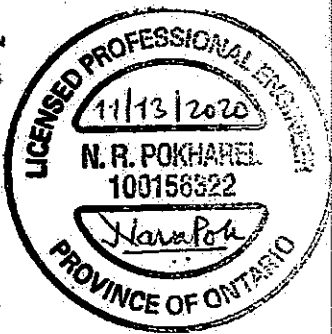


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS, WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS. THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



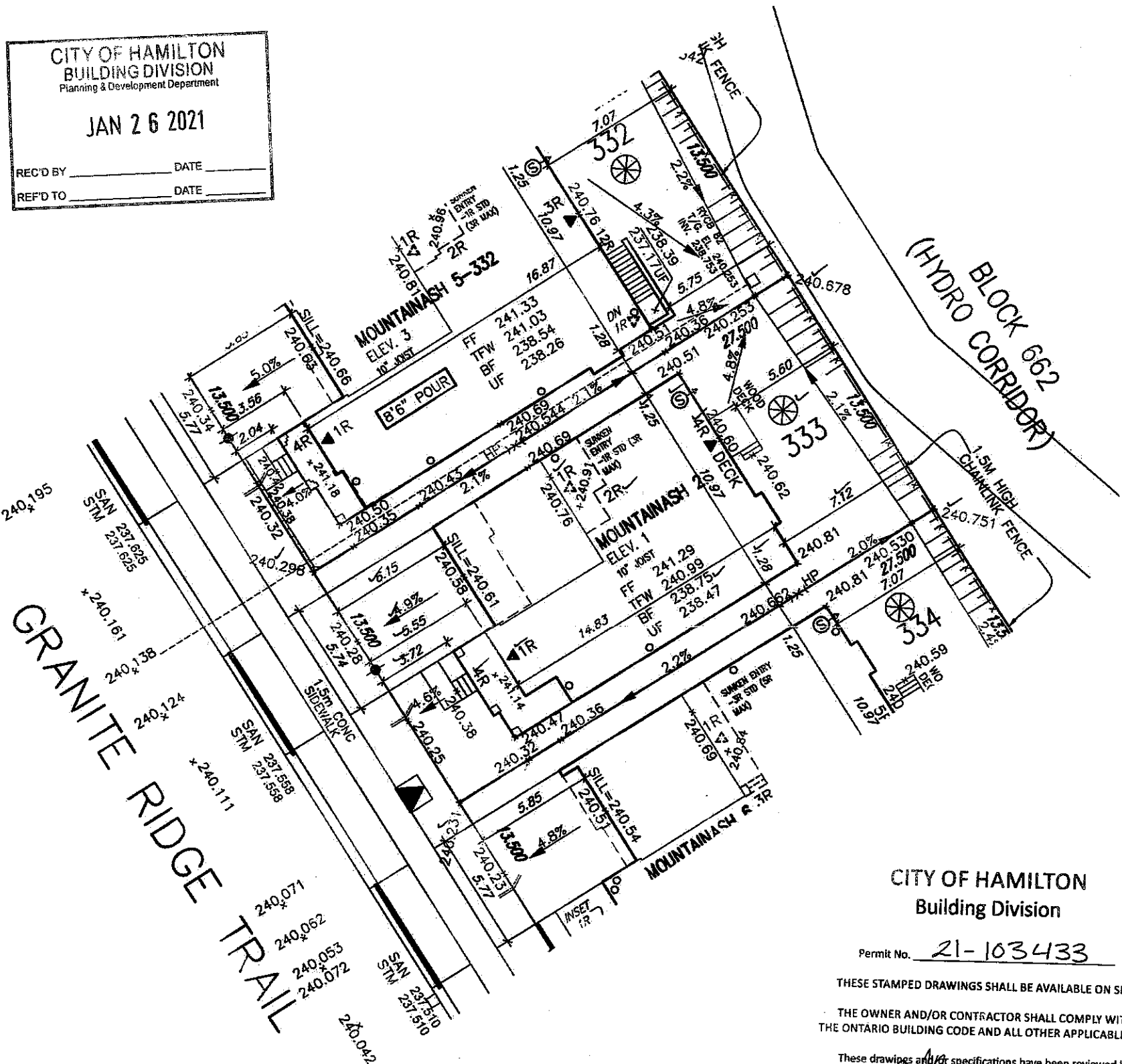
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

JAN 26 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____



CITY OF HAMILTON
Building Division

Permit No. 21-103433

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

[Signature] 3/22/21
FOR CHIEF BUILDING OFFICIAL DATE

LOT 333

LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M ²)
333	13.50	371.25

NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	LIGHT POLE	HYDRANT	TRANSFORMER
WATER SERVICE	DOUBLE STM/SAN CONNECTION	SINGLE STM/SAN CONNECTION	CATCH BASIN
CABLE TELEVISION PEDESTAL	BELL PEDESTAL	NO. OF RISERS	FINISHED FLOOR ELEVATION
UNDERGRADE FOOTING ELEVATION	FINAL BASEMENT FLOOR SLAB	TOP OF FOUNDATION WALL	UNDERGRADE FOOTING AT REAR
UNDERGRADE FOOTING AT FRONT	UNDERGRADE FOOTING AT SIDE	W.O.B. WALK OUT DECK	W.O.B. WALK OUT BASEMENT
REVERSE PLAN			

STREET SIGN	MAIL BOX	RETAINING WALL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	HYDRO SERVICE LATERAL	HYDRO METER
GAS METER	SHALLOW DRAINAGE (3:1 SLOPE UNLESS OTHERWISE NOTED)		THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)	SIDE WINDOW LOCATION	OFF DOOR LOCATION
EXTERIOR DOOR LOCATION	REDUCE SIDE YARD		



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT.	NOV 06/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 24488
[Signature]
signature
name
VA3 Design Inc. 42658
Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled **

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark™
project name
RUSSELL GARDENS PHASE 3
municipality
HAMILTON
date
SEPT. 2020
drawn by
GW
checked by
-
scale
1:250
LOT SITING/GRADING
19014-RG3-SITE-LAYOUTS
file name
19014-RG3-SITE-LAYOUTS.dwg - Fri - Nov 6 2020 - 4:40 PM

lot/block no.
333
registered plan no.
62M-1266
project no.
19014
drawing no.
1