

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 07 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

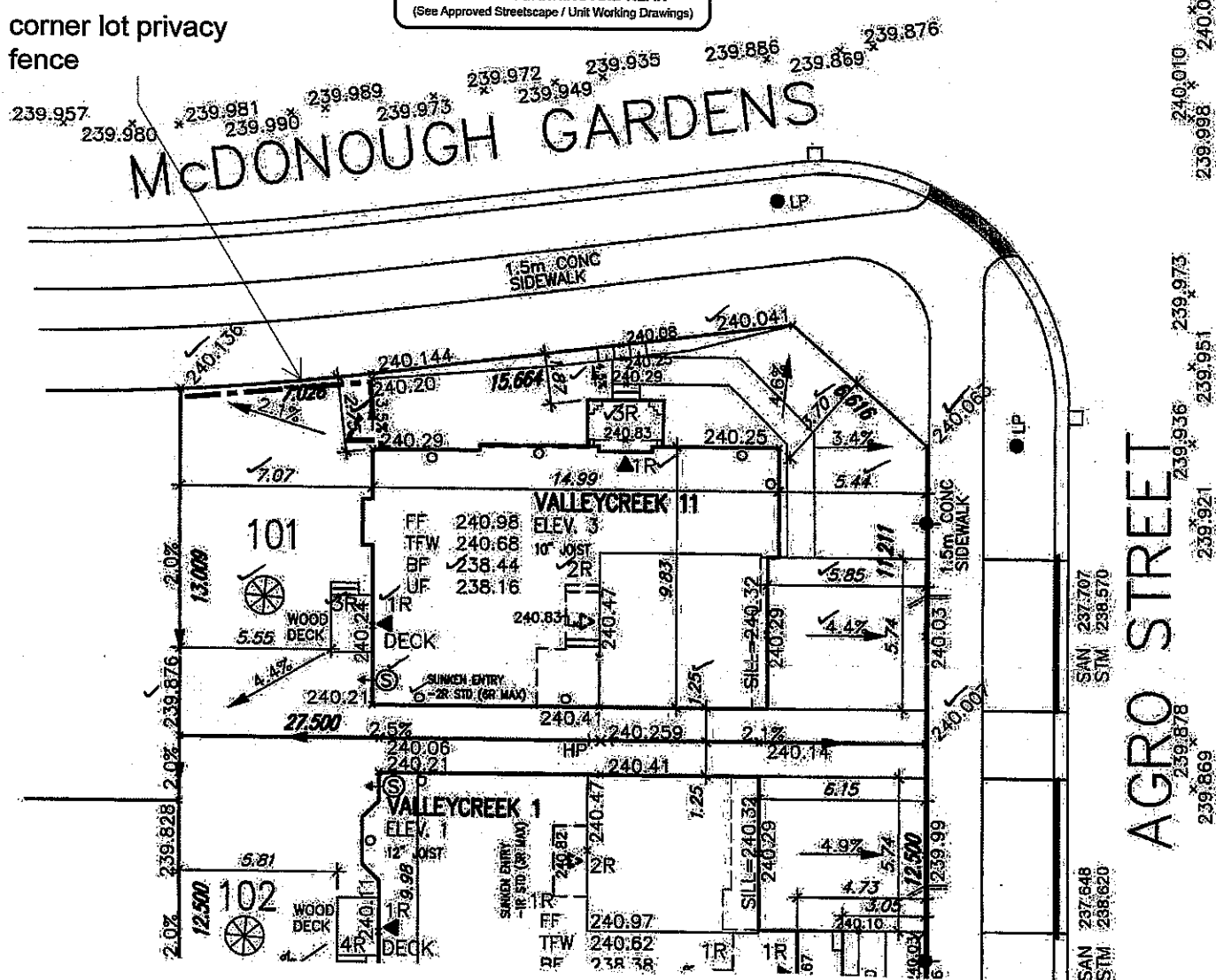
APPROVED BY: _____
DATE: OCT 30, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STEP SETBACK MIN 0.6m
TO PROPERTY LINE.

- CORNER LOT -
UPGRADE FLANKING AND REAR
(See Approved Streetscape / Unit Working Drawings)

corner lot privacy
fence



CITY OF HAMILTON
Building Division

Permit No. 20-197995

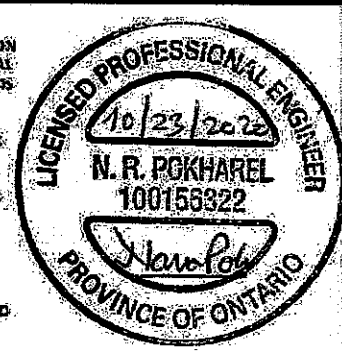
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

WJB 3/22/21
FOR CHIEF BUILDING OFFICIAL DATE

THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.












These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.










NOTE: SUMP PUMP REQUIRED (S) SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

LOT 101		
LOT NO.	LOT WIDTH (M) (±0.0m)	LOT AREA (M²)
101	✓15.45	✓386.51

PROPOSED VALVE	NO. OF RISERS
LP LIGHT POLE	FINISHED FLOOR ELEVATION
WATER SERVICE	FINISHED MAIN LEVEL ELEVATION
DOUBLE STM/SAN CONNECTION	UNDERSIDE FOOTING ELEVATION
SINGLE STM/SAN CONNECTION	FIN. BASEMENT FLOOR SLAB
CATCH BASIN	TOP OF FOUNDATION WALL
CABLE TELEVISION PEDestal	UNDERSIDE FOOTING AT FRONT
BELL PEDestal	UNDERSIDE FOOTING AT SIDE
	W.O.B. WALK OUT DECK
	W.O.B. WALK OUT BASEMENT
	REV. REVERSE PLAN

OR ELEVATION		STREET SIGN
OR LEVEL ELEVATION		MAIL BOX
NOTING ELEVATION		RETAINING WALL
FLOOR SLAB		CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ATION WALL		ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
NOTING AT REAR		WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
NOTING AT FRONT		HYDRO SERVICE LATERAL
NOTING AT SIDE		HYDRO METER
CK		GAS METER
EMENT		SWALE DIRECTION
		EMBANKMENT GUT SLOPE UNLESS OTHERWISE NOTED

	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA		OR		THIS LOT CONTAINS ENGINEERED FILL
	AIR CONDITIONER REQUIRED		OR		RUN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
	SIDE WINDOW LOCATION				OPT. DOOR LOCATION
	EXTERIOR DOOR LOCATION				REDUCE SIDE YARD



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT	SEP. 29/20	GW

The undersigned has reviewed and taken responsibility for this design and has the engineer's seal and signature on the drawings and is the only person authorized to sign and seal the drawings.

qualification information
Richard Vink 24483
signature
VA3 Design Inc. 42658

Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations. Drawings NOT to be scaled.

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.830.2255 / 416.830.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PHASE 3
checked by
scale
1:250
date
SEP. 2020
drawing no.
1

lot/block no.
101
registered plan no.
62M-1266
project no.
19014
drawing no.
1