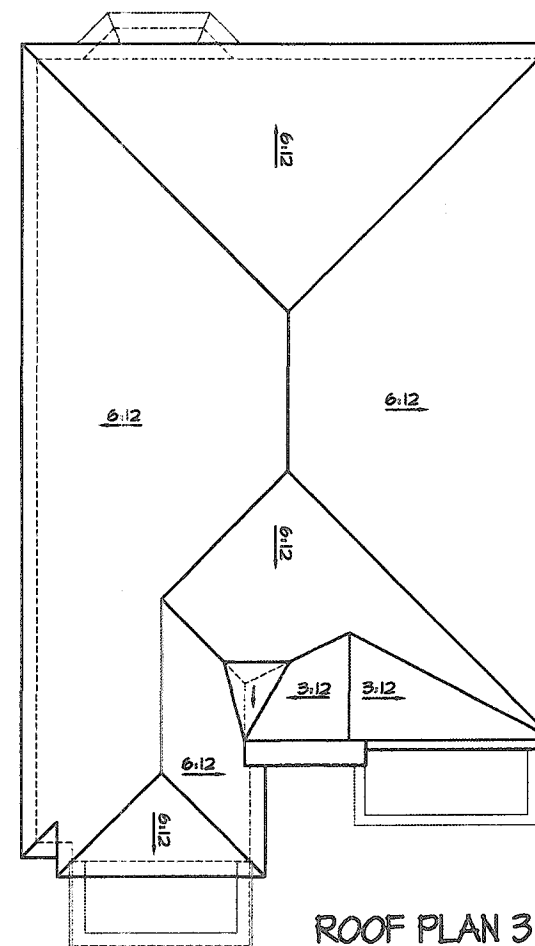


Notes:

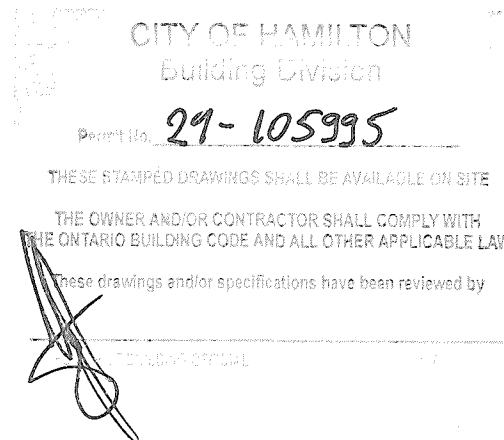
- Approved CSA/CMC Stucco system must be on-site prior installation.
- Provide roof natural ventilation for every 1/300sq.ft of the insulated roof attic space.



FRONT ELEVATION 3

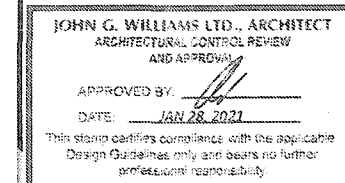


ROOF PLAN 3
Scale: N.T.S.

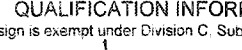



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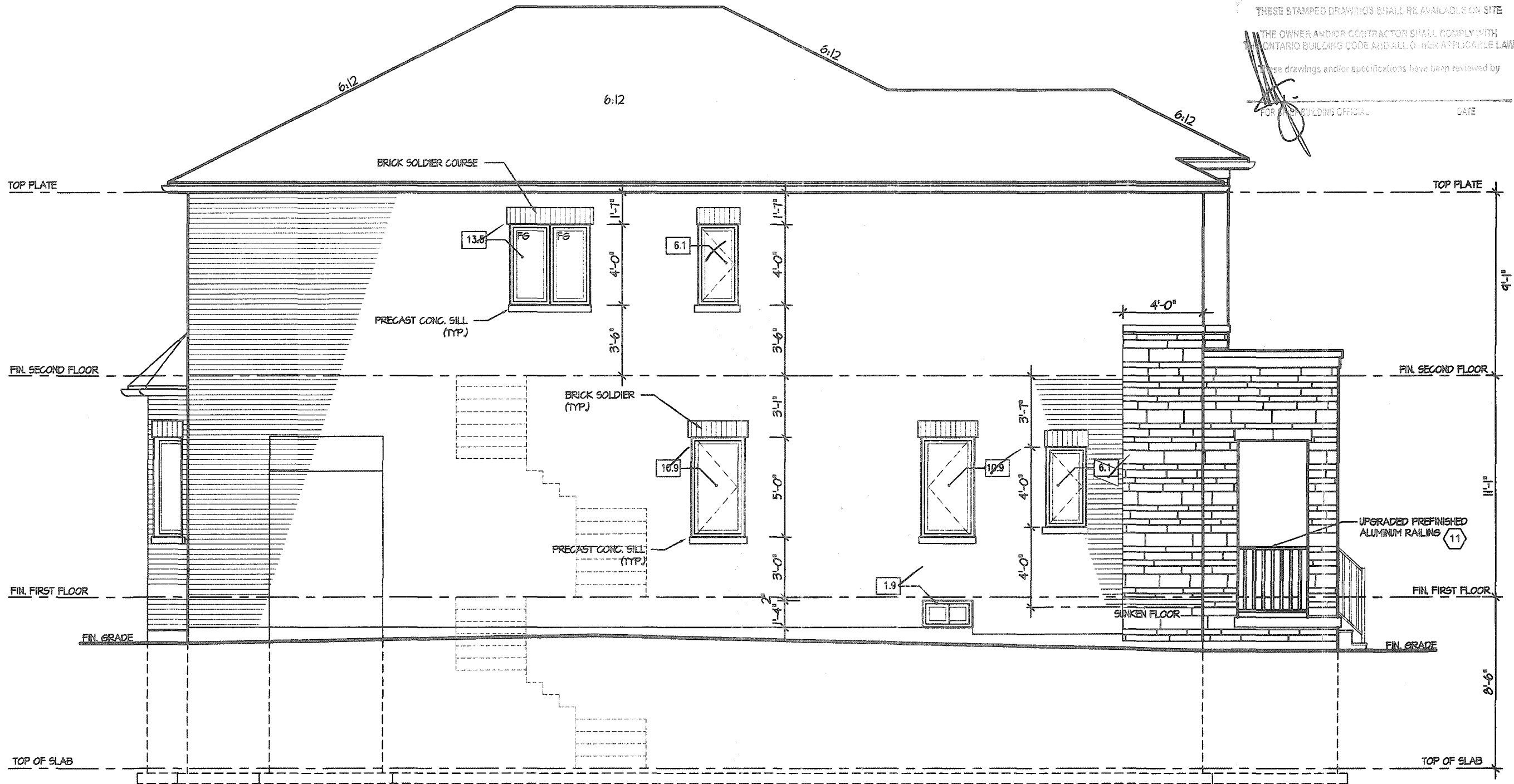
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VALLEYCREEK 4-239
COMPLIANCE PACKAGE "A1"

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4					SCALE 3/16"=1'-0"	BY V.G.	AREA 2,814	PAGE No. 4-3	
3					DATE JAN 2020	TYPE	PROJECT		
2	UPDATED FOR LOT 239- 10' CEILING								
1	ISSUED FOR REVIEW	JAN 2020							
REVISIONS									

CITY OF HAMILTON
Building Division
Permit No. 21-105995
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FOR THE BUILDING OFFICIAL DATE



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		
WALL AREA		1131.83
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)		79.23
ACTUAL WINDOW AREA		49.40

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COMPLIANCE PACKAGE "A1"

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4.						SCALE	3/16"=1'-0"	BY	V.G.	AREA	2,814	PAGE No.	5-3		
3.						DATE	JAN 2020	TYPE		PROJECT					
2.	UPDATED FOR LOT 239- 10' CEILING														
1.	ISSUED FOR REVIEW	JAN 2020													
REVISIONS															

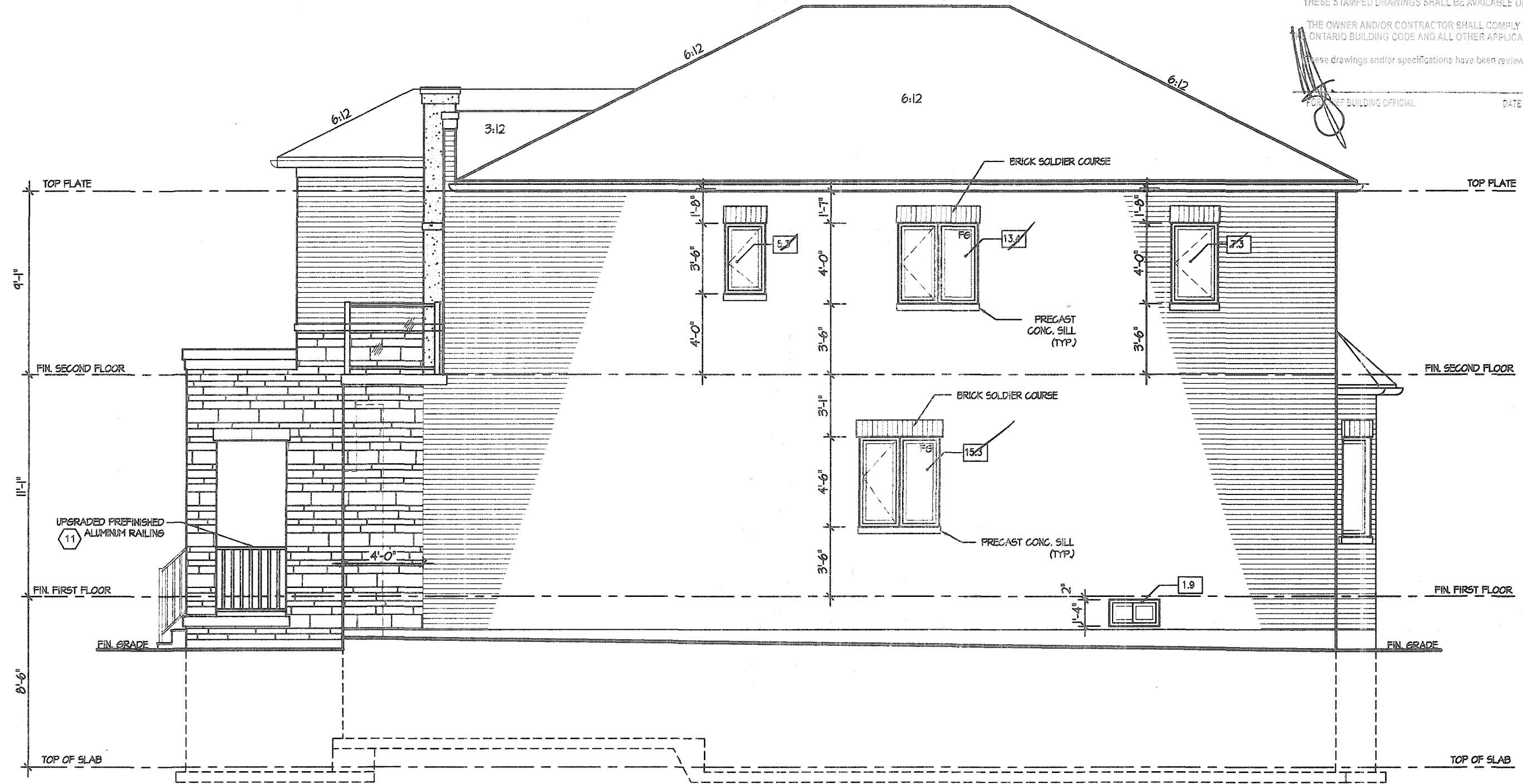
Permit No. **21-105995**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR THE BUILDING OFFICIAL DATE



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA		983.88
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	68.87
ACTUAL WINDOW AREA		43.20

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: JAN 28 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 4-239

COMPLIANCE PACKAGE "A1"

5			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 738-4036</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	SHEET TITLE		RIGHT SIDE ELEVATION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4						ELEV. 3						
3						SCALE	BY	AREA	PAGE No.			
2	UPDATED FOR LOT 239- 10' CEILING					3/16"=1'-0"	V.G.	2,814	6-3			
1	ISSUED FOR REVIEW	JAN 2020				DATE	TYPE	PROJECT			PROJECT NAME	
REVISIONS											RUSSELL GARDENS III	



Permit No. **21-105995**

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FOR THE BUILDING OFFICIAL

DATE



REAR ELEVATION 3 - 239

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **JAN 28, 2021**
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

VALLEYCREEK 4-239
COMPLIANCE PACKAGE "A1"

<p>5</p> <p>4</p> <p>3</p> <p>2 UPDATED FOR LOT 239- 10' CEILING</p> <p>1 ISSUED FOR REVIEW</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>RIGHT SIDE ELEVATION</p> <p>ELEV. 3</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE JAN 2020</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>BY V.G.</p> <p>AREA 2,814</p> <p>PAGE No. 7-3</p>	<p>Greenpark.</p> <p>PROJECT NAME</p> <p>RUSSELL GARDENS III</p>
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